



415 East 12th Street  
Kansas City, MO 64106

## COUNTY LEGISLATURE JACKSON COUNTY, MISSOURI

MARY JO SPINO

CLERK OF THE COUNTY LEGISLATURE

201 West Lexington, 2<sup>nd</sup> Floor  
Independence, MO 64050

**August 9, 2024 – August 15, 2024**

8-09-2024 Friday

NO MEETINGS –

8-12-2024 Monday

NO ANTI-CRIME, DIVERSITY, EQUITY, & INCLUSION,  
HOUSING & HOMELESSNESS, INTER-GOVERNMENTAL  
AFFAIRS, LAND USE, PUBLIC WORKS, VETERANS, OR 911  
OVERSIGHT MEETINGS

10:30 A.M.

Health & Environment Committee Meeting –  
Jackson County Courthouse, 415 East 12<sup>th</sup> Street,  
2<sup>nd</sup> Floor, Kansas City Legislative Assembly Area

The Health & Environment Committee will have a public hearing.

2:00 P.M.

Finance & Audit Committee Meeting –  
Jackson County Courthouse, 415 East 12<sup>th</sup> Street,  
2<sup>nd</sup> Floor, Kansas City Legislative Assembly Area

2:15 P.M.

Justice & Law Enforcement Committee Meeting –  
Jackson County Courthouse, 415 East 12<sup>th</sup> Street,  
2<sup>nd</sup> Floor, Kansas City Legislative Assembly Area

The Justice & Law Enforcement Committee will have a public  
hearing on Ordinance #5868.

2:30 P.M.

Rules Committee Meeting –  
Jackson County Courthouse, 415 East 12<sup>th</sup> Street,  
2<sup>nd</sup> Floor, Kansas City Legislative Assembly Area

2:45 P.M.

Budget Committee Meeting –  
Jackson County Courthouse, 415 East 12<sup>th</sup> Street,  
2<sup>nd</sup> Floor, Kansas City Legislative Assembly Area

8-12-2024 Monday	3:00 P.M.	LEGISLATIVE MEETING – Jackson County Courthouse, 415 East 12 <sup>th</sup> Street, 2 <sup>nd</sup> Floor, Kansas City Legislative Assembly Area  Closed meeting per Resolution #21695
------------------	-----------	---

8-13-2024 Tuesday	NO MEETINGS –
-------------------	---------------

8-14-2024 Wednesday	NO MEETINGS –
---------------------	---------------

8-15-2024 Thursday	NO MEETINGS –
--------------------	---------------

Persons with disabilities wishing to participate in the above meetings and who require reasonable accommodation may call the County Clerk's Office at 881-3242 or 1-800-735-2466 (Missouri Relay). Forty-eight (48) hours' notice is required. To put information on the Activity Calendar, please contact the County Clerk's Office by NOON Wednesday of each week.

**IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**AN ORDINANCE** appropriating \$185,600.00 from the undesignated fund balance of the 2024 Grant Fund, in acceptance of the Family Court Division's Juvenile Court Diversion Program grant received from the State of Missouri, Division of Youth Services.

**ORDINANCE NO. 5869**, August 12, 2024

**INTRODUCED BY** Venessa Huskey, County Legislator

WHEREAS, the Family Court Division has been awarded a grant by State of Missouri, Division of Youth Services in the amount of \$185,600.00 for the Juvenile Court Diversion Program for the period of July 1, 2024, through June 30, 2025; and,

WHEREAS, the grant funds will be used to fund community-based services to assist in diverting youth from commitment to the Division of Youth Services; and,

WHEREAS, the grant does not require local matching funds; and,

WHEREAS, an appropriation is necessary in order to place the grant funds in the proper spending accounts; now therefore,

BE IT ORDAINED by the County Legislature of Jackson County, Missouri, that the following appropriation be made from the undesignated fund balance of the 2024 Grant Fund:

<u>DEPARTMENT/DIVISION</u>	<u>CHARACTER/DESCRIPTION</u>	<u>FROM</u>	<u>TO</u>
Grant Fund 9999	32810 Undesignated Fund Balance	\$185,600	
Family Court 010-2101	55010 Regular Salaries		\$28,060
010-2101	55040 FICA Taxes		\$2,146
010-2101	55060 Insurance Benefits		\$9,190
010-2101	56620 Rent-Buildings		\$9,200
010-2101	56860 Restitution		\$10,000
010-2101	56790 Other Contractual Svcs		\$94,879
010-2101	57230 Other Operating Supplies		\$29,082
010-2101	58170 Other Equipment		\$3,043

and,

BE IT FURTHER ORDAINED that all County officials be and hereby are authorized to execute any and all documents necessary to give effect to said grant.



Effective Date: This ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5869 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5869.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive

Funds sufficient for this appropriation are available from the source indicated below.

ACCOUNT NUMBER: 010 9999 32810  
ACCOUNT TITLE: Grant Fund  
Undesignated Fund Balance  
NOT TO EXCEED: \$185,600.00

08/08/2024

Sylvia Stevenson  
Sylvia Stevenson (Aug 8, 2024 12:10 CDT)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Chief Administrative Officer



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-109, **Version:** 1

---

**REQUESTED MEETING DATE:** 7/29/2024

**SPONSORS:**

Ordinance No. 5869  
Sponsor: Venessa Huskey  
Date: August 12, 2024

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Carl Bayless **PHONE:** 816 435 4775

**EMAIL:** carl.bayless@courts.mo.gov

**DEPARTMENT:** Circuit Court

**TITLE:** Juvenile Court Diversion Program

**SUMMARY:** This is a request to appropriate \$185,600 from the 2024 undesignated fund balance in acceptance of funds awarded to the Family Court Division by Missouri Department of Social Services. The project is named "Juvenile Court Diversion Program". The purpose of this program is to encourage community-based services which assist in diverting youth from commitment to Division of Youth Services. The period covered by the grant is July 1, 2024 through June 30, 2025. Please appropriate \$185,600 into the accounts listed in supplemental attachment :

**FINANCIAL IMPACT:**

**NO** ☐

---

---

**File #: 24-109, Version: 1**

---

Amount	Fund	Department	Line-Item Detail
\$185,600.00	010		

**YES** ☒

**ACTION NEEDED:** APPROPRIATE FUNDS

**ATTACHMENTS:**

Award, Budget, Prior Ord 5773 ( 07/31/23 ) and Ord 5784 ( 8/21/23)

Funds sufficient for this appropriation are available from the source indicated below.

Ord # 5869  
eRLA ID #: \_\_\_\_\_

Cost Center		Spend Category	Program/Grant/Project	From	To
9999	-	32810 Undesignated Fund Balance		\$ 185,600	\$ -
2101	Family Court	55010 Regular Salaries	GR100165		28,060
2101	Famiy Court	55040 FICA Taxes	GR100165		2,146
2101	Famil Court	55060 Insurance Benefits	GR100165		9,190
2101	Family Court	56620 Rent-Buildings	GR100165		9,200
2101	Family Court	56860 Restitution	GR100165		10,000
2101	Family Court	56790 Other Contractual Svcs	GR100165		94,879
2101	Family Court	57230 Other Operating Supplies	GR100165		29,082
2101	Family Court	58170 Other Equipment	GR100165		3,043
<div>APPROVED By Sarah Matthes at 9:30 am Jul 30, 2024</div>				\$ 185,600	\$ 185,600

Page 1 of 1



**State of Missouri  
Department of Social Services  
Contract Amendment**

*Contract Description:*  
**Juvenile Court Diversion**  
*Amendment Description:*  
**FY25 Renewal**

*Contract #:* **ER172-23012**

*Amendment #* **003**

*Amendment Date:* **July 1, 2024**

**Contractor Information:**

Contractor Name: **16<sup>th</sup> Judicial Circuit**  
Mailing Address: **415 East 12<sup>th</sup> Street**  
City, State Zip: **Kansas City, MO 64106**

The above referenced contract between **16<sup>th</sup> Judicial Circuit** and the Department of Social Services is hereby amended as follows:

1. The contract is renewed for the period July 1, 2024 through June 30, 2025.
2. The renewal amount for the period stated above is based on the revised Attachment 1 Budget page attached below.
3. All other terms and conditions shall remain unchanged.

~~~~~  
***In witness thereof, the parties below hereby execute this agreement.***

*Theresa L. Byrd*

Authorized Signature for the Contractor

Deputy Court Administrator  
Title

07-10-2024  
Date

*Patrick Luehlbein* CG

Authorized Signature for the Department of Social Services

July 11, 2024  
Date

# DIVISION OF YOUTH SERVICES

## JUVENILE COURT DIVERSION

### YOUTH, FAMILY AND COMMUNITY SUPPORT GRANT

**APPROVED BUDGET**State Fiscal Year: 

|      |
|------|
| 2025 |
|------|

Judicial Circuit #: 

|      |
|------|
| 16th |
|------|

Contract Number: 

|        |       |
|--------|-------|
| ER172- | 23012 |
|--------|-------|

|    | Project Title                                     | Current<br>Budget    | Approved<br>FY25 Budget |
|----|---------------------------------------------------|----------------------|-------------------------|
| #1 | Expressive Arts and Self-Care (General Revenue)   | \$ 32,529.00         | \$ 32,571.00            |
| #2 | Day Reporting (Gaming)                            | \$ 14,000.00         | \$ 14,000.00            |
| #3 | CORPS (Gaming)                                    | \$ 28,042.00         | \$ 28,042.00            |
| #4 | Educational Consulting Services (Gaming)          | \$ 58,350.00         | \$ 58,350.00            |
| #5 | Emerging Adults Justice Program (General Revenue) | \$ 9,200.00          | \$ 9,200.00             |
|    | Emerging Adults Justice Program (Gaming)          | \$ 43,437.00         | \$ 43,437.00            |
|    | <b>TOTAL FUNDS APPROVED</b>                       | <b>\$ 185,558.00</b> | <b>\$ 185,600.00</b>    |



## Jackson County Family Court

### Grant Program Information

**Ordinance Number:** #####

**Program Name:** Juvenile Court Diversion (JCD) Grant

**Funding Agency:** Missouri Division of Youth Services (DYS)

**Funding Arrangements and Use of Funds:** \$185,600.00 to continue programming in Jackson County to divert youth from commitment to the Division of Youth Services for treatment.

**Funding Period for Grant:** The grant period is July 1, 2024 to June 30, 2025

**New or Existing Program/Continued Funding Opportunity:** Existing program

**Program Description :** The DYS JCD grant funds treatment programming for Family Court Services. The following program and service activities are funded by this grant:

Residential Expressive Arts & Self Care (\$32,571.00) – trauma-informed programming for youth in out of home placement for support of mind, body and spirit including creative arts, cultural exploration, yoga, meditation, and large-muscle recreation.

Day Reporting Program (\$14,000) – supplies and services for youth attending the Drop In Center to prevent subsequent offending when youth are not in school.

CORP Restitution (\$28,042) – restitution funds for victims to be earned by youth completing community service, includes supplies.

Education Consulting (\$58,350) – provision of services from certified teachers to support educational goals and plans for youth under supervision.

Emerging Adult Justice (\$43,437.00) – personnel (Coordinator) for serving 17 year old youth diverted from formal court services.

Emerging Adult Justice (\$9,200) – lease of community house for programming in a home-like setting.

**Theoretical or Practical Basis:** For youth at-risk for system involvement and currently justice-involved, the arts provide a means for addressing emotional and/or problem behaviors through opportunities to learn new skills, develop new talents, and express thoughts and ideas in creative and therapeutic ways. Similarly, for youths dealing with trauma or victimization (including exposure to violence), the arts can help them to cope with painful experiences by fostering resiliency. Creating art can strengthen a youth's problem-solving skills, autonomy, sense of purpose, and social competence. Moreover, art encourages positive emotions and strength, allowing youth and families to view themselves as survivors and not as victims.

Under-resourced African American children are at increased risk for school readiness deficits in terms of both cognitive and social development. Urban African American youth are at high risk for violence owing to exposure to violence in their communities. Providing system-involved youth with quality education is essential to keeping them engaged in their education and enabling them to set realistic long-term goals, including a successful return to school and community upon release. The Jackson County Family Court has continued to experience an increase in youth who lack the basic educational skills and competencies necessary to thrive into adulthood. Youth under Court supervision typically have fewer hours of educational instruction than non-Court involved youth. Additionally, these youth are at risk for falling behind educationally due to their involvement in the Justice system. This makes their matriculation problematic, as most of the youth have been underperforming educationally many years prior to their involvement with the Court. Parents and guardians also are in need of assistance for the purpose of helping the youth receive the educational support and assistance they need while court involved as well as in step-down, aftercare and independent living situations.

Many delinquent offenses occur outside of school hours. Day Reporting keep youth occupied during these key hours while providing opportunities for them to engage in the community, build skills, and establish relationships with trustworthy adults. Youth on probation are at risk for further offending and system



## Jackson County Family Court Grant Program Information

penetration, and these programs provide opportunities for intervention and treatment while keeping youth occupied, limiting opportunities for new offending.

Older youth who have committed delinquent offenses experience similar benefits from juvenile-court intervention as younger youth. However, older youth have specific needs and circumstances that make standard probation less practical and standard probation orders less relevant to their lives and circumstances. These youth are nearing adulthood and are approaching the end of the period where they can reasonably remain under the supervision of parents and in a structured classroom setting. These older youth often need to finish or continue their education, find employment, access mental health services, stable housing and to develop the life skills including budgeting and financial education. Youth in college, young parents, young adults with disabilities or medical needs, or those who identify as LGBTQ may need different or additional resources.

In the 16<sup>th</sup> Circuit, we developed an innovative strategy heavily reliant on diversion to keep 17-year-old youth out of the juvenile-justice system and connect them with the resources they need to successfully transition into adulthood.

In the 2024-25 grant year, we plan to lease a single-family home in the urban core as a meeting place for staff and EAJ youth. We envision discussing life skills and vocational plans at a dining room table as family would when a child, niece or nephew, or grandson is transitioning from childhood to adulthood. We will cook food and eat together, modeling good communication and life skills while communicating encouragement and support.

***Expected Impact:*** All programs and services in Family Court Services are subject to evaluation. Logic models are constructed for all programs drawing the line between risk factors, inputs, outputs and outcomes. All programs are designed to address one or more intermediate factors such as competence building, mental health treatment, educational intervention, and prosocial activity involvement. All programs are designed to decrease subsequent delinquent offending behaviors, increase educational engagement and strengthen relationships within the family and with peers.

***Evaluation Plan and/or Demonstrated Efficacy:*** We will measure successful program completion rates, rates of probation violations and recidivism at 12 months following release from jurisdiction.

***For more information, contact the Office of the Jackson County Deputy Court Administrator at 435-4850***

***Program Directors: Pamela Behle, Adrienne Guillen, and Tyra Sanders***



## IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

**AN ORDINANCE** amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 5.04± acre tract from District AG (Agricultural) to District RE (Residential Estates).

**ORDINANCE NO. 5870**, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries of the "AG" (Agricultural) and "RE" (Residential Estates) Districts, so that there will be transferred from District AG to District RE 5.04± tract of land located at 34405 E. Pink Hill Road in Jackson County, MO, legally described as follows:

**Description:** All of Tract B, Certificate of Survey recorded as Document 1991I1043766, being situated in the East 1/2, Northwest Quarter of Section 24 Township 49 Range 30, Jackson County, Missouri, being also described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence North 88 degrees 44 minutes 10 seconds West, along the North line of said Northwest Quarter, 1334.93 feet to the Northwest corner of the Northeast Quarter, said Northwest Quarter; thence South 01 degrees 31 minutes 50 seconds West, along the West line of said Northeast Quarter, Northwest Quarter, 58.00 feet to the Northwest corner of said Tract B of Document 1991I1043766, said corner also being the Point of Beginning of the tract to be described herein; thence South 88 degrees 44 seconds East, along the North line of said Tract B and parallel with the North line of said Northwest Quarter, 317.96 feet (survey = 317.98') to the Northeast corner of said Tract B; thence South 00 degrees 01 minutes 37 seconds West, along the East line of said Tract B, said line also being the East line of a 60 foot private drive shown on document 2017E0084669, 1305.36 feet (survey=1305.00' and 1305.48') to the Southeast corner of said Tract B; thence North 88 degrees 51 minutes 42 seconds West, along the South line of said Tract B, said line also being the North line of Tract 5 of said Document 2017E0084669, 352.21 feet (survey=353.84' and 352.24') to the Southwest corner of said Tract B; thence North 01 degrees 31 minutes 50 seconds West, along the West line of said Tract B, said line also being the West line of said Northeast Quarter, Northwest Quarter, 1305.84 feet (survey=1305.00') to the Point of Beginning. Except the South 633.84 feet (as measured along the west line).

Section 2. The Legislature, pursuant to the application of Amie Weiland, (RZ-2024-680), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend APPROVAL of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)  
\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5870 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

|                  |              |
|------------------|--------------|
| Yeas _____       | Nays _____   |
| Abstaining _____ | Absent _____ |

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5870.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-124, **Version:** 1

---

**REQUESTED MEETING DATE:** Select Date

Ordinance No. 5870  
Date: August 12, 2024

**SPONSORS:**

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Randy Diehl **PHONE:** 816-881-4577

**EMAIL:** [rdiehl@jacksongov.org](mailto:rdiehl@jacksongov.org)

**DEPARTMENT:** Public Works

**TITLE:** [RZ-2024-680 - Amie Weiland](#)

**SUMMARY:** Requesting a change of zoning from District AG (Agricultural) on 5.04 ± acres to District RE (Residential Estates) The purpose is to create a single-family residential lot at 34405 E. Pink Hill Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request. The Plan Commission voted 8 to 0 to recommend APPROVAL to the County Legislature.

**FINANCIAL IMPACT:**

**NO** ☒

---

**File #: 24-124, Version: 1**

---

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐

**ACTION NEEDED:** Choose an item.

**ATTACHMENTS:**

Click or tap here to enter text.

**RZ-2024-680**

## **ATTACHMENT 1: PROPERTY DESCRIPTION**

### **Description:**

All of Tract B, Certificate of Survey recorded as Document 199111043766, being situated in the East 1/2, Northwest Quarter of Section 24 Township 49 Range 30, Jackson County, Missouri, being also described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence North 88 degrees 44 minutes 10 seconds West, along the North line of said Northwest Quarter, 1334.93 feet to the Northwest corner of the Northeast Quarter, said Northwest Quarter; thence South 01 degrees 31 minutes 50 seconds West, along the West line of said Northeast Quarter, Northwest Quarter, 58.00 feet to the Northwest corner of said Tract B of Document 199111043766, said corner also being the Point of Beginning of the tract to be described herein; thence South 88 degrees 44 seconds East, along the North line of said Tract B and parallel with the North line of said Northwest Quarter, 317.96 feet (survey = 317.98') to the Northeast corner of said Tract B; thence South 00 degrees 01 minutes 37 seconds West, along the East line of said Tract B, said line also being the East line of a 60 foot private drive shown on document 2017E0084669, 1305.36 feet (survey=1305.00' and 1305.48') to the Southeast corner of said Tract B; thence North 88 degrees 51 minutes 42 seconds West, along the South line of said Tract B, said line also being the North line of Tract 5 of said Document 2017E0084669, 352.21 feet (survey=353.84' and 352.24') to the Southwest corner of said Tract B; thence North 01 degrees 31 minutes 50 seconds West, along the West line of said Tract B, said line also being the West line of said Northeast Quarter, Northwest Quarter, 1305.84 feet (survey=1305.00') to the Point of Beginning.

Except the South 633.84 feet (as measured along the west line).

RZ-2024-680

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2023

Staff Report

Zoning map of surrounding area

Names and addresses of surrounding property owners

Letter to surrounding property owners

Application

Aerial of location

Copy of plat

**Randy Diehl gave the staff report:**

**RE: RZ-2024-680**

**Applicant:** Amie Weiland

**Location:** 34405 E. Pink Hill Road

**Area:** 5.04 ± acres

**Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)

**Purpose:** The purpose is to create a single-family residence.

**Current Land Use and Zoning in the Area:**

The zoning in the area is Agricultural and Residential.

The applicant wishes to divide off the North 5.04 acres that contains the existing dwelling.

The remaining 5.00 will remain within District AG. This tract will be unbuildable unless it is absorbed into an adjacent property.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

**Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-680.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



**Mr. Antey: *Are there any questions for Randy?***

Mr. Horn: (asking for clarification) Where is the dividing line?

Mr. Diehl: The Orange ring is the notification area around the property indicating the adjacent property owners who received a certified letter regarding the zoning request. The blue line that is highlighted is the area being considered for rezoning.

**Mr. Antey: *Is the applicant here?***

Steve Gillotti, 34405 E Pink Hill Road, Grain Valley, MO

**Mr. Antey: *Do you have anything to add to the report?***

Mr. Gillotti: No, I don't.

**Mr. Antey: *Is there anyone else who is in favor of this application?***

Dennis Vanarsdall, 34501 E. Pink Hill Road, Grain Valley, MO. I am buying the other piece of this property which is adjacent to me. I'll use it for farmland.

**Mr. Antey: *Is there anyone who is opposed or has questions regarding this application?***

There were none.

Motion to take under advisement.

Mr. Lake moved to take under advisement. Mr. Horn seconded.

*Discussion under advisement*

Mr. Crawford moved to approve. Mr. Lake seconded.

|                |         |
|----------------|---------|
| Mr. Lake       | Approve |
| Mr. Farrar     | Approve |
| Me. Smead      | Approve |
| Mr. Monaco     | Approve |
| Mr. Horn       | Approve |
| Mr. Crawford   | Approve |
| Ms. Ryerkerk   | Approve |
| Chairman Antey | Approve |

Motion Carried 8 – 0

## **STAFF REPORT**

### **PLAN COMMISSION**

July 18, 2024

**RE: RZ-2024-680**

**Applicant:** Amie Weiland

**Location:** 34405 E. Pink Hill Road

**Area:** 5.04 ± acres

**Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)

**Purpose:** The purpose is to create a single-family residence.

#### **Current Land Use and Zoning in the Area:**

The zoning in the area is Agricultural and Residential.

The applicant wishes to divide off the North 5.04 acres that contains the existing dwelling.

The remaining 5.00 will remain within District AG. This tract will be unbuildable unless it is absorbed into an adjacent property.

#### **County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

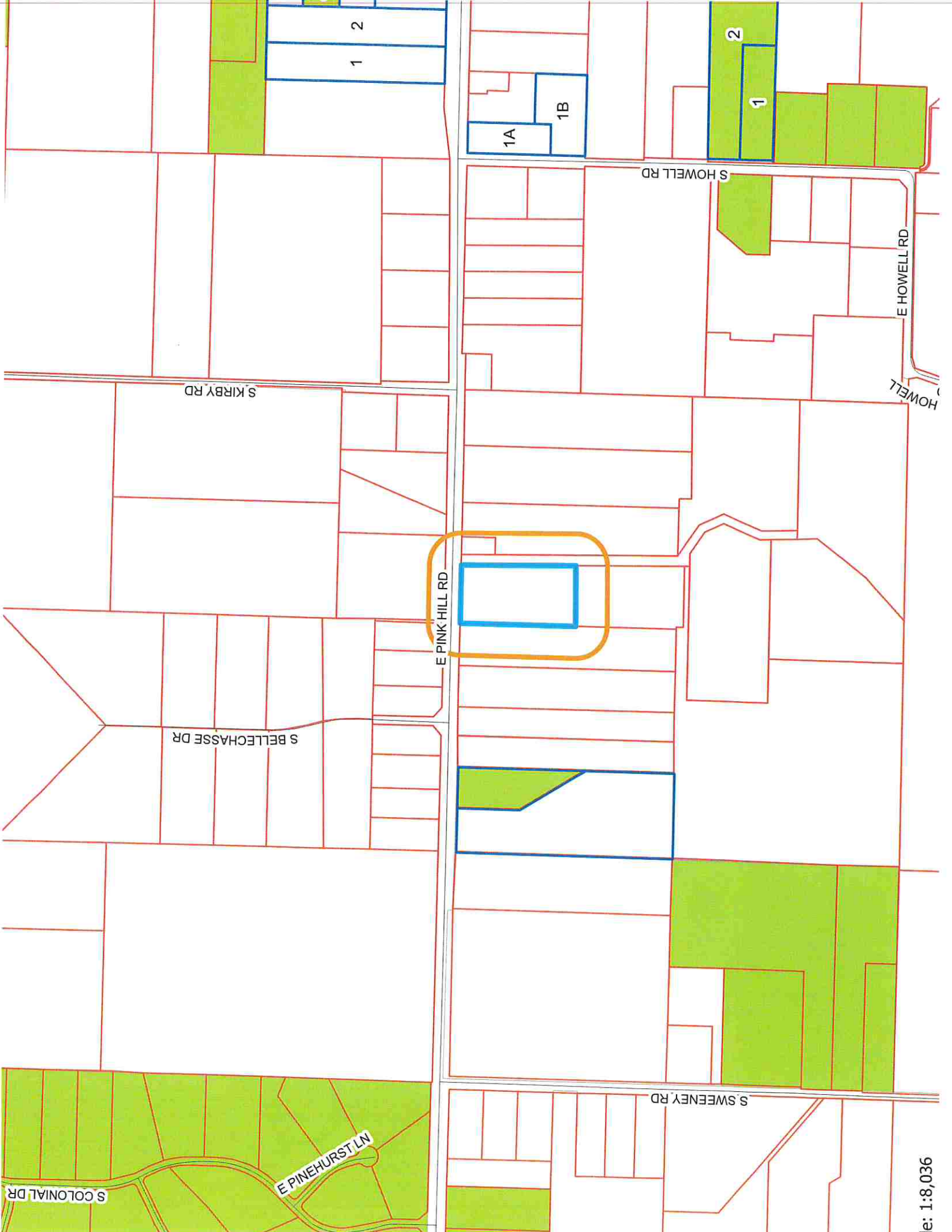
#### **Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-680.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



RZ-2024-680

Property Owners Within 185 feet

| parcel                   | owner                           | address                   | city         | state | zip   |
|--------------------------|---------------------------------|---------------------------|--------------|-------|-------|
| 22-700-03-22-00-0-00-000 | ROMIG JAMES                     | 34308 E PINKHILL RD       | GRAIN VALLEY | MO    | 64029 |
| 22-700-03-03-00-0-00-000 | ZELLMER RICHARD C & PAULA GAMM  | 34406 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |
| 37-100-02-10-00-0-00-000 | HALE JOSHUA D & REARDON KAREN A | 34509 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |
| 37-100-02-11-00-0-00-000 | WHISENAND RUSSELL D             | 34503 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |
| 37-100-02-03-00-0-00-000 | MOREY JAY E                     | 34307 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |
| 22-700-03-21-00-0-00-000 | ROMIG JAMES                     | 34308 E PINKHILL RD       | GRAIN VALLEY | MO    | 64029 |
| 37-100-02-14-00-0-00-000 | VANARSDALL DENNIS & CINDY       | 34501 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |
| 37-100-02-12-00-0-00-000 | WIELAND AMIE                    | 2120 VALRICO HEIGHTS BLVD | VALRICO      | FL    | 33594 |
|                          | GILLOTTI STEVE                  | 34405 E PINK HILL RD      | GRAIN VALLEY | MO    | 64029 |



## JACKSON COUNTY Public Works Department

Jackson County Technology Center  
303 West Walnut Street  
Independence, Missouri 64050  
jacksongov.org

(816) 881-4530  
Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-680  
Amie M Wieland

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Amie M Wieland for a change of zoning from District AG (Agricultural) on 5.04 ± acres to District Re (Residential Estates). The purpose is to create a single-family residential lot at 34405 E. Pink Hill Road.

Please note that this request for a change of zoning affects only the property mentioned above. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on Thursday, July 18, 2024, at 8:30 a.m. in the Large Conference Room, 2<sup>nd</sup> Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

*Frank White, Jr., County Executive*



**JACKSON COUNTY, MISSOURI  
APPLICATION FOR CHANGE OF ZONING**

---

**APPLICANT INFORMATION:**

1. Application must be filed with the Jackson County Planning and Development Division,  
303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
2. Application must be typed or printed in a legible manner.
3. All applicable sections must be completed. If you need more space to provide information, please  
use separate 8 1/2"x11" paper, reference the application number and attach it to the application.  
Incomplete applications will not be accepted and will be returned to the applicant.
4. Attach application for subdivision approval, consistent with the requirements of UDC Section  
24003.10, as may be required.
5. The filing fee (non-refundable) must accompany application.  
(Check payable to: Manager of Finance)  
\$350.00 – Change of Zoning to Residential  
\$500.00 – Change of Zoning to Commercial or Industrial

---

**TO BE COMPLETED BY OFFICE PERSONNEL ONLY:**

Rezoning Case Number RZ- 2024-680

Date filed \_\_\_\_\_ Date of hearing \_\_\_\_\_

Date advertised \_\_\_\_\_ Date property owners notified \_\_\_\_\_

Date signs posted \_\_\_\_\_

Hearings:    Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

---

**BEGIN APPLICATION HERE:**

**1. Data on Applicant(s) and Owner(s):**

- a. Applicant(s) Name: Amie M Wieland
- Current Mailing Address: 2120 Valrico Heights Blvd Valrico FL 33594
- Phone: 816-606-9721 email: AmieWieland@gmail.com
- b. Legal Owner of Property: Steve Gillotti
- Current Mailing Address: 34405 E Pink Hill Rd Grain Valley Mo 64029
- Phone: 816 489 1033 email: ExileJoker72@gmail.com
- b. Legal Owner of Property: \_\_\_\_\_
- Current Mailing Address: \_\_\_\_\_
- Phone: \_\_\_\_\_ email: \_\_\_\_\_

2. General location (Road Name) South side E Pine Hill Road  
1/4 mile west of Howell Road
3. Present Zoning AG Requested Zoning RE
4. AREA (sq. ft. / acres) 437,436 Ac / 10.0422 Ac 8.
5. Legal Description of Property: (Write Below or provide copy of deed and survey)  
See attached.
6. Present Use of Property: AG & Residential
7. Proposed Use of Property: AG & Residential
8. Proposed Time Schedule for Development: Immediate
9. What effect will your proposed development have on the surrounding properties?  
None
10. Is any portion of the property within the established flood plain as shown on the FEMA Flood Boundary Map? No  
If so, will any improvements be made to the property which will increase or decrease the elevation? \_\_\_\_\_
11. Describe the source/method which provides the following services, and what effect the development will have on same:
- a. Water Provider Dist 17
- b. Sewage disposal: Onsite Waste Water ☒ Public Sewer \_\_\_\_\_
- c. Electricity West Central Elec
- d. Fire and Police protection Fire - Grain Valley - Police - Co. Sheriff
12. Describe existing road width and condition: \_\_\_\_\_
13. What effect will proposed development have on existing road and traffic conditions? None

14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? no

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): \_\_\_\_\_



The LEGAL OWNER(s) of the property must be signatory to this application. If the owner is also the applicant then only the Property Owner portion needs to be filled out. Applications will not be accepted to move forward without the proper signatories.

Verification of ownership will be made using the Tax Rolls and the Recorder of Deeds database.

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Property Owner(s)

Amie M Wieland  
Amie M Wieland

Date

June 4 2024

STATE OF FLORIDA

COUNTY OF PASCO

On this 4TH day of JUNE, in the year of 2024, before me the undersigned notary public, personally appeared AMIE M WIELAND

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Notary Public

Evamy A. Gusk

Commission Expires JULY 12, 2027



EVAMY A. GUSK  
Notary Public  
State of Florida  
Comm# HH420894  
Expires 7/12/2027









## IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

**AN ORDINANCE** renewing a conditional use permit (CUP) in District HI (Heavy Industrial) for continuous operation of a 147-foot monopole of wireless communications, subject to specified conditions, as to a 2,500 square foot tract.

**ORDINANCE NO. 5871**, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. A conditional use permit is hereby renewed for continuous operation of a 147-foot monopole of wireless communications, as to a 2,500 square foot tract, commonly known as 1320 Blue Ridge Boulevard, and legally described as follows:

**Description:** An easement area being a portion of that certain tract of land as described in Document Number 2011E0070865, as recorded in the office of the Recorder of Deeds for Jackson County, Missouri, lying in the Southeast Quarter of Section 6, Township 49 North, Range 32 West and being more particularly described as follows:

Commence at a T-post found marking the Northwest corner of said tract described in Document Number 2011E0070865, thence run South 01 degrees 50 minutes 51 Seconds West for a distance of 878.89 feet to a T-post found marking the Southwesterly most corner of said tract; thence run North 88 degrees 37 minutes 30 seconds East for a distance of 1113.10 feet to the Southwest corner of an existing 6-foot chain link fence with barbed wire and the Point of Beginning; thence run North 01 degrees 48 minutes 00 seconds East for a distance of 30.24 feet to a 5/8" rebar set; thence South 87 degrees 50 minutes 25 seconds East for a distance of 68.42 feet to a 5/8" rebar set; thence run South 01 degrees 34 minutes 11 seconds West for a distance of 29.17 feet to the Southeast corner of said fence; thence run North 88 degrees 43 minutes 51 seconds West along said fence for a distance of 68.54 feet to the Point of Beginning. The above-described easement contains 0.04 acres (2034.1 square feet), more or less.

Section 2. The conditional use permit granted by this Ordinance is subject to the following conditions:

1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Section 3. The Legislature, pursuant to the application of American Tower Asset Sub, LLC, (CU-2024-250), requesting approval embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend APPROVAL of this application in a public hearing on July 18, 2024, does adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5871 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5871.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-125, **Version:** 0

---

**REQUESTED MEETING DATE:** Select Date

Ordinance No. 5871

Date: August 12, 2024

**SPONSORS:**

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Randy Diehl **PHONE:** 816-881-4577

**EMAIL:** rdiehl@jacksongov.org

**DEPARTMENT:** Public Works

**TITLE:** CU-2024-250 - American Tower Asset Sub, LLC

**SUMMARY:** Requesting the renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications in District HI (Heavy Industrial) at 1320 Blue Ridge Boulevard.

### FINANCIAL IMPACT:

**NO** ☒

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐

**ACTION NEEDED:** Choose an item.

**ATTACHMENTS:**

Click or tap here to enter text.



**CU-2024-250**

**ATTACHMENT 1: PROPERTY DESCRIPTION**

**Description:**

An easement area being a portion of that certain tract of land as described in Document Number 2011E0070865, as recorded in the office of the Recorder of Deeds for Jackson County, Missouri, lying in the Southeast Quarter of Section 6, Township 49 North, Range 32 West and being more particularly described as follows:

Commence at a T-post found marking the Northwest corner of said tract described in Document Number 2011E0070865, thence run South 01 degrees 50 minutes 51 Seconds West for a distance of 878.89 feet to a T-post found marking the Southwesterly most corner of said tract; thence run North 88 degrees 37 minutes 30 seconds East for a distance of 1113.10 feet to the Southwest corner of an existing 6 foot chain link fence with barbed wire and the Point of Beginning; thence run North 01 degrees 48 minutes 00 seconds East for a distance of 30.24 feet to a 5/8" rebar set; thence South 87 degrees 50 minutes 25 seconds East for a distance of 68.42 feet to a 5/8" rebar set; thence run South 01 degrees 34 minutes 11 seconds West for a distance of 29.17 feet to the Southeast corner of said fence; thence run North 88 degrees 43 minutes 51 seconds West along said fence for a distance of 68.54 feet to the Point of Beginning. The above-described easement contains 0.04 acres (2034.1 square feet), more or less.

**CU-2024-250**

**ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION**

Attachments

Plan Commission Public Hearing Summary from July 18, 2024

Staff Report

Zoning map of surrounding area

Names/Addresses of Surrounding Property Owners

Copy of letter to said property owners

Application

Aerial of Property

Site Plan

Picture of tower

**CU-2024-250**

**ATTACHMENT 3: LIST OF CONDITIONS**

Condition Use Permit subject to the following Conditions:

1. The commercial communication lattice tower shall not exceed a height of 147 feet as measured from ground level.
2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

**Randy Diehl gave the staff report:**

**RE: CU-2024-250**

**Applicant:** American Tower Asset Sub, LLC

**Location:** 1320 Blue Ridge Boulevard

**Area:** 2,500 square feet

**Request:** Renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications.

**Zoning Classification:** District HI (Heavy Industrial)

**Current Land Use and Zoning in the Area:**

**Comments:** This is a renewal of CU-2001-155 (Ordinance 3150) adopted by the Jackson County Legislature, June 11, 2001, which amended Ordinance 2918 approved July 6, 1999. The permit was for a period of 25 years subject to 10 conditions.

Six of those conditions from the original permit have been removed. Three of the conditions were related to the actual construction of the tower. The other three have been eliminated due to changes to the State Statutes in 2016 limiting certain provisions by jurisdictional authorities.

Requiring screening  
Providing space to local authorities  
Limiting the duration of the permit

Sheet Number C-103, Tower Elevation shows the top of the highest antenna at an elevation of 159'. It should be noted that the antenna is not part of the tower structure.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

**Recommendation:**

Staff recommends APPROVAL of CU-2024-250 subject to the following conditions:

Conditions:

1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

**Mr. Antey: *Are there any other questions for Randy?***

Mr. Lake: How many more years are we going to extend this?

Mr. Diehl: State law does not allow us to set term limits on these. The ones that have been renewed are perpetual. Some applications request a term that run with the lease of the property.

Mr. Horn: How many of these do we have in the County, and do they all basically look the same?

Mr. Diehl: We have about 10 or 12 towers in the unincorporated area.

Mr. Horn: I ask because there are some that look like trees.

Mr. Diehl: Those type of stipulations, looking like a tree or if it's at a place of worship to look like a cross, are no longer allowed.

Mr. Lake: Is this over by the substation?

Mr. Diehl: It's across the street from a cemetery. It actually sits of Lincoln Cemetery's property.

Mr. Farrar: I believe one of the previous requirements was to screen it.

Mr. Diehl: Yes, that requirement has been removed as well.

Mr. Antey: Some still have trees around them from the original applications from years ago.

**Mr. Antey: *Is the applicant here?***

Lawrence Fleming: 10 Presidential Way, Woburn, MA 01801. I represent American Tower.

**Mr. Antey: *do you have anything to add to the report?***

Mr. Fleming: No.

Mr. Lake: What type of communications are you doing on the tower?

Mr. Fleming: Wireless communication for Verizon and T-Mobile. Cell service. Wi-Fi as we well.

**Mr. Antey: *Is there anyone else who is in favor of this application?***

There were none.

**Mr. Antey: *Is there anyone who is opposed or has questions regarding this application?***

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Lake seconded.

*Discussion under advisement*

Mr. Monaco moved to approve. Mr. Lake seconded.

|                |         |
|----------------|---------|
| Mr. Lake       | Approve |
| Mr. Farrar     | Approve |
| Me. Smead      | Approve |
| Mr. Monaco     | Approve |
| Mr. Horn       | Approve |
| Mr. Crawford   | Approve |
| Ms. Ryerkerk   | Approve |
| Chairman Antey | Approve |

Motion Carried 8 – 0

## STAFF REPORT

### PLAN COMMISSION

July 18, 2024

RE: CU-2024-250

**Applicant:** American Tower Asset Sub, LLC

**Location:** 1320 Blue Ridge Boulevard

**Area:** 2,500 square feet

**Request:** Renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications.

**Zoning Classification:** District HI (Heavy Industrial)

#### Current Land Use and Zoning in the Area:

**Comments:** This is a renewal of CU-2001-155 (Ordinance 3150) adopted by the Jackson County Legislature, June 11, 2001, which amended Ordinance 2918 approved July 6, 1999. The permit was for a period of 25 years subject to 10 conditions.

Six of those conditions from the original permit have been removed. Three of the conditions were related to the actual construction of the tower. The other three have been eliminated due to changes to the State Statutes in 2016 limiting certain provisions by jurisdictional authorities.

Requiring screening  
Providing space to local authorities  
Limiting the duration of the permit

Sheet Number C-103, Tower Elevation shows the top of the highest antenna at an elevation of 159'. It should be noted that the antenna is not part of the tower structure.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

**Recommendation:**

Staff recommends APPROVAL of CU-2024-250 subject to the following conditions:

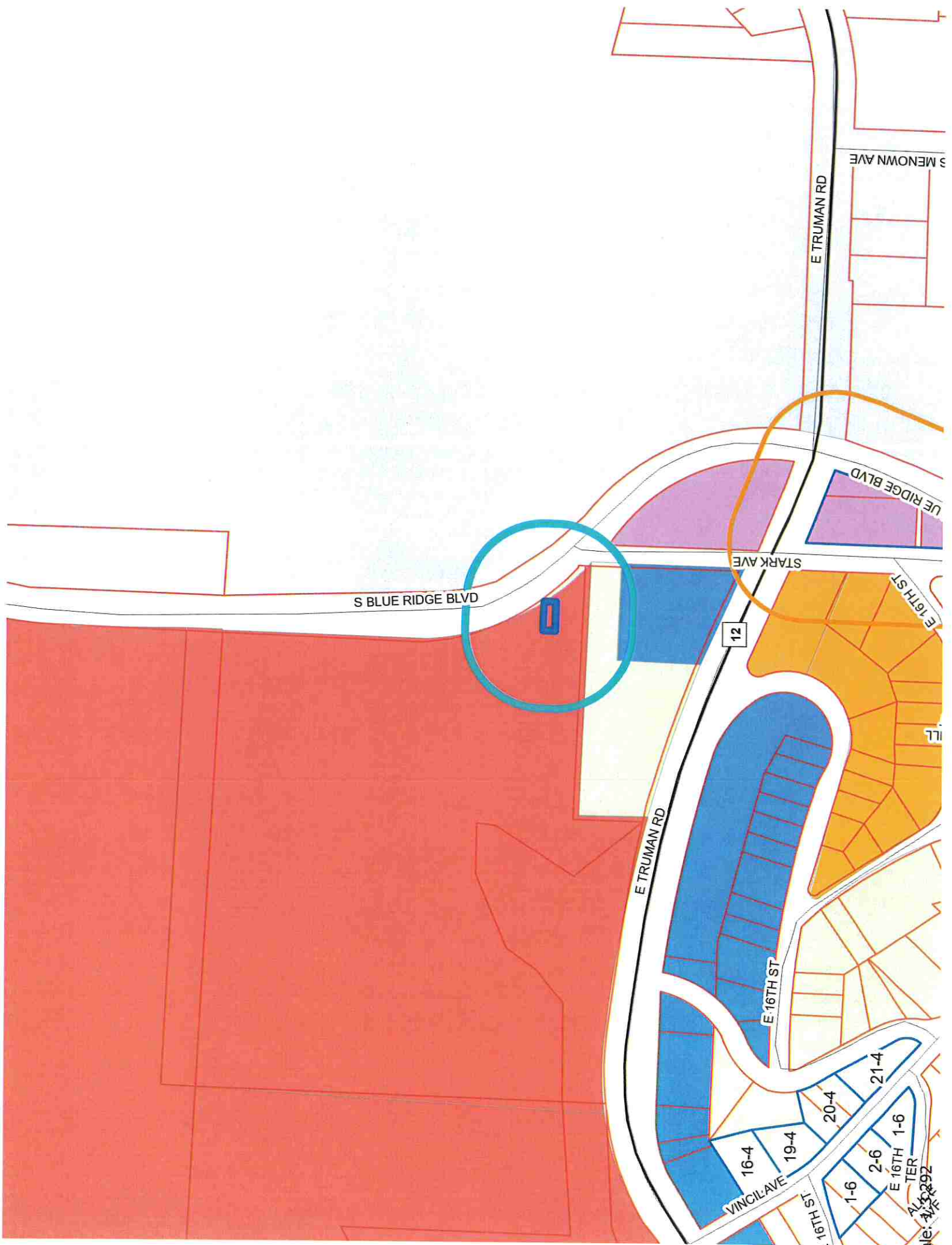
Conditions:

1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator





S BLUE RIDGE BLVD

E TRUMAN RD

STARK AVE

BLUE RIDGE BLVD

E 16TH ST

E TRUMAN RD

E 16TH ST

VINCILAVE

E 16TH ST

E 16TH TER

12

16-4

19-4

20-4

21-4

1-6

2-6

1-6

AL 12-292

CU-2024-250

Property Owners Within 185 feet

| Parcel                   | owner                                                  | address                             | city                   | state    | zip                 |
|--------------------------|--------------------------------------------------------|-------------------------------------|------------------------|----------|---------------------|
| 27-230-01-14-01-0-00-000 | WINNER ROAD PROPERTIES LLC                             | 2345 GRAND BLVD STE 2200            | KANSAS CITY            | MO       | 64108               |
| 27-230-06-19-00-0-00-000 | LANDMARK MORTGAGE CO                                   | 300 W 11ST STREET                   | KANSAS CITY            | MO       | 64105               |
| 27-340-02-05-00-0-00-000 | SBKA LLC                                               | 1101 S SEYMOUR RD                   | GRAIN VALLEY           | MO       | 64029               |
| 27-340-02-06-01-0-00-000 | DOUGLAS INVESTMENT CO<br>AMERICAN TOWER ASSET SUB, LLC | 2632 W PASEO<br>10 PRESIDENTIAL WAY | KANSAS CITY<br>WOBBURN | MO<br>MA | 64108-3012<br>01801 |



## JACKSON COUNTY Public Works Department

Jackson County Technology Center  
303 West Walnut Street  
Independence, Missouri 64050  
jacksongov.org

(816) 881-4530  
Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: CU-2024-250  
American Tower Asset Sub LLC

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by American Tower Asset Sub LLC, requesting the renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications in District AG (Agriculture) at 1320 Blue Ridge Boulevard.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on Thursday, July 18, 2024 at 8:30 a.m. in the Large Conference Room, 2<sup>nd</sup> Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.  
3, 2024

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

*Frank White, Jr., County Executive*

JACKSON COUNTY, MISSOURI  
CONDITIONAL USE PERMIT APPLICATION

---

APPLICANT INFORMATION:

1. Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, MO 64050 by the deadline on the Plan Commission Calendar.
  2. Application must be typed or printed in a legible manner.
  3. A scaled map of the property, correlating with the legal description, and clearly showing the property's location must accompany application. Refer to Section 24003.22, pertaining to Site Plan Review within the Unified Development Code.
  4. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
  5. The filing fee \$350.00 (non-refundable) must accompany application.  
(Check payable to: Manager of Finance)
- 

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Conditional Use Permit Number      CU- 2024-250

Date filed \_\_\_\_\_ Date of hearing \_\_\_\_\_

Date advertised \_\_\_\_\_ Date property owners notified \_\_\_\_\_

Date signs posted \_\_\_\_\_

Hearings:      Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

---

BEGIN APPLICATION HERE:

1. Data on Applicant(s) and Owner(s):
  - a. Applicant(s) Name: **AMERICAN TOWER ASSET SUB, LLC**  
Address: 10 Presidential Way, Woburn, MA 01801  
Phone: (781) 926-4500
  - b. Owner(s) Name: **DOUGLAS INVESTMENT CO.**  
Address: 2632 W Paseo Blvd, Kansas City, MO 64108-3012  
Phone: (816) 221-3075



c. Agent(s) Name: Lawrence Fleming

Address: American Tower, 10 Presidential Way, Woburn, MA 01801  
Phone: (781) 926-7354

d. Applicant's interest in Property: **Perpetual Easement Holder**

2. A CONDITIONAL USE PERMIT IS HEREBY REQUESTED for the following described

use: **Telecommunication Tower and Facilities** \_\_\_\_\_ for

a period of ~~25~~ **PERPETUAL** years; property described as follows: a tract of land **2,500** square feet/acres in size located at **1320 S BLUE RIDGE BLVD, KANSAS CITY, MO 64126**.

Present Zoning District: **Heavy Industrial (HI)** \_\_\_\_\_

3. Legal Description of Property: (Write Below or Attached): **Attached.**

4. Present Use of Property: **Cemetery with Existing Telecommunications Tower and Facilities** \_\_\_\_\_

5. Proposed Use of Property: **Cemetery with Telecommunications Tower and Facilities** \_\_\_\_\_

6. Estimated Time Schedule for Development: **N/A, this is an existing facility where applicant is seeking to renew existing conditional use permit with no new construction proposed.** \_\_\_\_\_

7. What effect will your proposed development have on the surrounding properties? **The Telecommunications Tower and Facilities provide critical wireless cellular telephone and internet connectivity to the surrounding community. Proximity to the tower provides enhanced speed and connectivity, which generates economic advantages for users, and can facilitate emergency services communication. The abutters to the Property consist of a 193 acre cemetery, three undeveloped woodland tracks, and a warehouse.**

8. Is any portion of the property within the established flood plain as shown on the FEMA Flood Boundary Map? No \_\_\_\_\_ If so, will any improvements be made to the property which will increase or decrease the elevation? N/A \_\_\_\_\_

9. Describe the source/method which provides the following services, and what effect the development will have on same:

a. Water N/A \_\_\_\_\_

b. Sewage disposal N/A \_\_\_\_\_

c. Electricity KP&L pole within 100' of site, impact negligible \_\_\_\_\_

d. Heating N/A \_\_\_\_\_

e. Fire and Police protection Jackson County \_\_\_\_\_

10. Describe existing road width and condition: 12' wide concrete access road off of Blue Ridge Blvd (Public Right-of-Way), 8" thick within right of way and 4" thick within Property, with 16' locked steel access gate. Roadway in good condition.

11. What effect will proposed development have on existing road and traffic conditions? Very little impact on existing road and traffic conditions. The facility is unmanned with periodic maintenance vehicles accessing the site one or twice per year or as needed.

\_\_\_\_\_

12. Are any state, federal, or other public agencies approvals or permits required for the proposed development? No. \_\_\_\_\_

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): N/A \_\_\_\_\_

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Date

Property Owner(s)

DOUGLAS INVESTMENT CO

By:

Applicant(s):

AMERICAN TOWER ASSET SUB, LLC

By: Margaret Robinson, VP, US Legal

Contract Purchaser(s):

STATE OF

COUNTY OF

On this 29 day of April, in the year of 2024, before me the undersigned notary public, personally appeared Tara K. Johnson

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal.

Notary Public

Commission Expires

STATE OF

COUNTY OF

On this 7th day of May, in the year of 2024, before me the undersigned notary public, personally appeared Margaret Robinson

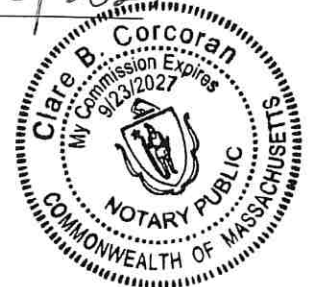
known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal.

Notary Public

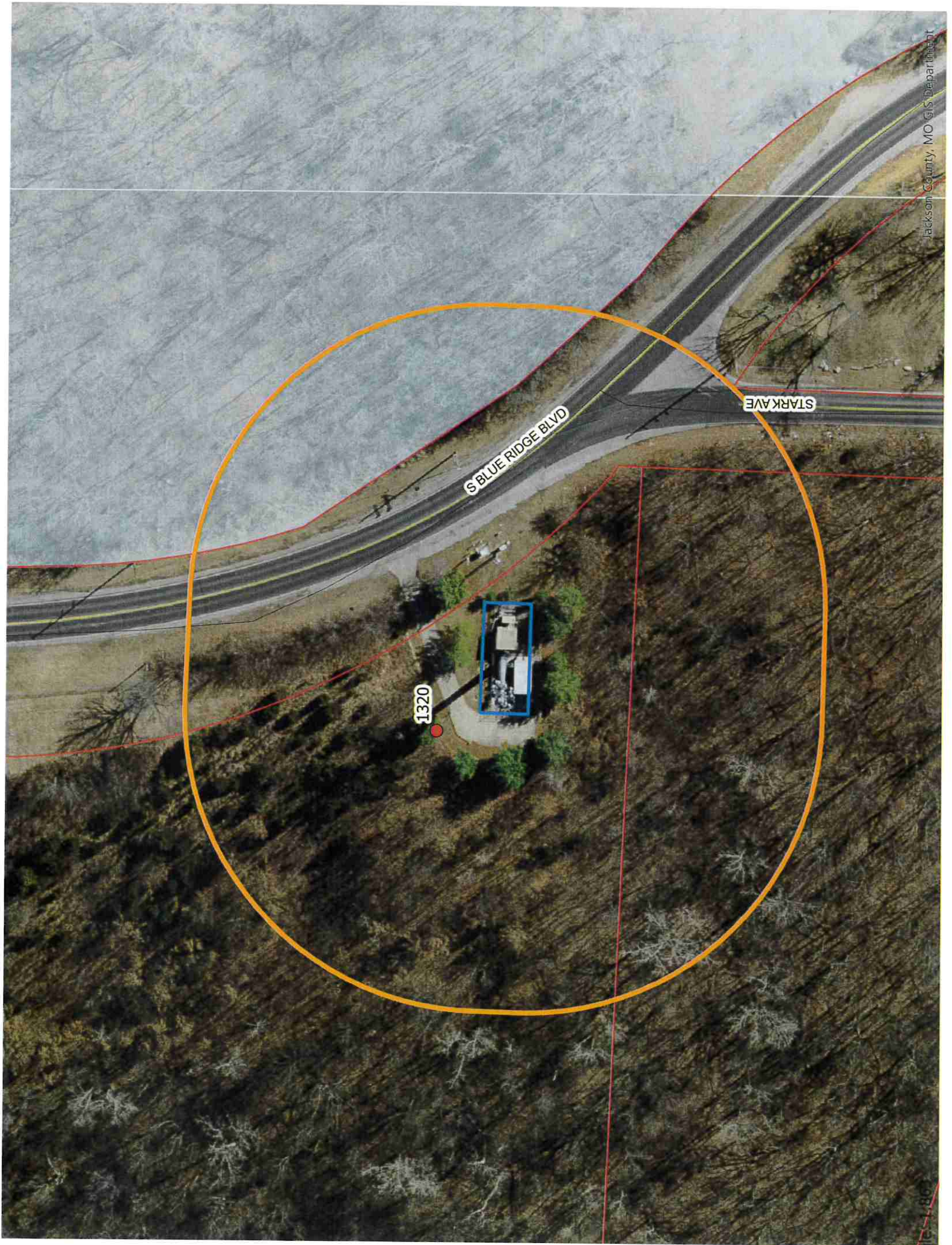
Commission Expires




Alison H. Day  
Notary Public, State of Ohio  
My Commission Expires:  
07/14/2028











**AMERICAN TOWER®**  
**ATC TOWER SERVICES**  
 1 FENTON MAIN STREET  
 SUITE 300  
 CARLE PLACE  
 PHONE (919) 488-0112  
 COA: 2015011232


THESE DRAWINGS ARE THE ACCOMPANYING  
 EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND  
 REPRODUCTION FOR ANY OTHER PROJECT OR FOR ANY  
 PURPOSE FOR WHICH THEY ARE PREPARED, ANY USE OR REPRODUCTION  
 WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER OR  
 THE SPECIFIED OWNER IS STRICTLY PROHIBITED. AMERICAN  
 TOWER AND/OR ITS AFFILIATES SHALL NOT BE RESPONSIBLE FOR  
 AMERICAN TOWER SHALL NOT BE RESPONSIBLE FOR THE  
 EXECUTION, EITHER THE ARCHITECT AND THE ENGINEER SHALL  
 BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE  
 PROJECT. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND  
 QUANTITIES SHOWN ON THE DRAWING. THE DRAWING IS THE  
 AUTHORITY IN THE EVENT OF A DISCREPANCY BETWEEN THE  
 VENDOR OR FELL WITH AMERICAN TOWER.

| REV. | DESCRIPTION      | BY | DATE     |
|------|------------------|----|----------|
| 1/A  | FOR CONSTRUCTION | EB | 04/30/24 |
| 2/A  | REV DESCRIPTION  | FB | 09/10/24 |
| 3/A  |                  |    |          |
| 4/A  |                  |    |          |
| 5/A  |                  |    |          |

ATC SITE NUMBER:  
**305873**

ATC SITE NAME:  
**MAYWOOD MO 6**

SITE ADDRESS:  
1320 BLUE RIDGE BLVD  
KANSAAS CITY, MO 64128



**Scott** Digitally signed  
 by Scott Wirgau  
 Date: 2024.05.10 12:04:40 -0400  
**Wirgau**

|             |            |
|-------------|------------|
| DATE DRAWN: | 04/09/24   |
| ATC JOB NO  | 1460227_E1 |

TITLE SHEET

SHEET NUMBER:  
**G-001**

REVISION:  
**1**

- NOTES:
- THIS SET OF DRAWINGS IS INTENDED TO BE USED FOR THE CONSTRUCTION OF THE PROJECT AND NOT FOR ANY OTHER PURPOSE. THE PROJECT WILL NOT RESULT IN ANY PROPOSED WORK.
  - BOUNDARY INFORMATION OBTAINED FROM DATATREE ONLINE GIS.

N/A  
DAN REALTY COMPANY  
PARCEL #: 27-340-03-01-0

N/A  
DOUGLAS INVESTMENT CO  
PARCEL #: 27-340-02-08-01-00-000

N/A  
LINCOLN INVESTMENT CO  
PARCEL #: 27-310-028-06-00

EXISTING COMPOUND

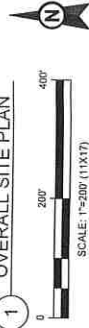
EXISTING TOWER

N/A  
SBAW LLC  
PARCEL #: 27-340-02-05-00-0-00-000

N/A  
LINKDOWN  
PARCEL #: N/A

- SURVEY LEGEND
- EXISTING PROPERTY
  - EXISTING ADJ. PROPERTY
  - EXISTING EASEMENT
  - EXISTING CONTOUR (MAJOR)
  - EXISTING CONTOUR (MINOR)
  - EXISTING TREELINE
  - EXISTING CHAINLINK FENCE
  - EXISTING BUILDING
  - EXISTING STORM DRAIN
  - EXISTING ROAD (DIRT)
  - EXISTING ROAD (STONE)
  - EXISTING ROAD (PAVED)
  - EXISTING CONCRETE
  - EXISTING LEASE AREA

1 OVERALL SITE PLAN



**AMERICAN TOWER\***  
ATC TOWER SERVICES  
1 FENTON MAIN STREET  
CARY, NC 27511  
PHONE: (919) 488-0112  
COA: 2015011322

THESE DRAWINGS AND/OR THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF AMERICAN TOWER. THEIR USE AND REPRODUCTION FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER IS STRICTLY PROHIBITED. THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE PROJECT CONTRACTOR AND IS NOT TO BE USED FOR ANY OTHER PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. AMERICAN TOWER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE DRAWINGS.

| REV. | DESCRIPTION      | BY | DATE     |
|------|------------------|----|----------|
| 1    | FOR CONSTRUCTION | EB | 04/03/24 |
|      |                  |    |          |
|      |                  |    |          |
|      |                  |    |          |

ATC SITE NUMBER  
305873  
ATC SITE NAME:  
MAYWOOD MO 6

SITE ADDRESS:  
1320 MILLER BLVD  
KANSAS CITY, MO 64128

SEAL



Digitally Signed: 2024-05-10

DATE DRAWN: 04/03/24  
ATC JOB NO: 14860227\_E1

OVERALL SITE PLAN

SHEET NUMBER  
C-101  
REVISION:  
0



THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION ARE INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND REPRODUCTION BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF AMERICAN TOWER IS PROHIBITED. TO THE EXTENT THAT ANY OF THESE DRAWINGS OR SPECIFICATIONS ARE REPRODUCED OR USED BY ANY OTHER PARTY FOR OTHER THAN THAT WHICH THEY ARE PRIMARILY RELATED TO, AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO ANY INVENTION OR INTELLECTUAL PROPERTY RIGHTS IN ANY AMERICAN TOWER DESIGN SHALL REMAIN THE PROPERTY OF AMERICAN TOWER. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER. THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. AMERICAN TOWER ENGINEERS MUST VERIFY ALL DIMENSIONS AND MATERIALS. AMERICAN TOWER ENGINEERS WILL BE PROVIDING AMERICAN TOWER WITH THE LATEST REVISION ON FILE WITH AMERICAN TOWER.

| REV. | DESCRIPTION      | BY | DATE     |
|------|------------------|----|----------|
| 0    | FOR CONSTRUCTION | EB | 04/30/24 |
|      |                  |    |          |
|      |                  |    |          |
|      |                  |    |          |
|      |                  |    |          |

ATC SITE NUMBER:  
305873

ATC SITE NAME:  
MAYWOOD M

**SITE ADDRESS:**  
1320 BLUE RIDGE BLVD  
KANSAS CITY, MO 64126

SEAL:

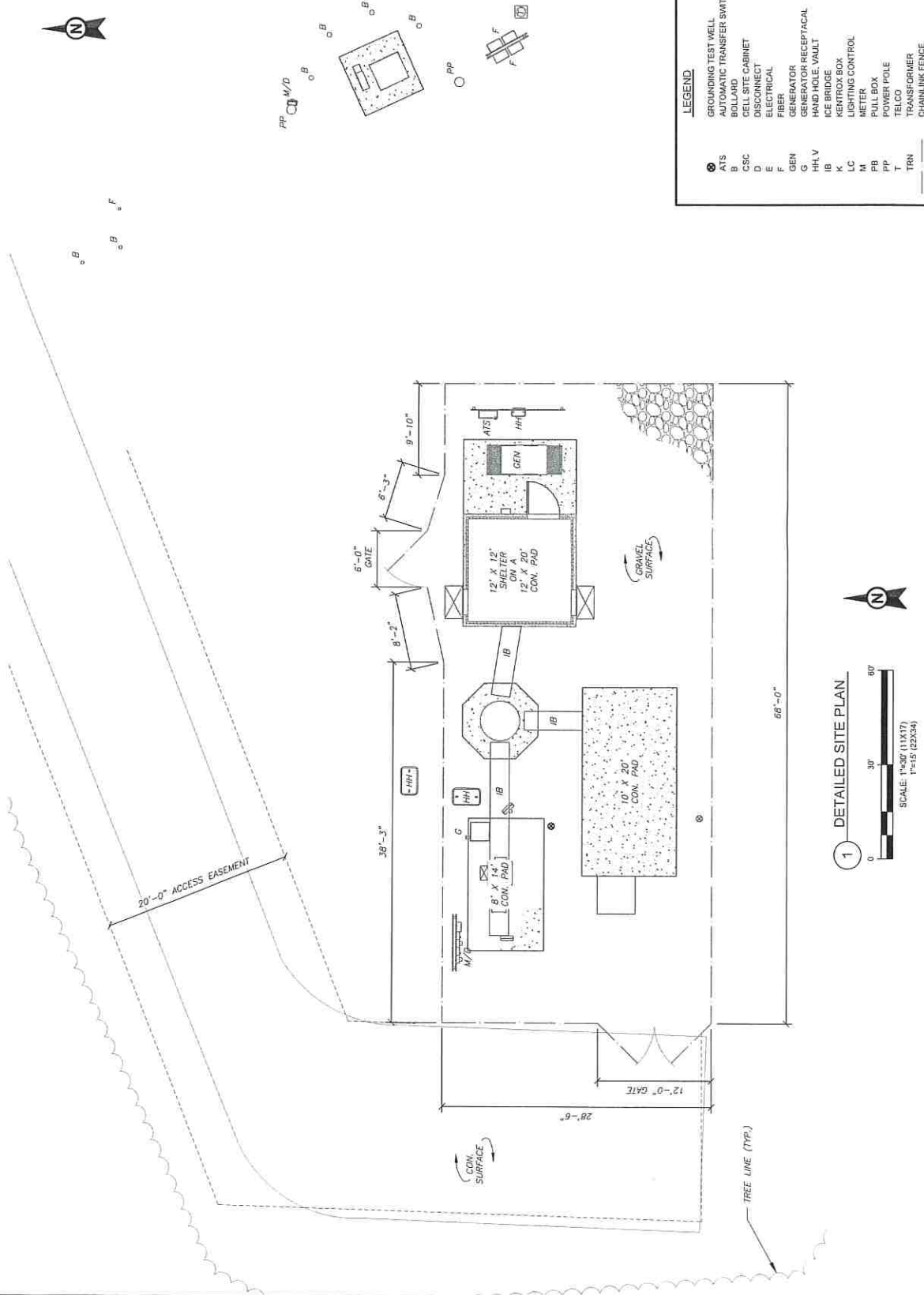


Digitally Signed: 2024-05-10

|             |             |
|-------------|-------------|
| DATE DRAWN: | 04/30/24    |
| ATC JOB NO: | 14860227_E1 |

## DETAILED SITE PLAN

|                        |                |
|------------------------|----------------|
| SHEET NUMBER:<br>C-102 | REVISION:<br>0 |
|------------------------|----------------|





**AMERICAN TOWER\***  
**ATC TOWER SERVICES**  
1 FENTON MANOR STREET  
SUITE 300  
CARY, NC 27511  
PHONE: (919) 488-0112  
COA: 201801132

THESE DRAWINGS ACCORD TO THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF AMERICAN TOWER. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER. THESE DRAWINGS ARE THE PROPERTY OF AMERICAN TOWER AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER. THESE DRAWINGS ARE THE PROPERTY OF AMERICAN TOWER AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER.

| REV. | DESCRIPTION      | BY | DATE     |
|------|------------------|----|----------|
| 1    | FOR CONSTRUCTION | EB | 04/00/24 |
| 2    |                  |    |          |
| 3    |                  |    |          |
| 4    |                  |    |          |

ATC SITE NUMBER  
**305873**  
ATC SITE NAME  
**MAYWOOD MO 6**

SITE ADDRESS:  
1320 BLUE RIDGE BLVD  
KANSAS CITY, MO 64126

SEAL:

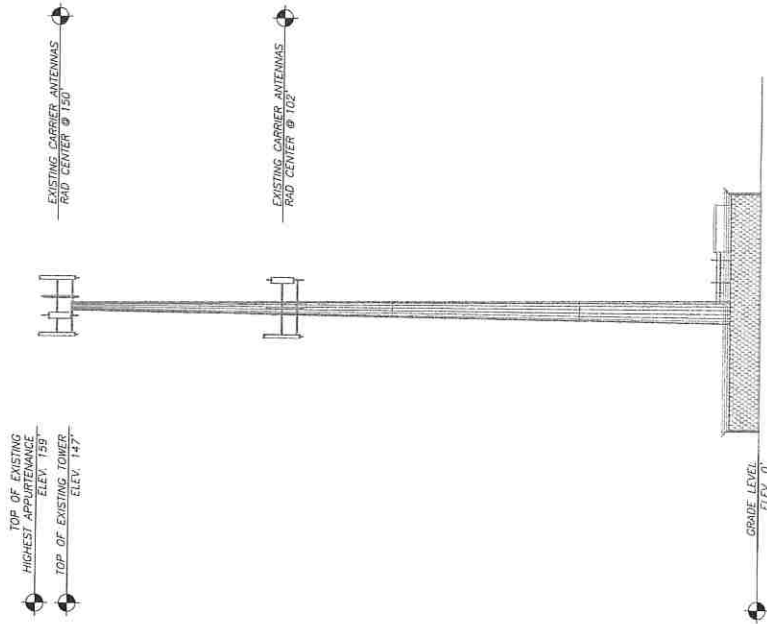


Digitally Signed: 2024-05-10

DATE DRAWN: 04/00/24  
ATC JOB NO: 14660227\_E1

**TOWER ELEVATION**

SHEET NUMBER  
**C-103**  
REVISION  
**0**



1 TOWER ELEVATION  
SCALE: NOT TO SCALE













## IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

**AN ORDINANCE** amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 5.00± acre tract from District AG (Agricultural) to District RE (Residential Estates).

**ORDINANCE NO. 5872**, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries of the "AG" (Agricultural) and "RE" (Residential Estates) Districts, so that there will be transferred from District AG to District RE 5.00± tract of land located at 26109 E. Flynn Road in Jackson County, MO, legally described as follows:

**Description:** That part of the Northwest Quarter of the Southwest Quarter of Section 7, Township 49, Range 30, Jackson County, Missouri, described as follows: Commencing at the Northeast Corner of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, 579.62 feet to the Point of Beginning; thence S 01 degrees 44 minutes 57 seconds West 561.14 feet; thence South 88 degrees 15 minutes 03 seconds West, 447.21 feet; thence North 01 degrees 05 minutes 47 seconds West, 281.78 feet; thence North 26 degrees 49 minutes 12 seconds West, 310 feet more or less to the North line of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, along said North line of said Northwest Quarter Southwest Quarter, 300 feet more or less, to the Point of Beginning. Except part in road.



Section 2. The Legislature, pursuant to the application of Samantha and Levi Irwin, (RZ-2024-682), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend APPROVAL of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5872 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5872.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-128, **Version:** 1

---

**REQUESTED MEETING DATE:** Select Date

Ordinance No. 5872

**SPONSORS:**

Date: August 12, 2024

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Randy Diehl **PHONE:** 816-881-4577

**EMAIL:** [rdiehl@jacksongov.org](mailto:rdiehl@jacksongov.org)

**DEPARTMENT:** Public Works

**TITLE:** [RZ-2024-682 - Samantha & Levi Irwin](#)

**SUMMARY:** Requesting a change of zoning from District AG (Agricultural) on 5.00 ± acres to District RE (Residential Estates). The purpose is to create a single-family residential lot at 26109 E. Flynn Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request. The Plan Commission voted 8 to 0 to recommend APPROVAL to the County Legislature.

**FINANCIAL IMPACT:**

**NO** ☒

---

**File #:** 24-128, **Version:** 1

---

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐

**ACTION NEEDED:** Choose an item.

**ATTACHMENTS:**

Click or tap here to enter text.

**RZ-2024-682**

**ATTACHMENT 1: PROPERTY DESCRIPTION**

**Description:**

That part of the Northwest Quarter of the Southwest Quarter of Section 7, Township 49, Range 30, Jackson County, Missouri, described as follows: Commencing at the Northeast Corner of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, 579.62 feet to the Point of Beginning; thence S 01 degrees 44 minutes 57 seconds West 561.14 feet; thence South 88 degrees 15 minutes 03 seconds West, 447.21 feet; thence North 01 degrees 05 minutes 47 seconds West, 281.78 feet; thence North 26 degrees 49 minutes 12 seconds West, 310 feet more or less to the North line of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, along said North line of said Northwest Quarter Southwest Quarter, 300 feet more or less, to the Point of Beginning.  
Except part in road.

RZ-2024-682

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024

Staff Report

Zoning map of surrounding area

Names and addresses of surrounding property owners

Letter to surrounding property owners

Application

Aerial of location

Copy of plat

**Randy Diehl gave the staff report:**

**RE: RZ-2024-682**

**Applicant:** Samantha & Levi Irwin

**Location:** 26109 E. Flynn Road

**Area:** 5.00 ± acres

**Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)

**Purpose:** The purpose is to create a single-family residential lot.

**Current Land Use and Zoning in the Area:**

The zoning in the area is Agricultural and Residential.

Land use is single family residences.

Property sizes range from 3.00 acres to larger tracts.

The applicant wishes to place the existing dwelling on a 5.00-acre lot. The remaining 12.48 acres will remain within District AG, since it is over 10.00 acres in size.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

**Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-682.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

**Mr. Antey: *Are there any questions for Randy?***

Mr. Monaco: So, there's nothing on the lot today?

Mr. Diehl: The 5.00 acres will contain the existing house. The 12.00 acres tract will become buildable.

Discussion ensued regarding the location of the any future improvements on the 12.00 tract.

Mr. Lake: How wide is the back tract's access?

Mr. Diehl: At the road it's over 200 feet.

**Mr. Antey: *Is the applicant here?***

Samantha Irwin: 26109 E. Flynn Road.

**Mr. Antey: *Do you have anything to add to the report?***

Ms. Irwin: No, I don't.

**Mr. Antey: *Is there anyone else who is in favor of this application?***

There were none.

**Mr. Antey: *Is there anyone who is opposed or has questions regarding this application?***

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Lake seconded.

*Discussion under advisement*

Mr. Crawford moved to approve. Mr. Lake seconded.

|                |         |
|----------------|---------|
| Mr. Lake       | Approve |
| Mr. Farrar     | Approve |
| Me. Smead      | Approve |
| Mr. Monaco     | Approve |
| Mr. Horn       | Approve |
| Mr. Crawford   | Approve |
| Ms. Ryerkerk   | Approve |
| Chairman Antey | Approve |

Motion Carried 8 – 0



## STAFF REPORT

### PLAN COMMISSION

July 18, 2024

RE: RZ-2024-682

**Applicant:** Samantha & Levi Irwin

**Location:** 26109 E. Flynn Road

**Area:** 5.00 ± acres

**Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)

**Purpose:** The purpose is to create a single-family residential lot.

#### **Current Land Use and Zoning in the Area:**

The zoning in the area is Agricultural and Residential.

Land use is single family residences.

Property sizes range from 3.00 acres to larger tracts.

The applicant wishes to place the existing dwelling on a 5.00-acre lot. The remaining 12.48 acres will remain within District AG, since it is over 10.00 acres in size.

#### **County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

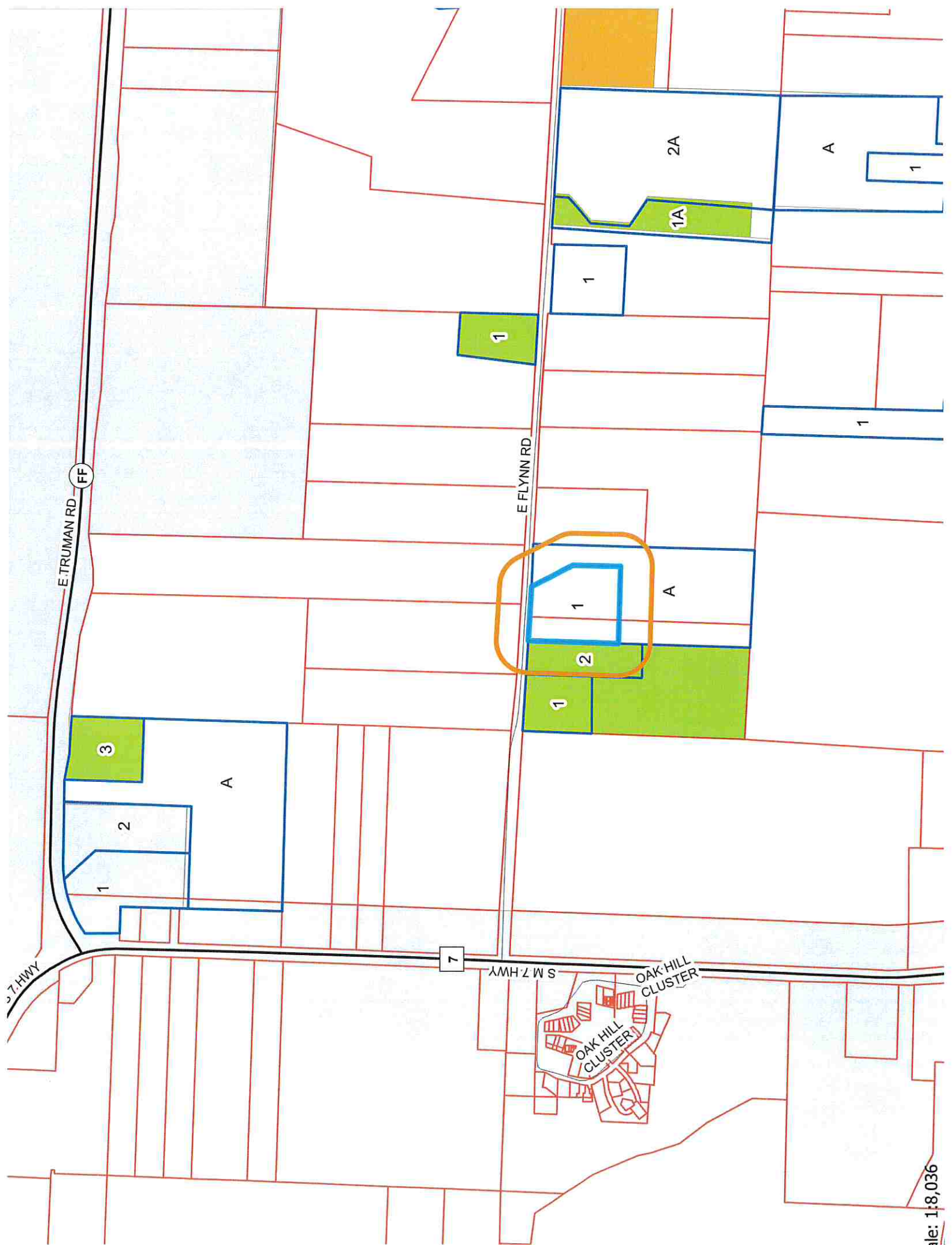
#### **Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-682.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



RZ-2024-682

Property Owners Within 185 feet

| parcel                   | owner                           | address          | city          | state | zip   |
|--------------------------|---------------------------------|------------------|---------------|-------|-------|
| 23-400-02-10-00-0-00-000 | RIECHMANN DONALD E & JOY L      | 26006 E FLYNN RD | INDEPENDENCE  | MO    | 64057 |
| 23-400-03-09-01-0-00-000 | PORTER BRENDA ELAINE-TRUSTEE    | 11262 GARNETT ST | OVERLAND PARK | KS    | 66210 |
| 23-400-03-02-0-00-000    | BROGGI WILLIAM E JR & VICKIE L  | 26403 E FLYNN RD | INDEPENDENCE  | MO    | 64057 |
| 23-400-02-12-00-0-00-000 | RIECHMANN DONALD E & JOY L      | 26006 E FLYNN RD | INDEPENDENCE  | MO    | 64057 |
| 23-400-03-14-00-0-00-000 | GIESEKE LINDA J                 | 26103 E FLYNN R  | INDEPENDENCE  | MO    | 64057 |
| 23-400-03-03-01-0-00-000 | IRWIN SAMANTHA KAYE & LEVI ERIC | 26109 E FLYNN RD | INDEPENDENCE  | MO    | 64057 |
| 23-400-03-02-01-0-00-000 | IRWIN SAMANTHA KAYE & LEVI ERIC | 26109 E FLYNN RD | INDEPENDENCE  | MO    | 64057 |



## JACKSON COUNTY Public Works Department

Jackson County Technology Center  
303 West Walnut Street  
Independence, Missouri 64050  
jacksongov.org

(816) 881-4530  
Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-682  
Samantha & Levi Irwin

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Samantha & Levi Irwin for a change of zoning from District AG (Agricultural) on 5.00 ± acres to District RE (Residential Estates). The purpose is to create a single-family residential lot at 26109 E. Flynn Road.

Please note that this request for a change of zoning affects only the property mentioned above. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on Thursday, July 18, 2024, at 8:30 a.m. in the Large Conference Room, 2<sup>nd</sup> Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



**JACKSON COUNTY, MISSOURI  
APPLICATION FOR CHANGE OF ZONING**

---

**APPLICANT INFORMATION:**

1. Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
  2. Application must be typed or printed in a legible manner.
  3. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
  4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
  5. The filing fee (non-refundable) must accompany application.  
(Check payable to: Manager of Finance)  
\$350.00 – Change of Zoning to Residential  
\$500.00 – Change of Zoning to Commercial or Industrial
- 

**TO BE COMPLETED BY OFFICE PERSONNEL ONLY:**

Rezoning Case Number RZ- 2024-682

Date filed \_\_\_\_\_ Date of hearing \_\_\_\_\_

Date advertised \_\_\_\_\_ Date property owners notified \_\_\_\_\_

Date signs posted \_\_\_\_\_

Hearings:    Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

---

**BEGIN APPLICATION HERE:**

---

1. **Data on Applicant(s) and Owner(s):**
  - a. Applicant(s) Name: Samantha and Levi Irwin  
Address: 26109 E Flynn Rd  
Independence Mo 64057  
Phone: 816-585-6107
  - b. Owner(s) Name: Samantha and Levi Irwin  
Address: 26109 E Flynn Rd, Indep. Mo 64057  
Phone: 816-585-6107
  - c. Agent(s) Name: \_\_\_\_\_

SKINES87 @ GMAIL. COM

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

d. Applicant's interest in Property: \_\_\_\_\_

2. General location (Road Name) 26109 E. FLYNN RD.

3. Present Zoning AG Requested Zoning ~~RE~~ RE

4. AREA (sq. ft. / acres) ~~16.7 ACRES~~ 5.00

5. Legal Description of Property: (Write Below or Attached 9 )

SEE ATTACHED

6. Present Use of Property: RESIDENTIAL

7. Proposed Use of Property: RESIDENTIAL

8. Proposed Time Schedule for Development: LAND DIVISION - 2 TO 3 MONTHS

9. What effect will your proposed development have on the surrounding properties?

ADDITION OF ONE RESIDENTIAL LOT

10. Is any portion of the property within the established flood plain as shown on the FEMA Flood Boundary Map? NO

If so, will any improvements be made to the property which will increase or decrease the elevation? \_\_\_\_\_

11. Describe the source/method which provides the following services, and what effect the development will have on same:

a. Water Public water district unchanged

b. Sewage disposal Septic unchanged

c. Electricity Evergy unchanged

d. Fire and Police protection Jackson county unchange

12. Describe existing road width and condition: as Blacktop 24ft wide

13. What effect will proposed development have on existing road and traffic conditions? ADDITION OF ONE RESIDENTIAL LOT

14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? NO, ONLY JACKSON COUNTY

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): \_\_\_\_\_

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Date

Property Owner(s)

Justin  
Sullivan

6-7-24  
6-7-24

Applicant(s):

Justin  
Sullivan

6-7-24  
6-7-24

Contract Purchaser(s):

NA

NA

STATE OF

Missouri

COUNTY OF

Jackson

On this 07th day of June, in the year of 2024, before me the undersigned notary public, personally appeared Bamatha Brown and  
Kevi Brown only

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

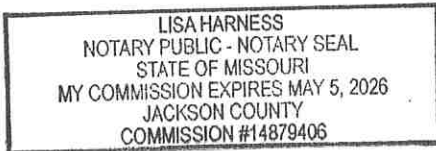
In witness whereof, I hereunto set my hand and official seal.

Notary Public

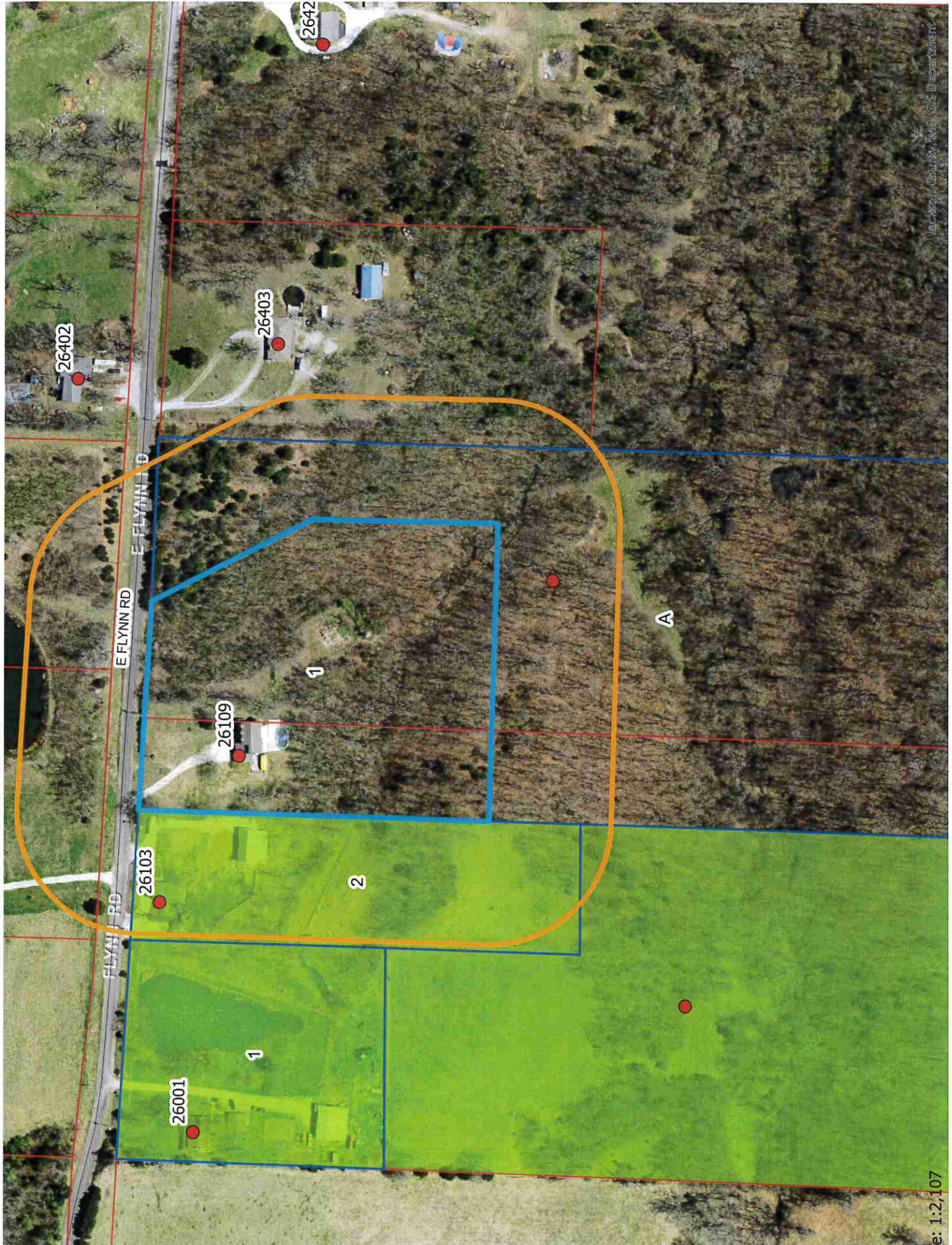
Lisa Harness

Commission Expires

05-05-2026



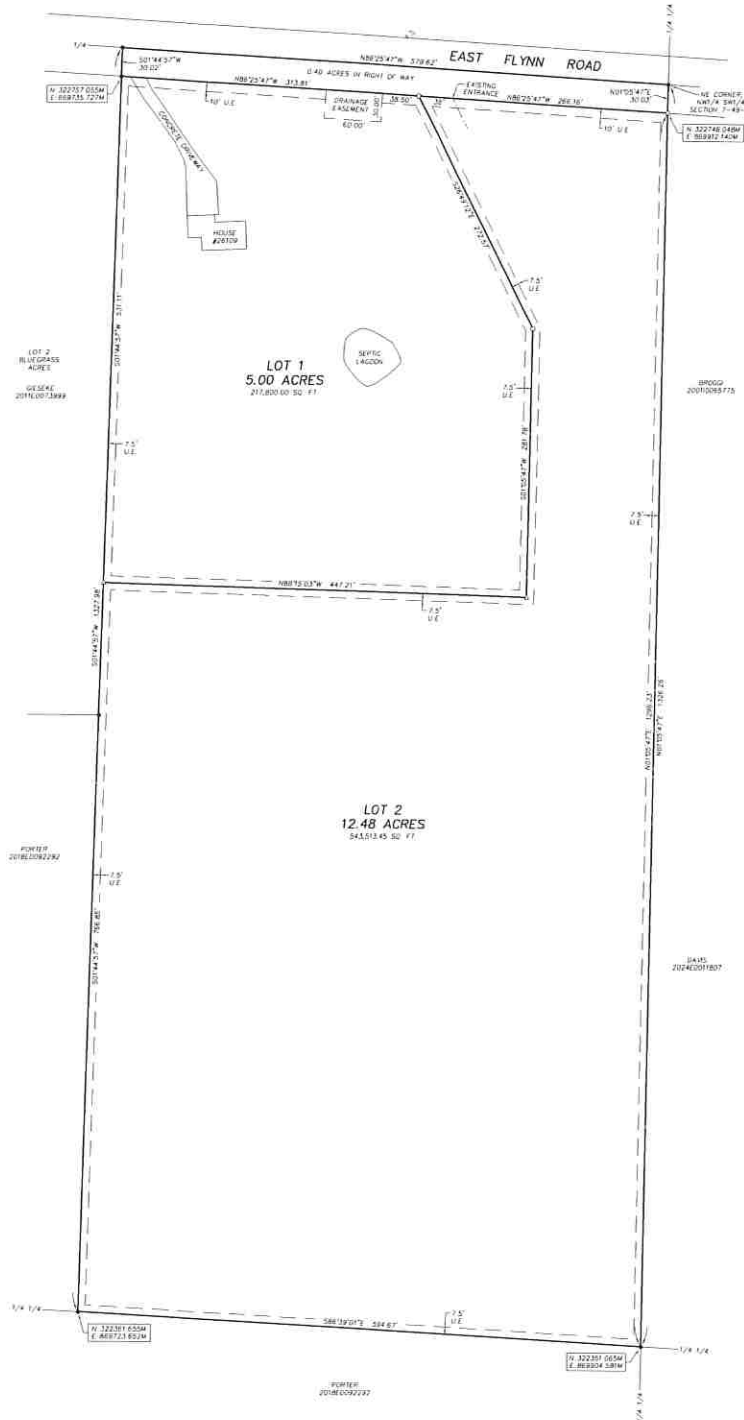






# IRWIN ACRES

PRELIMINARY PLAT  
IN THE NW1/4 SW1/4 SECTION 7, T49N, R30W,  
JACKSON COUNTY, MISSOURI



## DESCRIPTION

THAT PART OF THE NW1/4 OF THE SW1/4 OF SECTION 7, TOWNSHIP 49 NORTH OF THE BASE LINE, RANGE 30 WEST OF THE FIFTH PRINCIPAL MERIDIAN, JACKSON COUNTY, MISSOURI, BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID NW1/4 SW1/4, THENCE N00°42'47"W ALONG THE NORTH LINE OF SAID NW1/4 SW1/4, STREET, THENCE S01°42'47"W, 1327.88' TO THE SOUTH LINE OF SAID NW1/4 SW1/4, THENCE S01°42'47"W, 584.67' TO THE SOUTHWEST CORNER OF SAID NW1/4 SW1/4, THENCE N00°42'47"W, 1327.88' TO THE POINT OF BEGINNING, CONTAINING 17.88 ACRES, AND SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD, IF ANY.

## EASEMENTS

AN EASEMENT OF LICENSE IS HEREBY GRANTED TO JACKSON COUNTY, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN OR AUTHORIZE LOCATION, CONSTRUCTION, MAINTENANCE AND USE OF POLES, WIRES, CABLES AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, FLOOD CONTROL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER PUBLIC SERVICE OR UTILITY, ANY OF ALL OF THEM, OPEN OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS UTILITY EASEMENT (U.E.). DRAINAGE EASEMENT (D.E.), WATER EASEMENT (W.E.) OR SEWER EASEMENT (S.E.) AND WITHIN ANY STREET OR THOROUGHFARE, DEDICATED TO PUBLIC USE ON THIS PLAT, WHERE AN EASEMENT IS DEDICATED TO A SPECIFIC USE, THE USE THEREOF SHALL BE RESTRICTED TO SAID USE. ALL EASEMENTS SHALL BE KEPT FREE AND CLEAR OF ANY BUILDINGS, STRUCTURES OR OTHER OBSTRUCTIONS (EXCEPT DRIVEWAYS, PAVED AREAS, GRASS, SHRUBS, AND TREES) WHICH WOULD INTERFERE WITH THE PROPER CARE AND CONTINUOUS USE AND MAINTENANCE OR RECONSTRUCTION OF THE FACILITIES LOCATED WITH SAID EASEMENTS AND BY THE AGENTS AND EMPLOYEES OF JACKSON COUNTY, MISSOURI, AND ITS FRANCHISED UTILITIES FROM LONG-TERM SAID EASEMENTS IN THE EXERCISING OF THE RIGHTS GRANTED BY SAID EASEMENT.

## STREETS AND ROADS

STREETS, ROADS AND THOROUGHFARES SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED FOR PUBLIC USE ARE HEREBY SO DEDICATED.

## DEDICATION

THE UNDERSIGNED PROPRIETORS OF THE ABOVE DESCRIBED TRACT HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN HEREON, WHICH SUBDIVISION SHALL BE KNOWN AS IRWIN ACRES.

IN TESTIMONY WHEREOF, SAMANTHA KATE IRWIN AND LEVI ERIC IRWIN HAVE SUBSCRIBED THEIR NAMES

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

SAMANTHA KATE IRWIN LEVI ERIC IRWIN

STATE OF MISSOURI )  
COUNTY OF JACKSON )

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, before me, a Notary Public in and for said County and State, personally appeared SAMANTHA KATE IRWIN and LEVI ERIC IRWIN, known to me to be the persons who executed the within instrument and acknowledged to me that they executed the same for the purposes herein stated. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL, THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

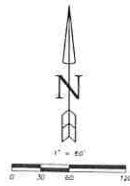
BY \_\_\_\_\_ DATE \_\_\_\_\_  
PUBLIC WORKS DEPARTMENT

BY \_\_\_\_\_ DATE \_\_\_\_\_  
JACKSON COUNTY ASSESSOR

## LOCATION MAP



T49N, R30W



- = FOUND 1/2" IRON BAR
- = SET 1/2" IRON BAR
- ▲ = FOUND 3/8" IRON BAR
- △ = SET 3/8" IRON BAR

## NOTES

1. BEARINGS SHOWN HEREON ARE QUATERNION BASED ON THE MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE, AS DEVELOPED FROM GPS OBSERVATIONS.
2. ALL CORNER DEED INFORMATION FOR THE SURVEYED TRACT CAN BE FOUND IN INSTRUMENT NUMBER 2020020025.
3. NO INVESTIGATION OR INDEPENDENT SEARCH HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, UNDEVELOPED TITLE EVIDENCE, OR ANY OTHER FACTS THAT MAY AFFECT THE ACCURACY AND CORRECTNESS OF THIS SURVEY.
4. THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A RURAL CLASS SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS (2018 CSR 2020-10-040).
5. THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE SUBJECT PROPERTY ARE UNKNOWN AND ARE NOT SHOWN.
6. THE WORDS "SEPTIC LACCON" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
7. DECLARATION IS MADE TO THE PARTIES NAMED HEREON AND IT IS NOT TRANSFERABLE TO FUTURE OWNERS OF THE SURVEYED PROPERTY.

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A duly REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MISSOURI, AND THAT THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS (2018 CSR 2020-10-040) ADOPTED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND PROFESSIONAL LANDSCAPE ARCHITECTS. IF THIS DOCUMENT DOES NOT HAVE AN EMBOSSED SEAL AND A STAMP IN RED INK, IT SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS.

SISCO LAND SURVEYING, LLC  
PO BOX 84  
LEXINGTON, MO 64507  
PHONE: (800) 259-2800  
sisco@landsurveyingllc.com

MISSOURI STATE CERTIFICATE  
OF AUTHORITY #201300653

SURVEY FOR: SAMANTHA & LEVI IRWIN  
28109 E. FLYNN ROAD  
INDEPENDENCE, MO 64207

DATE: MAY 14, 2024

PROJECT #:

THOMAS G. SISCO  
MO P.L.S. 2003013180

RECORDED OF DEEDS

RECORDED OF DEEDS

RECORDED OF DEEDS

RECORDED OF DEEDS

## IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

**AN ORDINANCE** amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 1.01± acre tract from District LB (Local Business) to District GB (General Business).

**ORDINANCE NO. 5873**, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries of the "LB" (Local Business) and "GB" (General Business) Districts, so that there will be transferred from District LB to District GB 1.01± tract of land located at 8801 Truman Road in Jackson County, MO, legally described as follows:

**Description:** Lot 8, except that part thereof in Blue Ridge Road, and All that part of Lots 7 and 9, lying West of the West line of Blue Ridge Road, Park View, a subdivision in Jackson County, Missouri

Section 2. The Legislature, pursuant to the application of 8801 Truman Road, LLC, (RZ-2024-679), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 4 to 4 recommends to take under advisement of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5873 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5873.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-131, **Version:** 0

---

**REQUESTED MEETING DATE:** Select Date

Ordinance No. 5873  
Date: August 12, 2024

**SPONSORS:**

**STAFF CONTACT:** Randy Diehl

**PHONE:** 816-881-4577

**EMAIL:** [rdiehl@jacksongov.org](mailto:rdiehl@jacksongov.org)

**DEPARTMENT:** Public Works

**TITLE:** [RZ-2024-679 - 8801 Truman Road LLC](#)

**SUMMARY:** Requesting a change of zoning from District LB (Local Business) on 1.01 ± acres to District GB (General Business). The purpose is for potential redevelopment at 8801 E. Truman Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was opposition to the request regarding the proposed use as an adult novelty store. The adult use requires a Conditional Use Permit to be granted by the Legislature. (The applicant has withdrawn the application for the Conditional Use Permit). The Plan Commission voted 4 to 4 to 0 to the County Legislature regarding the rezoning.

**FINANCIAL IMPACT:**

**NO** ☒

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐**ACTION NEEDED:** Choose an item.**ATTACHMENTS:**

Click or tap here to enter text.

**RZ-2024-679**

**ATTACHMENT 1: PROPERTY DESCRIPTION**

**Description:**

Lot 8, except that part thereof in Blue Ridge Road, and All that part of Lots 7 and 9, lying West of the West line of Blue Ridge Road, Park View, a subdivision in Jackson County, Missouri

RZ-2024-679

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024

Staff Report

Zoning map of surrounding area

Names and addresses of surrounding property owners

Letter to surrounding property owners

Application

Letter of proposed use from applicant's representative

Site Plan

Pictures of current building



**Randy Diehl gave the staff report:**

**RE: RZ-2024-679**

**Applicant:** 8801 Truman Road LLC

**Location:** 8801 Truman Road

**Area:** 1.01 ± acres

**Request:** Change of zoning from District LB (Agricultural) to District GB (General Business)

**Purpose:** The purpose is to redevelop the tract for an adult novelty store and laundromat.

**Current Land Use and Zoning in the Area:**

The zoning in the area is commercial, industrial and residential.

The applicant wants to relocate an existing adult store from 8401 E. Truman Road to this location. The development plan would be to raze the existing Moonlight Book Store and construct a 4,000 square foot retail store. An additional 3,700 square foot retail space would be used as a laundromat or other commercial activity.

The bookstore was operating as a legal non-conforming use within District LB (Local Business) and has been closed since 2019 or 2020.

The Unified Development Code states (24003.26.g) that “When a nonconforming use is discontinued for a consecutive period of 180 days, the property involved may thereafter be used for conforming purposes”.

Adult uses that are subject to Chapter 43 of the Jackson County Code are not allowed within District LB.

Since the 180-day period allowing the non-conformity for adult use has expired the property must be rezoned to District GB (General Business) and have a Condition Use Permit granted.

(An application for Conditional Use Permit is pending as CU-2024-251).

Water service in Blue Summit is provided by the City of Independence and the sanitary sewers are maintained by the City of Kansas City.

Currently there is access from Truman Road and Stark Avenue. The proposed development will not have direct access off Truman Road.

There will be approximately 32 parking spaces provided.

There is an apartment planned for employee use located on the second floor of the 4,000 square foot building.

Permitted uses with District GB also include uses within District LB. An accessory dwelling is allowed as an Accessory Use with District LB.

The property will need to be replatted into one contiguous lot to consolidate the current three lots and to eliminate the 12-foot alley.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

**Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-679.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

**Mr. Antey: *Are there any questions for Randy?***

Mr. Lake: This is right at the Stone Arch Bridge?

Mr. Diehl: Correct.

Mr. Lake: There will be no access from Truman Road.

Mr. Diehl: At this time, you can drive onto the property from either Truman Road or Stark Avenue. The applicant has been in contact with MoDOT and direct access from Truman Road will be eliminated.

Mr. Lake: And they own across the street? It's the same color on the map.

Mr. Diehl: No. The coloring is the zoning districts. For clarification the zoning district are color coded as follows:

Purple – LB, Local Business  
Blue – GB, General Business  
Red – HI, Heavy Industrial  
Orange – LI, Light Industrial  
Cream – Single Family

Ms. Ryerkerk: This is Local Business, and they are proposing General Business?

Mr. Diehl: Yes, Local Business does not allow the proposed retail use. General Business with a Conditional Use Permit.

Mr. Horn: So, the one business is going to move to this proposed sight. The gas station will be redeveloped. And the buildings removed.

Mr. Diehl: The buildings at the current site will be removed. The gas station will be replaced with the future travel plaza. Currently, they are wanting to relocate the adult store at 8401 E. Truman Road to this location at 8801 E. Truman Road.

Ms. Ryerkerk: What are some of the differences between Local Business and General Business?

Mr. Diehl: Some of the differences are the types of activities, it allows a bigger building footprint. Permitted uses within Local Business are also included in General Business.

Mr. Horn: According to the application will the building be split 50/50?

Mr. Diehl: They are proposing two separate buildings.

Mr. Antey: We are focusing on the current building. Right now, before us is the property with the blue building on it. I would assume that the building will be razed.

Mr. Diehl: It will be razed for the new development.

Mr. Horn: Do they need to rezone for the current store to be in operation?

Mr. Antey: The laundromat falls into GB zoning.

Mr. Diehl: If the other component wasn't involved, they could rezone and develop with any of the permitted uses. They need the General Business zoning for adult use.

Mr. Horn: So, they could open a laundromat today?

Mr. Diehl: Yes.

Mr. So they are rezoning so they can keep up the adult store?

Mr. Antey: Potentially.

Mr. Diehl: If the Conditional Use Permit does not go through, they can still develop the property with any permitted use for General Business.

Mr. Lake: A car lot, a dispensary or a bookstore.

Mr. Farrar: Is the iconic bridge on Truman Road part of the beautification of the area by the City of Independence?

Mr. Diehl: I don't know, that's a city plan. I did look through that plan and it did mention a recommendation for a travel plaza in the Blue Summit area.

.

Mr. Horn: If they can move forward with some part of this plan, does the rezoning violate Chapter 43?

Mr. Antey: They can still rezone it. They must go through the Conditional Use approval. We can rezone it and the Conditional Use can fail, which gives them the opportunity to some have sort of business there. Passing the rezoning does not give them the right to move the store. They still need the Conditional Use Permit.

Mr. Lake: The way it's zoned right now, what types of businesses can they put there?

Mr. Antey: There's a list of uses in the UDC which are the permitted uses of businesses that can go there now.

Mr. Crawford: Can we get an example of the types of businesses?

Amanda Langenheim (County Counselor's Office) read a list of permitted uses from the UDC.

Mr. Lake: So right now, they can put in a laundromat?

Mr. Horn: That's the point I'm making. Right now, they can put in the laundromat and the two apartments. They can't get a Conditional Use Permit until we rezone it.

Mr. Diehl: Correct. They have the right to ask for a rezoning.

Mr. Antey: They could have come before us and asked for a rezoning because it opens up more opportunities for them and could have said nothing about the adult store. They could have come later for that. The Conditional Use would be a different process. What they intend to put put may not happen.

Mr. Crawford: The Northwest corner at Truman and Stark. Can you tell me what is there?

Mr. Diehl: It's vacant ground. There may have been a plan that never developed.

Mr. Lake: What's the next process?

Mr. Diehl: The Conditional Use is a separate application.

Mr. Lake: The applicant owns the property now. The applicant owns the bookstore?

Mr. Diehl: They acquired the property last year from the former owner's estate.

Mr. Diehl: They are the properly owners, not the owners of the former bookstore that was closed.

Ms. Ryerkerk: If the previous bookstore had not closed or gone out of business, would they (new owners) been able to continue the bookstore?

Mr. Diehl: Yes. That business was grandfathered in. They would be required to obtain a permit from the Environmental Health Division since the ownership changed.

Mr. Lake: Because it sat vacant, it lost the grandfather status?

**Mr. Antey: *Is the applicant here?***

Riad Baghdadi, 11661 College Blvd, Overland Park, KS. I'm with RB Architecture Engineering Construction. I am the consulting engineer for the applicant.

**Mr. Antey: *Do you have anything to add to the report?***

Mr. Baghdadi: I want to emphasize we are just focusing on the rezoning.

Mr. Lake: The applicant currently owns the gas station down the street.

Mr. Baghdadi: Yes.

Kewal Singh: I am the owner.

Mr. Farrar: Is the driving force the laundromat or the adult use store?

Mr. Singh: We are looking at two buildings.

Mr. Farrar: If at the next step, if you are denied the adult use, would you still bring the laundromat to this specific location?

Mr. Singh: Yes. If we can't move this, we cannot develop the travel plaza. Moonlight was there 20 or 30 years.

Mr. Horn: We have to understand the community we're in. The Blue Summit area has about 600 people. I don't know how this would help them. I know this is your business, it's your right.

Mr. Baghdadi: He's been running this business (as the new owner) for about four years. It's a cleaner business than when he bought it. It's like any other adult store. There's no live entertainment, just novelties.

Mr. Horn: If the store closed, why is there a need to revive it?

Mr. Baghdadi: We want to clean up the property and develop it.

Mr. Antey: They are moving the existing store from here to here. That use in to be is still to be considered upon the Conditional Use. It's not reviving, it's just moving.

**Mr. Antey: *Is there anyone else who is in favor of this application?***

Jeff Jewell 18702 E 28<sup>th</sup> St S, Independence, Mo. I am the Fire Chief with Inter-City Fire Department. Most of the accidents on Truman Road come from this parking lot. One of the things I like about this plan is there being no access onto Truman Road. I've been the Chief for about 23 years. I've worked fatalities and murders. This isn't the greatest part of Kansas City. To redevelop this, we will benefit from the tax generated. What they are trying to do would be a boost. This is a poor area. We have issues with the property being vacant. Growing up we were told to stay out of Blue Summit. I'm doing my part to help clean up the area. We fight homeless, illegals and crime. The bookstore has been

there for 30 plus years. It was a high crime rate area. The plans would be to light that intersection up. We don't have lights, that will help. We'll be able to clean this area. When you come up from 435 you know you are in Dogpatch. This is an opportunity to clean it clean. The current building will be torn down and replaced with the store that's already there. I don't think you'll get opposition from the residents. I hope you all to consider what's going in there, no matter what it is, they are spending money back into the community. The eyesore that is there now. The other property he has bought is much better than before. I have a background in law enforcement and I think this is a good thing.

**Mr. Antey: *Is there anyone who is opposed or has questions regarding this application?***

Lucy Young: 2325 Viking Dr., Independence, MO. Chief Jewell hit on lot of points. He's right, this will always be known as Dogpatch. If we continue to think of it as Dogpatch, it will always be Dogpatch. The City of Independence has a gateway plan. It's a base that is needed to look beyond the present. The former County Executive has wanted to shut the adult businesses and couldn't. It's their constitutional right to this type of business and it's our right as citizens to say that we object to it moving next to the iconic stone arch bridge. Community of Christ will be having their conference in 2025. In two years, we'll be having the World Cup. These people will be going by this. It will have an impact on the area. I'm asking to turn down the zoning on the pretext of the next case.

Wes Epperson, 3600 Poplar, Independence, MO. I agree with what Lucy said. I spent a lot of time in Blue Summit. My father was the Deacon of Blue Summit Baptist Church. We were opposed to the first adult shop that went in. That store had a lot of riffraff, a lot of crime. Getting sales tax shouldn't justify it. I'm fine with a laundromat. I just wonder about single mothers who live in the apartments that would use the laundromat and having their kids see people going in there and seeing what they bought. The City of Independence is looking at future projects. I don't think this is the kind of welcome we want coming into Independence.

Chris Dahl, 1614 Blue Ridge, Kansas City, MO. I agree with the Fire Chief. Something needs to be done. I agree with the laundromat. I have concerns with the traffic at the intersection. I also agree with the other two folks as well.

Mr. Monaco: Are you opposed to the rezoning to allow more business opportunities, forgetting the bookstore.

Mr. Dahl: When Moonlight was open, it was a dangerous intersection.

Mr. Smead: They could put a business there now.

Mr. Dahl: I know this is zoning and don't know if it will exasperate to the next level. Maybe something that will contract traffic. I not against business.

Ms. Langenheim: Mr. Chairman, if I could. I feel it's pertinent to remind the board that the UDC brings out that the Commission's decision with regards to the rezoning, is whether the rezoning is consistent with the Jackson County Master Plan and whether the owners intended use falls within the authorized uses under the rezoning category. Here rezoning to General Business is consistent with the Master Plan. You can see on the zoning map, there is already General Business in the area. The intended use, laundromat and adult store, falls within the authorized uses for General Business. Now, the Conditional Use

permit is when the Commission can consider things the public is talking about, whether the proposed use is compatible and preserves the character and integrity of the adjacent development. You can consider whether the proposed use is detrimental to public health, safety and welfare of the neighborhood. I just want to make sure we are divorcing the two, the rezoning and the conditional use.

Motion to take under advisement.

Mr. Lake moved to take under advisement. Mr. Horn seconded.

*Discussion under advisement*

Mr. Monaco moved to approve. Mr. Smead seconded.

|                |            |
|----------------|------------|
| Mr. Lake       | Disapprove |
| Mr. Farrar     | Disapprove |
| Mr. Smead      | Approve    |
| Mr. Monaco     | Approve    |
| Mr. Horn       | Approve    |
| Mr. Crawford   | Disapprove |
| Ms. Ryerkerk   | Disapprove |
| Chairman Antey | Approve    |

Tie Vote      4 – 4 - 0



## STAFF REPORT

### PLAN COMMISSION

July 18, 2024

RE: RZ-2024-679

**Applicant:** 8801 Truman Road LLC

**Location:** 8801 Truman Road

**Area:** 1.01 ± acres

**Request:** Change of zoning from District LB (Agricultural) to District GB (General Business)

**Purpose:** The purpose is to redevelop the tract for an adult novelty store and laundromat.

#### Current Land Use and Zoning in the Area:

The zoning in the area is commercial, industrial and residential.

The applicant wants to relocate an existing adult store from 8401 E. Truman Road to this location. The development plan would be to raze the existing Moonlight Book Store and construct a 4,000 square foot retail store. An additional 3,700 square foot retail space would be used as a laundromat or other commercial activity.

The bookstore was operating as a legal non-conforming use within District LB (Local Business) and has been closed since 2019 or 2020.

The Unified Development Code states (24003.26.g) that "When a nonconforming use is discontinued for a consecutive period of 180 days, the property involved may thereafter be used for conforming purposes".

Adult uses that are subject to Chapter 43 of the Jackson County Code are not allowed within District LB.

Since the 180-day period allowing the non-conformity for adult use has expired the property must be rezoned to District GB (General Business) and have a Condition Use Permit granted.

(An application for Conditional Use Permit is pending as CU-2024-251).

Water service in Blue Summit is provided by the City of Independence and the sanitary sewers are maintained by the City of Kansas City.

Currently there is access from Truman Road and Stark Avenue. The proposed development will not have direct access off Truman Road.

There will be approximately 32 parking spaces provided.

There is an apartment planned for employee use located on the second floor of the 4,000 square foot building.

Permitted uses with District GB also include uses within District LB. An accessory dwelling is allowed as an Accessory Use with District LB.

The property will need to be replatted into one contiguous lot to consolidate the current three lots and to eliminate the 12-foot alley.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

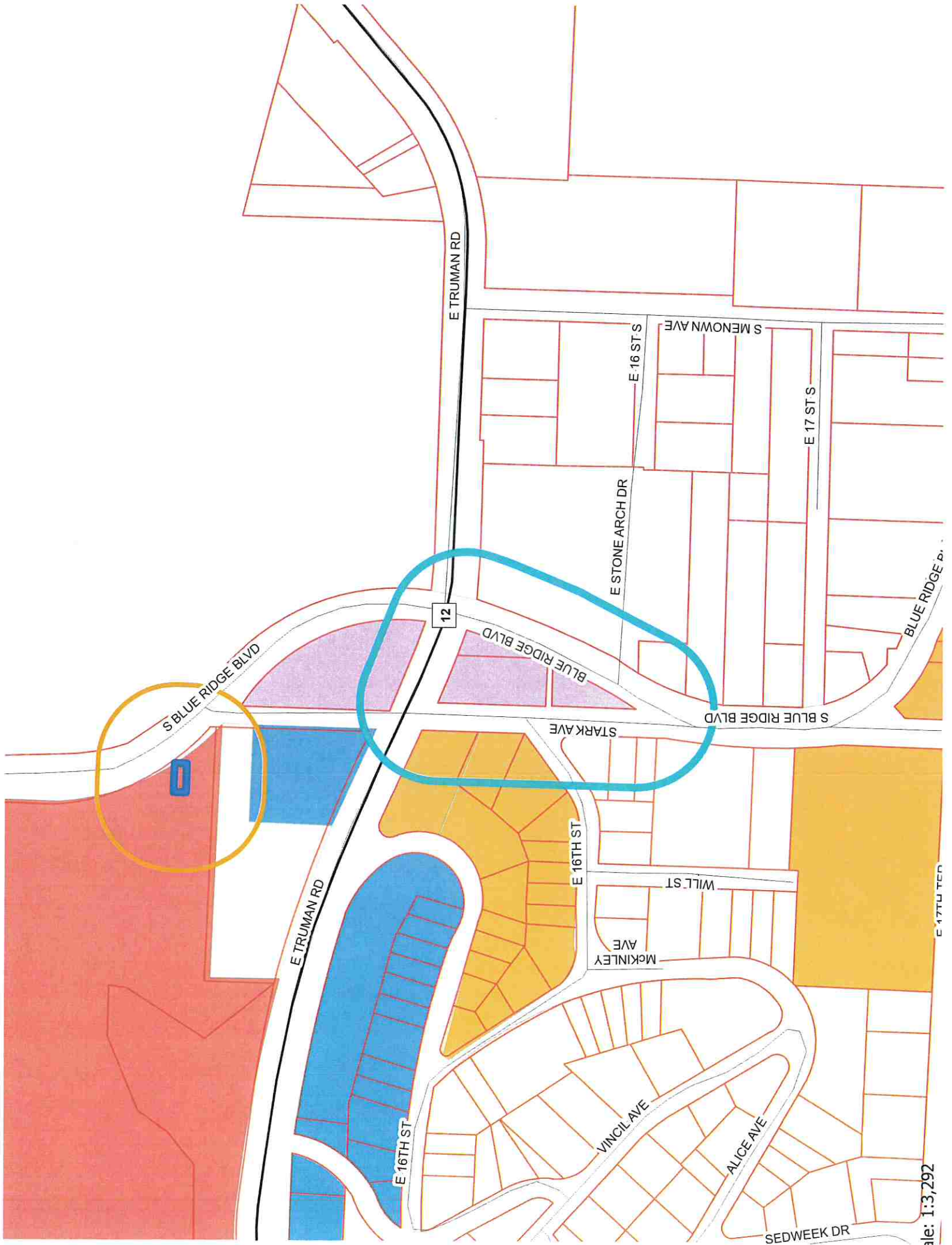
**Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-679.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



RZ-2024-679 & CU-2024-251

Property Owners Within 185 feet

| parcel                   | owner                      | address                  | city        | state | zip   |
|--------------------------|----------------------------|--------------------------|-------------|-------|-------|
| 27-230-06-19-00-0-00-000 | CIM EXPO LLC               | 4741 CENTRAL AVE STE 230 | KANSAS CITY | MO    | 64112 |
| 27-340-09-01-00-0-00-000 | SCOGGINS BILLY & SHIRLEY L | 600 STARK AVE            | KANSAS CITY | MO    | 64126 |
| 27-340-09-37-00-0-00-000 | STOTTS ERNEST EUGENE       | 8015 WILSON RD           | KANSAS CITY | MO    | 64125 |
| 27-340-09-38-00-0-00-000 | STOTTS ERNEST EUGENE       | 8015 WILSON RD           | KANSAS CITY | MO    | 64125 |
| 27-340-09-35-00-0-00-000 | DAHL CHRIS                 | 1614 STARK AV            | KANSAS CITY | MO    | 64126 |
| 27-340-08-25-00-0-00-000 | WAR INC                    | 7419 N GRANBY AVE        | KANSAS CITY | MO    | 64151 |
| 27-230-06-05-00-0-00-000 | CEDILLO JOE                | 518 PROSPECT AVE         | KANSAS CITY | MO    | 64124 |
| 27-230-02-01-00-0-00-000 | LANDMARK MORTGAGE COMPAN   | 300 W 11TH ST            | KANSAS CITY | MO    | 64105 |
| 27-230-01-14-01-0-00-000 | WINNER ROAD PROPERTIES LLC | 2345 GRAND BLVD STE 2200 | KANSAS CITY | MO    | 64108 |
| 27-340-08-27-02-0-00-000 | WAR INC                    | 7419 N GRANBY AVE        | KANSAS CITY | MO    | 64151 |
| 27-230-06-17-00-0-00-000 | CIM EXPO LLC               | 4741 CENTRAL AVE STE 230 | KANSAS CITY | MO    | 64112 |
| 27-340-08-27-01-0-00-000 | WAR INC                    | 7419 N GRANBY AVE        | KANSAS CITY | MO    | 64151 |
| 27-230-03-02-00-0-00-000 | 8801 TRUMAN LLC            | 8801 E TRUMAN RD         | KANSAS CITY | MO    | 64126 |
| 27-230-03-01-00-0-00-000 | 8801 TRUMAN LLC            | 8801 E TRUMAN RD         | KANSAS CITY | MO    | 64126 |
| 27-230-03-03-00-0-00-000 | 8801 TRUMAN LLC            | 8801 E TRUMAN RD         | KANSAS CITY | MO    | 64126 |





## JACKSON COUNTY Public Works Department

Jackson County Technology Center  
303 West Walnut Street  
Independence, Missouri 64050  
jacksongov.org

(816) 881-4530  
Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-679 & CU-2024-251  
8801 Truman Road LLC

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by 8801 Truman Road LLC for a change of zoning from District LB (Local Business) on 1.01 ± acres to District GB (General Business). The purpose is to redevelop the tract for an adult store and laundromat at 8801 E. Truman Road and requesting a Conditional Use Permit for a period of five years to operate an adult novelty store on 1.01 ± acres in District GB (General Business) at 8801 E. Truman Road.

Please note that this request for a change of zoning affects only the property mentioned above. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on Thursday, July 18, 2024, at 8:30 a.m. in the Large Conference Room, 2<sup>nd</sup> Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

*Frank White, Jr., County Executive*

**JACKSON COUNTY, MISSOURI  
APPLICATION FOR CHANGE OF ZONING**

---

**APPLICANT INFORMATION:**

1. Application must be filed with the Jackson County Planning and Development Division,  
303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
2. Application must be typed or printed in a legible manner.
3. All applicable sections must be completed. If you need more space to provide information, please  
use separate 8 1/2"x11" paper, reference the application number and attach it to the application.  
Incomplete applications will not be accepted and will be returned to the applicant.
4. Attach application for subdivision approval, consistent with the requirements of UDC Section  
24003.10, as may be required.
5. The filing fee (non-refundable) must accompany application.  
(Check payable to: Manager of Finance)  
\$350.00 – Change of Zoning to Residential  
\$500.00 – Change of Zoning to Commercial or Industrial

---

**TO BE COMPLETED BY OFFICE PERSONNEL ONLY:**

Rezoning Case Number RZ- 2024-679

Date filed \_\_\_\_\_ Date of hearing \_\_\_\_\_

Date advertised \_\_\_\_\_ Date property owners notified \_\_\_\_\_

Date signs posted \_\_\_\_\_

**Hearings:**      Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                    Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                    Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

---

**BEGIN APPLICATION HERE:**

**1. Data on Applicant(s) and Owner(s):**

- a. Applicant(s) Name: RB Architecture Engineering Const  
Address: 11661 College Blvd, Ste 104  
Overland Park, KS 66210  
Phone: (913) 375-7659
- b. Owner(s) Name: Kewal Singh  
Address: 8801 E TRUMAN RD, KANSAS CITY, MO 64126  
Phone: (913) 856-3982
- c. Agent(s) Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

d. Applicant's interest in Property: Designer

2. General location (Road Name) 8801 E Truman Road

UNINCORPORATED, MO 64126

3. Present Zoning LB Requested Zoning GB

4. AREA (sq. ft. / acres) 43995.6 s.f./ 1.01 acres

5. Legal Description of Property: (Write Below or Attached 9 )

LOT 8, EXCEPT THAT PART THEREOF IN BLUE RIDGE ROAD, AND ALL THAT PART OF LOTS 7 AND 9, LYING WEST OF THE WEST LINE OF BLUE RIDGE ROAD, PARK VIEW, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

6. Present Use of Property: Not used abandoned building to be demolished

7. Proposed Use of Property: Adult store, Retail store, laundromat and apartments (work live residential)

The store will be moved from 8401 E Truman Road to this location to allow for Travel Plaza development.

8. Proposed Time Schedule for Development: Spet 2024 to May 2025

9. What effect will your proposed development have on the surrounding properties?

Improve the area and clean up the site.

10. Is any portion of the property within the established flood plain as shown on the FEMA Flood Boundary Map? No

If so, will any improvements be made to the property which will increase or decrease the elevation? Grading will increase some and or decrease some parts of the properties.

11. Describe the source/method which provides the following services, and what effect the development will have on same:

a. Water City of Independence

b. Sewage disposal City of Kansas City Missouri

c. Electricity Everg

d. Fire and Police protection City of Independence

12. Describe existing road width and condition: Located at intersection of Stark and Truman Road. Stark



is paved tow lane street. Truman is MO 12 HWY contains 4 traffic lanes.

---

13. What effect will proposed development have on existing road and traffic conditions? Driveways to the development will be from Stark only. Existing open access from Truman will be closed.
- 

14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? Plans were send to MODOT for review and they were approved.
- 

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): \_\_\_\_\_

---

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Date

Property Owner(s)

Kewal Singh  
KEWAL SINGH

05/24/24

Applicant(s):

Riad Baghdad  
Riad Baghdad

05/24/24

Contract Purchaser(s):

STATE OF Missouri

COUNTY OF Jackson

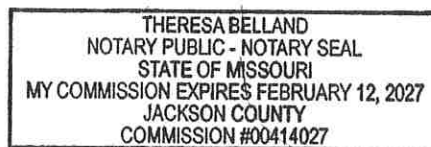
On this 24 day of May, in the year of 2024, before me  
the undersigned notary public, personally appeared Kewal Singh & Riad Baghdad

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and  
acknowledged that he/she/they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Notary Public TE

Commission Expires Feb 12, 2027





## ***Architecture Engineering Construction***

---

June 10, 2024

Randy Diehl  
Development Division  
Jackson County Public Works  
303 W. Walnut Street  
Independence, MO 64050

Subject: Rezoning & Conditional Use Application  
Adult Store  
8801 Truman Road

In the subject applications we are proposing to relocate the existing adult store from 8401 E Truman to the proposed location at 8801 E Truman. This move will allow us to proceed with the development of Travel Plaza at 8401 E Truman.

The proposed development consists of an approximately 4,000 S.F. retail store to be used as adult store, a 3700 S.F. retail space to be used as Laundromat or other commercial activity, and two apartments on the second floor above the retail spaces.

The adult store will open between the hours of 9:00am to 1:00pm Monday through Saturday and from 11:00am to 10:00pm of Sunday. Two employees per shift will work in the store. The store will sell adult magazines, adult toys, DVD's, lubricant oil, Vapes, jewelries and lingerie, etc. Also the store will have approximately 15 DVD video booths.

We have operated the adult store at 8401 for few years and we will maintain the same high quality in operating this store at the new location.

The apartments will be used exclusively for our employees.

11661 College Blvd, Overland Park, KS 66210  
Tel (913) 375-7659  
Email: riad.baghdadi@yahoo.com



## ***Architecture Engineering Construction***

---

At this time we are considering establishing a Laundromat in the second retail space. In any case, the use of this space will confirm to the new zoning of the lot.

We are looking forward to develop this area and have a high quality and beneficial business operation. We appreciate the County support of our application. We will work with county to insure smooth and successful development.

Applicant:

A handwritten signature in cursive script, appearing to read 'Riad Baghdadi'.

Riad Baghdadi

Owner:

A handwritten signature in cursive script, appearing to read 'Kewal Singh'.

Kewal Singh



STATE OF MISSOURI  
RIAD I  
BAGHDADI  
MISSOURI  
A-7507  
REGIS  
5/25/2016 5:25:16 PM

[illegible]

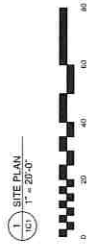
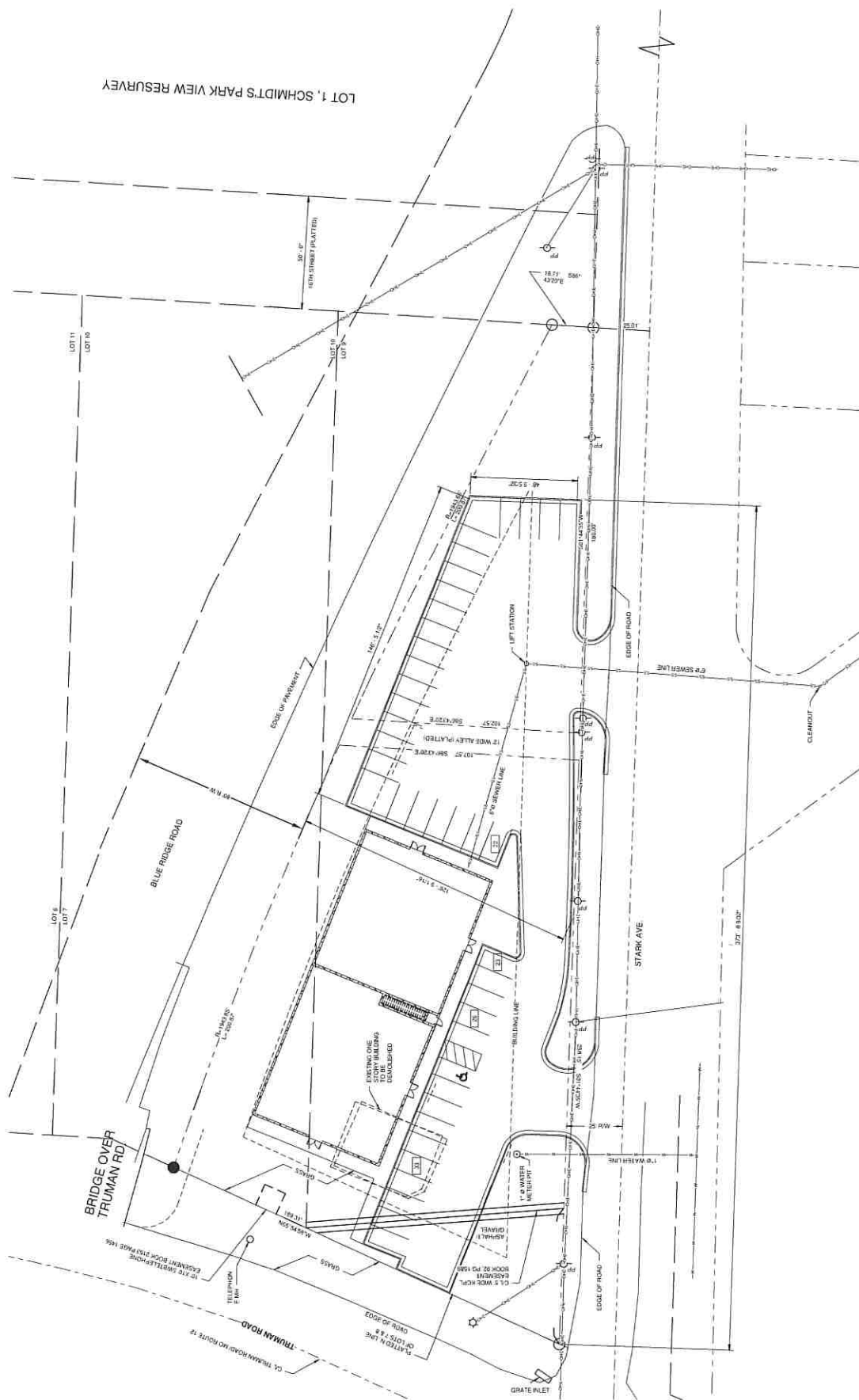
BLUE RIDGE  
& TRUMABN  
DEVELOPMENT  
8801 E TRUMAN ROAD  
INDEPENDENCE MO 64126

THE ARCHITECTURE ENGINEERING  
CONSTRUCTION  
COPYRIGHT  
THESE PLANS ARE THE PROPERTY OF  
AN ARCHITECTURE ENGINEERING  
CONSTRUCTION. NO REPRODUCTION  
OF THESE PLANS IN WHOLE OR PART OR  
THE PREPARATION OF DERIVATIVE  
WORKS WITHOUT THE PERMISSION OF  
THE ARCHITECTURE ENGINEERING  
FIRM AND WITHOUT THE ENGINEERING  
ENTIRELY PROHIBITED.

SITE PLAN

1C1

| SHEET LIST |                                                |
|------------|------------------------------------------------|
| SHEET NO.  | SHEET NAME                                     |
| 1C1        |                                                |
| 1C2        | TRAVEL PLAZA DEVELOPMENT 8401 E<br>TRUMAN ROAD |
| 2A1        |                                                |
| 2A2        |                                                |



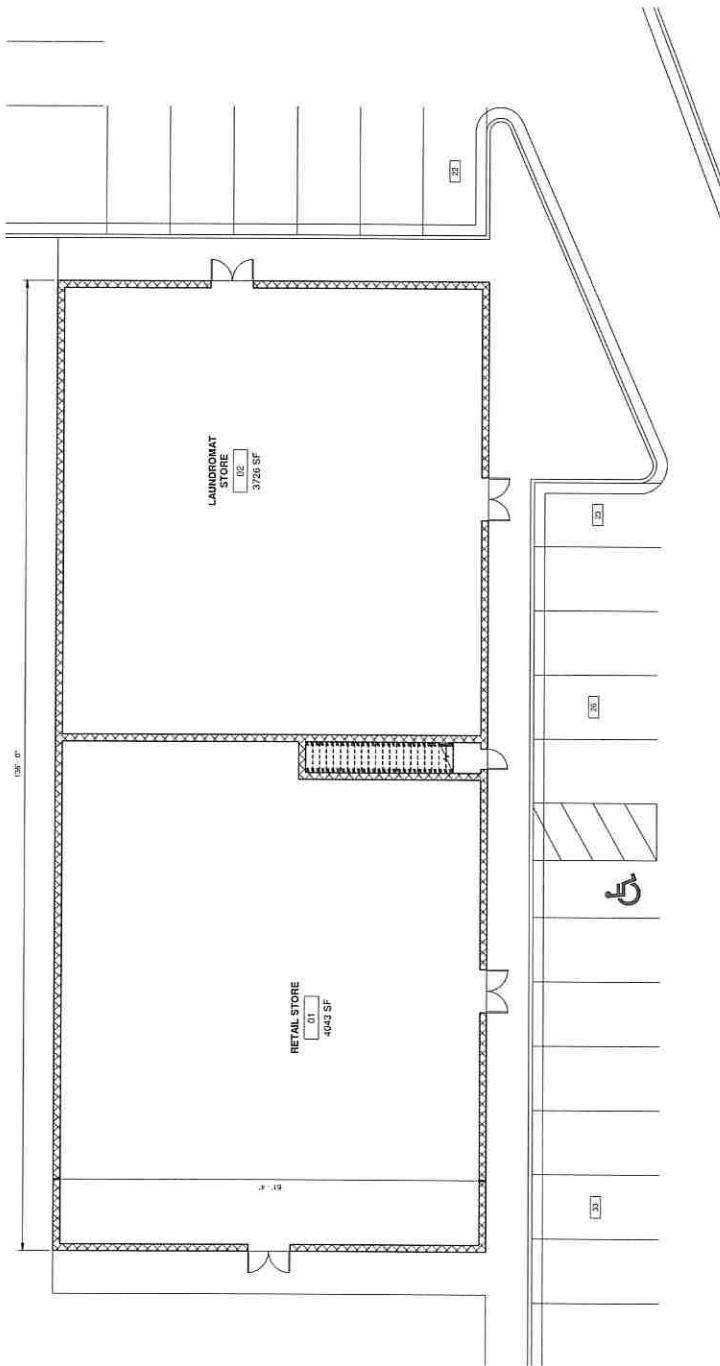


**SHEET NO.**

THE ARCHITECTURE ENGINEERING  
CONSTRUCTION  
COPYRIGHT  
THESE PLANS ARE THE PROPERTY OF  
AN ARCHITECTURE ENGINEERING  
CONSTRUCTION. REPRODUCTION OF  
THESE PLANS IN WHOLE OR PART OR  
THE REVISION OF DERIVATIVE  
WORKS THEREON WITHOUT THE  
EXPRESS WRITTEN PERMISSION OF  
THE ARCHITECTURE ENGINEERING  
FIRM IS EXPRESSLY PROHIBITED

[illegible]

STATE OF MISSOURI  
JUDICIAL BRANCH  
CLERK OF COURT  
REGISTRATION  
5/25/2024 5:25:17 PM



1 FIRST FLOOR PLAN



2A2

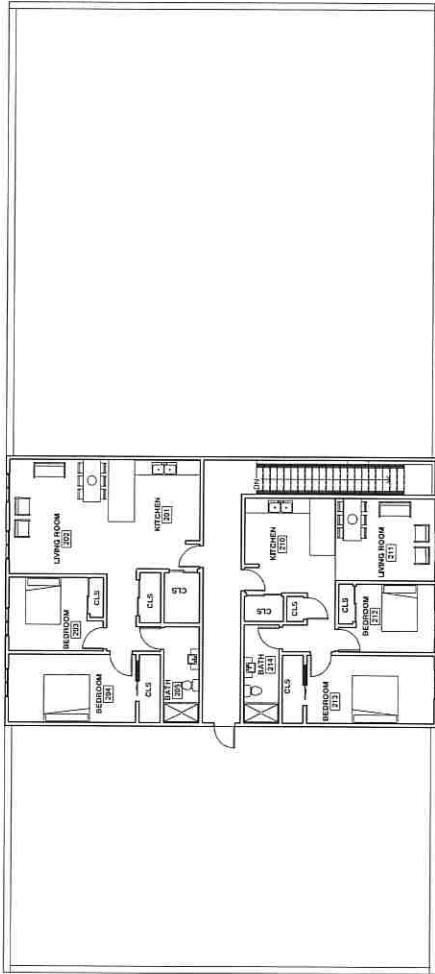
SECOND FLOOR

RE ARCHITECTURE ENGINEERING  
CONSTRUCTION  
COPYRIGHT  
THESE PLANS ARE THE PROPERTY OF  
RE ARCHITECTURAL ENGINEERING  
CONSTRUCTION. REPRODUCTION OF  
THESE PLANS IN WHOLE OR PART OR  
THE REPRODUCTION OR DERIVATIVE  
WORKS WITHOUT THE  
EXPRESS WRITTEN PERMISSION OF  
RE ARCHITECTURAL ENGINEERING  
IS ENTIRELY PROHIBITED.

BLUE RIDGE  
& TRUMABN  
DEVELOPENT  
8801 E TRUMAN ROAD  
INDEPENDENCE MO 64126

[illegible]

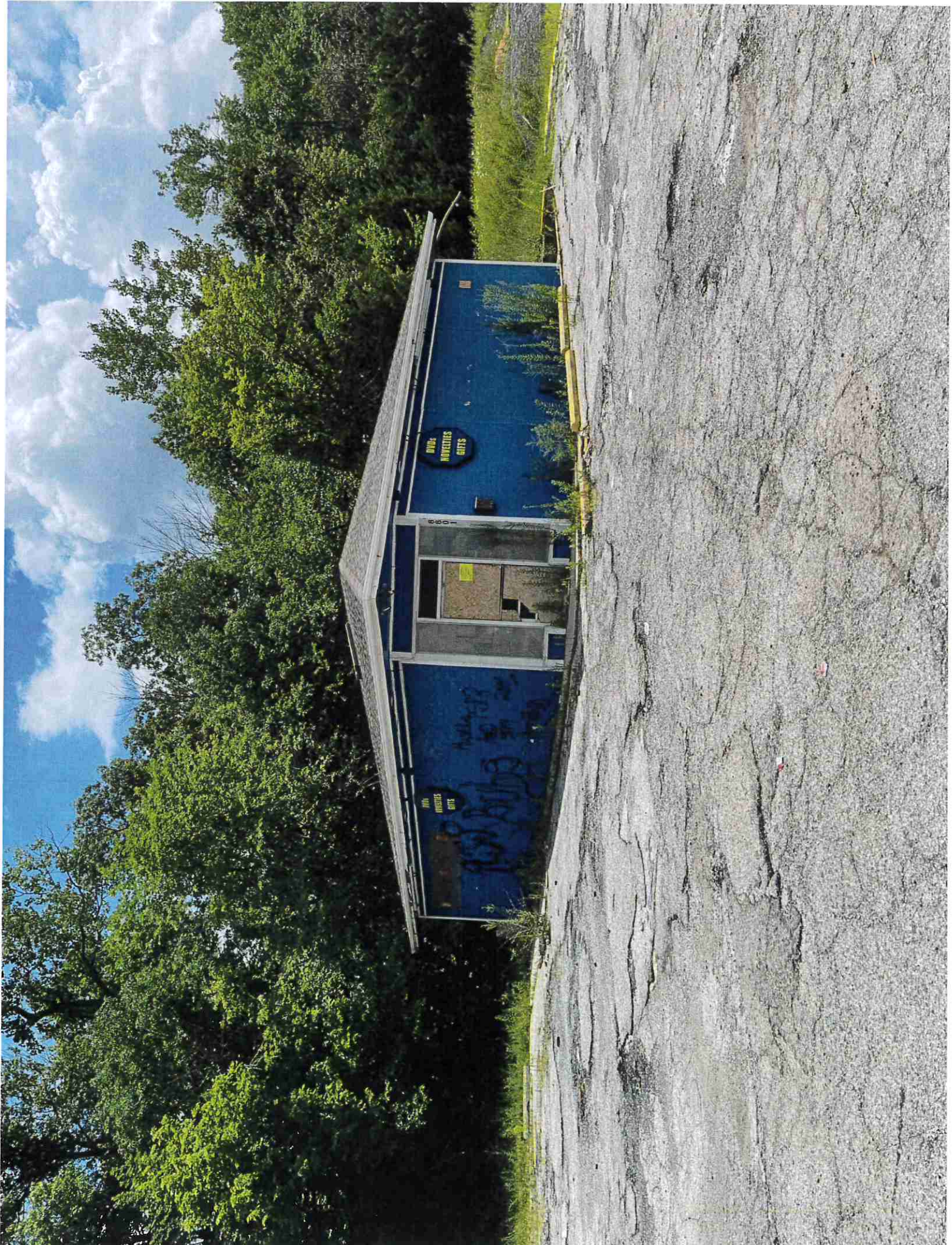
**ARCHITECTURE ENGINEERING  
CONSTRUCTION**



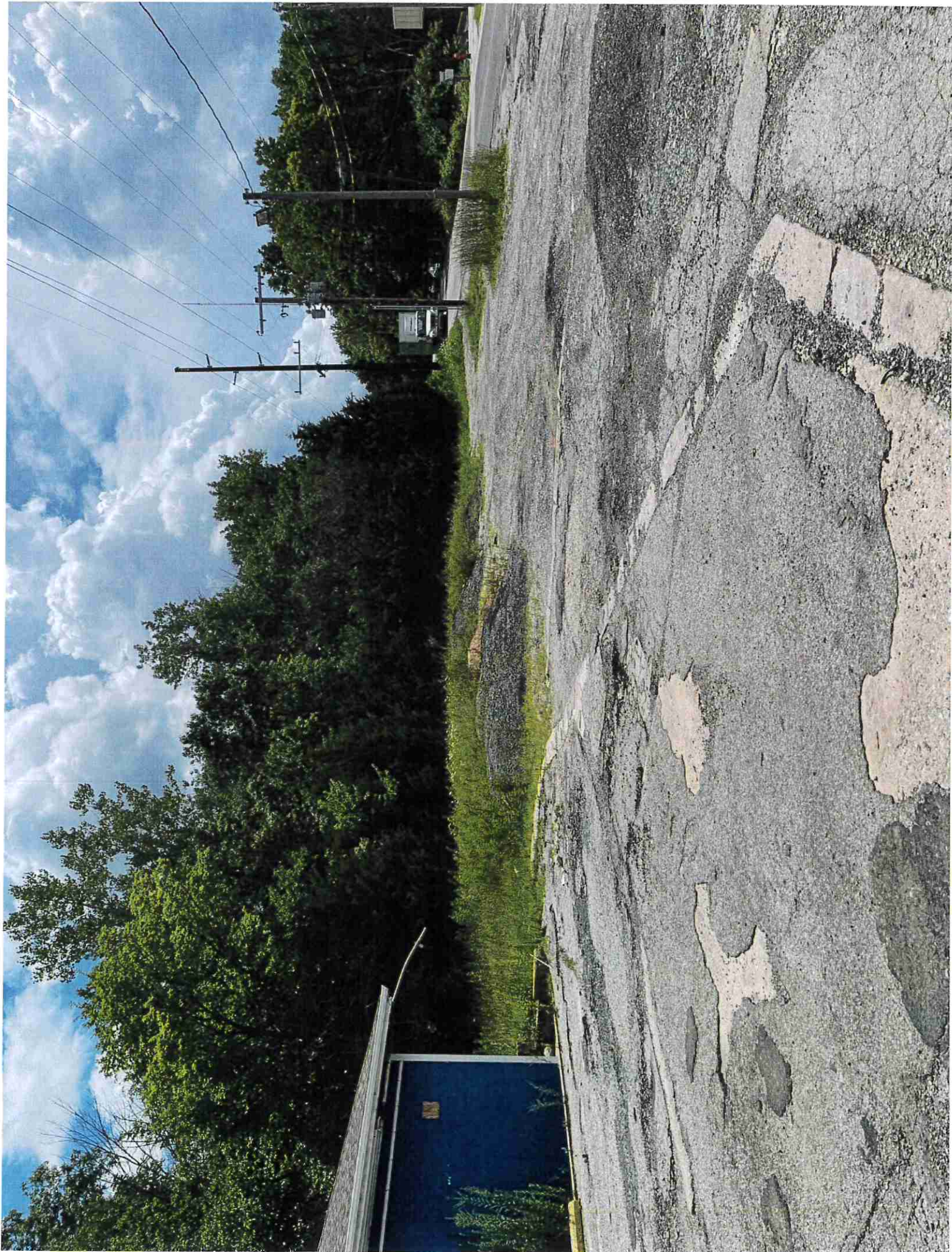
1 SECOND FLOOR PLAN  
1/8" = 1'-0"













## **24004.8 LOCAL BUSINESS DISTRICT (LB)**

- a. Purpose.** The Local Business District (LB) is intended to provide limited retail, service and office facilities for the convenience of residents in the vicinity of the district. Uses should be designed and operated to be compatible in scale and appearance with a nearby residential development. LB districts should be located at the intersections of collector or major roads. The Local Business District is appropriate in the Urban, Suburban or Rural Development Tier as depicted on the Development Diagram (Exhibit VI.3) of the Master Plan. Service levels should be adequate to meet normal and emergency demands from proposed uses in the LB district.
- b. Permitted Uses.** The following uses are authorized as permitted uses subject to a limitation of 10,000 square feet gross building floor area and any other conditions established in these district provisions:
1. Art and photographic supplies/sales, developing and studios.
  2. Automobile repair with all repair facilities contained within a building and no outside storage of inoperable vehicles;
  3. Bakeries.
  4. Banks, savings and loan associations, credit unions and related financial institutions
  5. Car washes, self-service.
  6. Churches, temples, synagogues, mosques and related community buildings.
  7. Civic clubs, private clubs, fraternal or sororal organizations.
  8. Fire stations and EMS facilities.
  9. Gasoline sales and service stations.
  10. Group day care home or day care center subject to the conditions established in Section 24005.6.
  11. Health clubs, gymnasiums and similar recreational uses.
  12. Hospitals and clinics.
  1. Hotels and motels.
  2. Indoor movie or live theaters, excluding adult uses.

3. Libraries.
4. Mortuaries.
5. Museums.
6. Off-premise signs pursuant to Section 24007.
7. Office and service facilities.
8. Personal service shops.
9. Post offices, retail packaging and shipping services.
10. Printing, photocopying and document production/reproduction shops.
11. Public buildings, parks and facilities.
12. Restaurants, with no sales of alcohol, and no dancing or other forms of entertainment.
13. Retail and service - local.
14. Sale, rental and repair of appliances, bicycles and small equipment, conducted within an enclosed building.
15. Schools (public or private), and related structures, for grades K - 12.
16. Sports courts, swimming pools and tennis courts.
17. Telecommunications facilities pursuant to Section 24005.20.
18. Trades shops, for the manufacture or repair and sale of goods comprised of metal, wood, glass, plastic or other products, with manufacturing floor area limited to fifty percent (50%) of gross building floor area.
19. Utility distribution and collection facilities, excluding production, treatment and electrical transmission facilities.
32. Water storage tanks, fill stations or towers on a site including one-half acre or more.

c. **Conditional Uses.** The following conditional uses are authorized, subject to the provisions of Section 244003.21.

1. Cemeteries and burial grounds.

2. Cocktail lounges, bars, taverns, night clubs and other establishments serving alcoholic beverages, excluding adult uses.
3. Electrical transmission lines pursuant to Section 24005.22.
4. Medical Marijuana Dispensary Facility, pursuant to Section 24005.14, except as to any property improved with a residential dwelling unit.
5. Pawnshops and short-term loan establishments pursuant to Section 24005.15.
6. Schools, trade or vocational.
7. Water and wastewater treatment facilities.

**d. Accessory Uses.** The following uses are authorized as accessory uses which are customarily incident to the primary use. None of the following uses are authorized in the absence of an authorized permitted use.

1. Accessory dwelling, subject to the provisions of Section 24005.2.
2. Greenhouses.
3. On or off-premise signs, subject to the provisions of Section 24007.
4. Medical marijuana Dispensary Facility, pursuant to Section 24005.14, except as to any property improved with a residential dwelling unit.
5. Storage buildings, including garages, sheds and enclosures for temporary storage of refuse.
6. Telecommunications facilities pursuant to Section 24005.21.
7. Other uses customarily incident to authorized uses.

**e. Planned Uses.** The following uses may be authorized within a planned development district, subject to the requirements of Section 24003.18.

1. Any permitted use occupying more than 10,000 square feet of gross building floor area.
2. Group quarters.
3. Mixed use developments.

4. Multi-family dwellings.
5. Nursing homes pursuant to Section 24005.11.

**f. Development Performance Standards.**

1. Development in the LB district shall comply with the standards established in Exhibit 240.13 in addition to other standards established in the UDC.

**Exhibit 240.13: LB District Design Standards**

|                          |                |
|--------------------------|----------------|
| Minimum lot size         | 20,000 sq. ft. |
| Minimum lot depth        | 120 feet       |
| Minimum lot width        | 150 feet       |
| Minimum building setback |                |
| front                    | 25 feet        |
| side                     | 25 feet (1)    |
| rear                     | 25 feet        |
| street side              | 25 feet        |
| Maximum building height  | 35 feet        |
| Maximum Impervious cover | 60%            |

Notes

(1) See Section 24006.8.

2. Open storage is prohibited.
3. All display, storage and sale of goods shall be provided within the primary structure.
4. No vehicle or equipment, other than a passenger vehicle may be stored or parked in front of a building for more than 48 consecutive hours.
5. Lighting sources shall be designed and located so that the direct source of the light is shielded from view at all property lines abutting residential development.
6. Non-residential development shall be located on a collector or arterial road.
7. Drive-through uses are prohibited, except as permitted through a planned development.

## **24004.9 GENERAL BUSINESS DISTRICT (GB)**

- a. Purpose.** The General Business District (GB) is intended to provide more intensive retail, service and office uses than the LB district. Site development regulations and performance standards are intended to ensure that uses will be compatible and complementary in scale to adjacent developments. Uses in this District should be located, designed and operated to mitigate the impacts of traffic generation, noise and light on nearby residential neighborhoods. The General Business District is appropriate in the Urban Development Tier as depicted on the Development Diagram (Exhibit VI.3) of the Master Plan. Full urban services are required for most uses in the GB district.
- b. Permitted Uses.** The following uses are authorized as permitted uses subject to any conditions established in these district provisions:

  - 1. Amusements and recreational facilities with an enclosed building.
  - 2. Any use permitted in the LB district, but not subject to the maximum area limitations.
  - 3. Assembly, lodge or dance halls.
  - 4. Automobile/truck/trailer/boat sales, rental and repairs, with all repair facilities contained within a building and no open storage of inoperable vehicles.
  - 5. Broadcast studios.
  - 6. Chemicals, agricultural - wholesale.
  - 7. Cocktail lounges, bars and taverns pursuant to 24005.7.
  - 8. Delivery services.
  - 9. Group homes pursuant to Section 24005.11.
  - 10. Lumber yards.
  - 11. Medical Marijuana Dispensary facility, subject to the conditions established in Section 24005.14, except as to any property improved with a residential dwelling unit.
  - 12. Mobile home sale and repair.
  - 13. Museums.



14. Nurseries and greenhouses, retail or wholesale.
15. Off-premise signs, subject to the provisions of Section 24007.
16. Office and service facilities.
17. Printing plants.
18. Restaurants, with sales of alcohol.
19. Schools, colleges and universities, public or private.
20. Sports courts, swimming pools and tennis courts.
21. Stables (public).
22. Truck stops.
23. Veterinary clinics.
24. Wholesale sales.

**c. Conditional Uses.** The following conditional uses are authorized, subject to the provisions of Section 24003.21.

1. Amusement parks, carnivals or fairgrounds, subject to the conditions established in Section 24005.17.
2. Animal exhibits or zoos, subject to the conditions established in Section 24005.4.
3. Adult uses, not located within 1,500 feet of a church or school and subject to the provisions of Chapter 43.
4. Aviaries.
5. Businesses serving alcoholic beverages and providing live entertainment.
6. Commercial telecommunication structures, subject to the provisions of Section 24005.21.
7. Delivery services.
8. Drive-In theaters.

9. Outdoor swap meets and flea markets, subject to the provisions of Section 24005.10.
10. Pawnshops and short-term loan establishments pursuant to Section 24005.15.
11. Recreational facilities pursuant to Section 24005.17.

**d. Accessory Uses.** The following uses are authorized as accessory uses which are customarily incident to the primary use. None of the following uses are authorized in the absence of an authorized permitted use.

1. Accessory buildings, subject to the provisions of Section 24005.2
2. On or off-premise signs subject to the provisions of Section 24007.
3. Sports courts, swimming pools and tennis courts - private.
4. Storage buildings.
5. Telecommunications receiving or transmitting structures used in conjunction with a permitted use, subject to the provisions of Section 24005.21.
6. Temporary sales events pursuant to Section 24005.20.
7. Temporary assembly and amusement pursuant to Section 24005.20.
8. Other uses customarily incident to authorized uses.

**e. Planned Uses.** The following uses are authorized within a planned development district, subject to the requirements of Section 24003.18.

1. Dwellings, multi-family.
2. Group quarters pursuant to Section 24005.11.
3. Mixed use developments.

**f. Development Performance Standards.**

1. Development in the GB district shall comply with the standards established in Exhibit 240.14 in addition to other standards established in the UDC.
2. Sales areas shall not be located within required landscaping or parking area.
3. Open storage is prohibited, except that vehicles for sale may be displayed in accordance with other district standards.

4. Lighting shall be designed so that the source is not directly visible from adjacent residential properties or streets.

**Exhibit 240.14: GB District Design Standards**

|                          |                |
|--------------------------|----------------|
| Minimum lot size         | 40,000 sq. ft. |
| Minimum lot depth        | 120 feet       |
| Minimum lot width        | 150 feet       |
| Minimum building setback |                |
| front                    | 25 feet        |
| side                     | 25 feet        |
| rear                     | 25 feet        |
| street side              | 25 feet        |
| Maximum building height  | 40 feet        |
| Maximum impervious cover | 70%            |

**IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**AN ORDINANCE** amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 9.43± acre tract within District LI-p (Light Industrial-Planned).

**ORDINANCE NO. 5874**, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries within “LI-p” (Light Industrial-Planned) District, 9.43± tract of land located at 13513 S. Sam Moore Road in Jackson County, MO, legally described as follows:

**Description:** Lot 1, Greeson Greenhouse, a subdivision in Jackson County, Missouri

Section 2. The Legislature, pursuant to the application of Jacob Davis (RP-2024-681), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend APPROVAL of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.



Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5874 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5874.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-126, **Version:** 0

---

**REQUESTED MEETING DATE:** Select Date

Ordinance No. 5874  
Date: August 12, 2024

**SPONSORS:**

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Randy Diehl **PHONE:** 816-881-4577

**EMAIL:** [rdiehl@jacksongov.org](mailto:rdiehl@jacksongov.org) <<mailto:rdiehl@jacksongov.org>>

**DEPARTMENT:** Public Works

**TITLE:** RP-2024-681 - Jacob Davis

**SUMMARY:** Requesting a revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned) on 9.43 ± acres for a self-storage facility at 13513 S. Sam Moore Road.

Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements.

The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request.

The Plan Commission voted 8 to 0 to recommend APPROVAL to the County Legislature.

### FINANCIAL IMPACT:

**NO** ☒

---

**File #:** 24-126, **Version:** 0

---

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐

**ACTION NEEDED:** Choose an item.

**ATTACHMENTS:**

Click or tap here to enter text.

**RP-2024-681**

**ATTACHMENT 1: PROPERTY DESCRIPTION**

**Description:**

Lot 1, Greeson Greenhouse, a subdivision in Jackson County, Missouri



RP-2024-681

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024

Staff Report

Zoning map of surrounding area

Names and addresses of surrounding property owners

Letter to surrounding property owners

Application

Aerial of location

Revised Site Plan

**Randy Diehl gave the staff report:**

**RE: RP-2024-681**

**Applicant:** Jacob Davis

**Location:** 13513 S. Sam Moore Road

**Area:** 9.43 ± acres

**Request:** Revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned)

**Purpose:** The purpose is to for a self-storage facility.

**Current Land Use and Zoning in the Area:**

This is a request for an amendment to the Planned Zoning approved February 26, 2024 (Ordinance 5832).

The Unified Development Code (UDC) requires that a site plan be submitted for Planned zonings illustrating the proposed buildings and lot arrangements.

The applicant has submitted a revised site plan for the proposed development. The changes are significant enough that a revised site plan is required.

**County Plan:**

The County Plan Development Diagram illustrates this area within the Rural Development Tier (RDT).

**Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RP-2024-681.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

**Mr. Antey: *Are there any other questions for Randy?***

Mr. Horn: Is this privately owned or like a U-Haul facility?

Mr. Diehl: It's a self-storage facility. It's privately owned.

Ms. Ryerkerk: It looks like they just rotated the layout.

Mr. Crawford: Is the East line the County Line?

Mr. Diehl: No. The trailer storage lot for the business next to them, their East property line is the County line.

Mr. Crawford: Is that going to change?

Mr. Diehl: No. that property is not included. The zoning is not changing for this piece, we are just approving the site layout.

Mr. Lake: This is where the greenhouses were, and Bynum winery was across the road.

Mr. Diehl: That is correct.

Mr. Antey: We are just looking at the site plan for approval since this is a Planned development.

**Mr. Antey: *Is the applicant here?***

Scott Tanner: I am the owners' representative. We just basically shifted the site over 15 feet to the East because the geo-tech report indicated rock.

**Mr. Antey: *Do you have anything to add to the report?***

Mr. Antey: Do you have anything else?

Mr. Tanner: We are in contact with the County Engineering Division and MoDOT since our stormwater will be draining onto State right of way.

Mr. Crawford: Is there grass in between the buildings?

Mr. Tanner: Yes. It will be seeded and sodded. We have a landscape plan as well.

Mr. Lake: Will this facility have living quarters?

Mr. Tanner: No. It will have an office and the facility will be gated.

**Mr. Antey: *Is there anyone else who is in favor of this application?***

There were none.

**Mr. Antey: *Is there anyone who is opposed or has questions regarding this application?***

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Horn seconded.

*Discussion under advisement*

Mr. Lake moved to approve. Mr. Horn seconded.

|                |         |
|----------------|---------|
| Mr. Lake       | Approve |
| Mr. Farrar     | Approve |
| Me. Smead      | Approve |
| Mr. Monaco     | Approve |
| Mr. Horn       | Approve |
| Mr. Crawford   | Approve |
| Ms. Ryerkerk   | Approve |
| Chairman Antey | Approve |

Motion Carried 8 – 0



## **STAFF REPORT**

### **PLAN COMMISSION**

July 18, 2024

**RE: RP-2024-681**

**Applicant:** Jacob Davis

**Location:** 13513 S. Sam Moore Road

**Area:** 9.43 ± acres

**Request:** Revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned)

**Purpose:** The purpose is to for a self-storage facility.

#### **Current Land Use and Zoning in the Area:**

This is a request for an amendment to the Planned Zoning approved February 26, 2024 (Ordinance 5832).

The Unified Development Code (UDC) requires that a site plan be submitted for Planned zonings illustrating the proposed buildings and lot arrangements.

The applicant has submitted a revised site plan for the proposed development. The changes are significant enough that a revised site plan is required.

#### **County Plan:**

The County Plan Development Diagram illustrates this area within the Rural Development Tier (RDT).

#### **Recommendation:**

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RP-2024-681.

Respectfully submitted,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator



RP-2024-681

Property Owners Within 1000 feet

| parcel                   | owner                               | address               | city          | state | zip   |
|--------------------------|-------------------------------------|-----------------------|---------------|-------|-------|
| 74-100-04-14-00-0-00-000 | BURL GREGORY S & NICOLE F           | 13718 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-04-02-00-0-00-000 | BYNUM ENTERPRISES LTD               | 13520 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-04-10-00-0-00-000 | PETERSON JESSICA & BREHM MATTHEW    | 13613 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-04-01-01-0-00-000 | C C K LLC                           | 1733 NE PARKWOOD DR   | LEES SUMMIT   | MO    | 64014 |
| 74-100-04-12-00-0-00-000 | C C K LLC                           | 1733 NE PARKWOOD DR   | LEES SUMMIT   | MO    | 64014 |
| 74-100-01-01-00-0-00-000 | CHAMNESS ROBERT M TRUSTEE           | 1993 NW US 50 WEST    | LONE JACK     | MO    | 64070 |
| 74-100-01-10-00-0-00-000 | D BOSWELL REALTY LLC                | 15922 S EVANS RD      | PLEASANT HILL | MO    | 64080 |
| 74-100-04-05-01-0-00-000 | HARRIS TODD W & ELLIE M             | 13717 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-04-17-00-0-00-000 | LARIVIERE LUCINDA                   | 9414 LESLIE AVE       | KANSAS CITY   | MO    | 64139 |
| 74-100-04-15-00-0-00-000 | LIAMS JONATHAN                      | 13708 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-01-09-00-0-00-000 | PIPES BRIAN K                       | 13408 S AL GOSSETT RD | LONE JACK     | MO    | 64070 |
| 74-100-04-11-00-0-00-000 | SCHNEPF MICHAEL J & BARBARA L TRUST | 13703 S SAM MOORE RD  | LONE JACK     | MO    | 64070 |
| 74-100-04-16-00-0-00-000 | SELDOMRIDGE BROOKE                  | 1973 NW 100 RD        | KINGSVILLE    | MO    | 64061 |
| 74-100-01-08-01-2-00-000 | TERRY JOHN W & LINDA D              | 13322 S AL GOSSETT RD | LONE JACK     | MO    | 64070 |
| 74-100-04-13-00-0-00-000 | GREESON CHARLES A & JACQUELINE R    | 39903 E BOSWELL RD    | LONE JACK     | MO    | 64070 |



## JACKSON COUNTY Public Works Department

Jackson County Technology Center  
303 West Walnut Street  
Independence, Missouri 64050  
jacksongov.org

(816) 881-4530  
Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-681  
Jacob Davis & Heather Schmidlein

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Jacob Davis for a change of a Planned in District LI-p (Light Industrial-Planned) on 9.43 ± acres for a self-storage facility at 13513 S. Sam Moore Road.

Please note that this request for a change of zoning affects only the property mentioned above. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 1000' of the subject property.

The public hearing on this matter will be held by the Plan Commission on Thursday, July 18, 2024 at 8:30 a.m. in the Large Conference Room, 2<sup>nd</sup> Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works  
Development Division  
Randy Diehl, Administrator

*Frank White, Jr., County Executive*

**JACKSON COUNTY, MISSOURI  
PLANNED DEVELOPMENT ZONING APPLICATION**

---

**APPLICANT INFORMATION:**

1. Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
2. Application must be typed or printed in a legible manner.
3. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
5. Provide Site Development Plan and supporting documentation as provided in UDC Section 24003.18 paragraph e (See Item 14).
6. A signed statement by applicant that applicant understands and agrees that rezoning granted under this section may be revoked should actual use of the property deviate materially if planned development is granted.
7. The filing fee (non-refundable) must accompany application.  
(Check payable to Manager of Finance)  
\$350.00 - Change of Zoning to Residential / Planned Development  
\$500.00 - Change of Zoning to Commercial or Industrial / Planned Development

---

**TO BE COMPLETED BY OFFICE PERSONNEL ONLY:**

Rezoning Case Number      RP- 2024-681

Date Filed \_\_\_\_\_ Date of hearing \_\_\_\_\_

Date advertised \_\_\_\_\_ Date property owners notified \_\_\_\_\_

Date signs posted \_\_\_\_\_

Hearings:      Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

                  Heard by \_\_\_\_\_ Date \_\_\_\_\_ Decision \_\_\_\_\_

---

**BEGIN APPLICATION HERE:**

**1. Data on Applicant(s) and Owner(s)**

- a. Applicant(s) Name: Heather Schmidtlein & Jacob Davis
- Address: PO Box 216, Mission, KS 66201
- Phone 913 231 6067
- b. Owner(s) Name: Jacqueline Ruth Greeson, Trustee, or successor Trustees, of the  
Greeson Trust dated August 24, 2023
- Address: \_\_\_\_\_



Boundary Map? No

If so, will any improvements be made to the property which will increase or decrease the elevation? N/A

11. Describe the source/method which provides the following services, and what effect the development will have on same:

- a. Water PWSD 15
- b. Sewage disposal N/A
- c. Electricity Evergy
- d. Fire and Police protection Lone Jack Fire District / Sheriff

12. Describe existing road width and condition: Paved

13. What effect will proposed development have on existing road and traffic conditions? Minimal, similar to prior use

14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? No If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): N/A

15. **PLANNED ZONING APPLICATION SHALL INCLUDE SITE DEVELOPMENT PLAN:**

An accurate, legible site plan, drawn to scale and containing the following information:

- a. the legal description of subject property;
- b. the limits, dimensions, and square footage/acreage of property and the development of property adjacent to the area within three hundred (300) feet;
- c. the topography in intervals no greater than ten (10) feet;
- d. general location and width of all proposed streets and public rights-of-way, such as pedestrian ways and easements.
- e. entrances and exits from streets or indication of the criteria for entrance and exit

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Date

Property Owner(s)

B. J. D.

06/04/2024

Applicant(s):

\_\_\_\_\_  
\_\_\_\_\_

Contract Purchaser(s):

\_\_\_\_\_  
\_\_\_\_\_

STATE OF Missouri  
COUNTY OF Cass

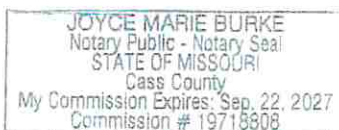
On this 4th day of June, in the year of 2024, before me  
the undersigned notary public, personally appeared B. J. D.

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and  
acknowledged that he/she/they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

Notary Public Joyce Marie Burke

Commission Expires Sept. 22, 2027



Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature

Date

Property Owner(s)

Applicant(s):

Contract Purchaser(s):

STATE OF

COUNTY OF

On this

5<sup>th</sup>

day of

<sup>HN</sup>  
May June

in the year of

2024

, before me

the undersigned notary public, personally appeared

Heather Schmidtlein  
and Jacob Davis

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained.

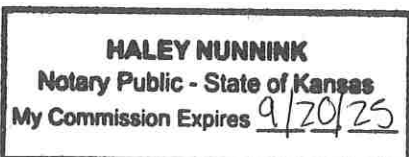
In witness whereof, I hereunto set my hand and official seal.

Notary Public

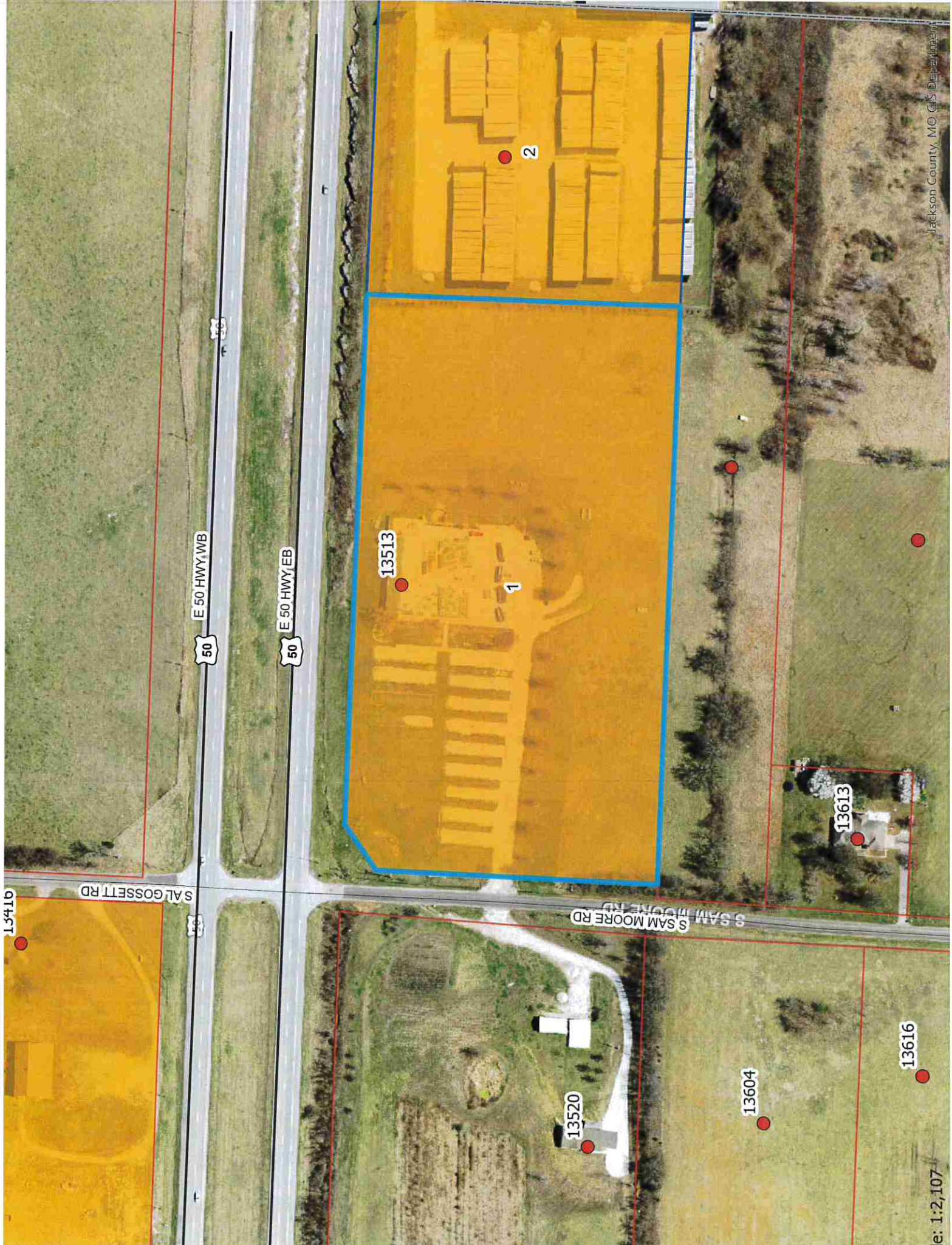


Commission Expires

9/20/2025



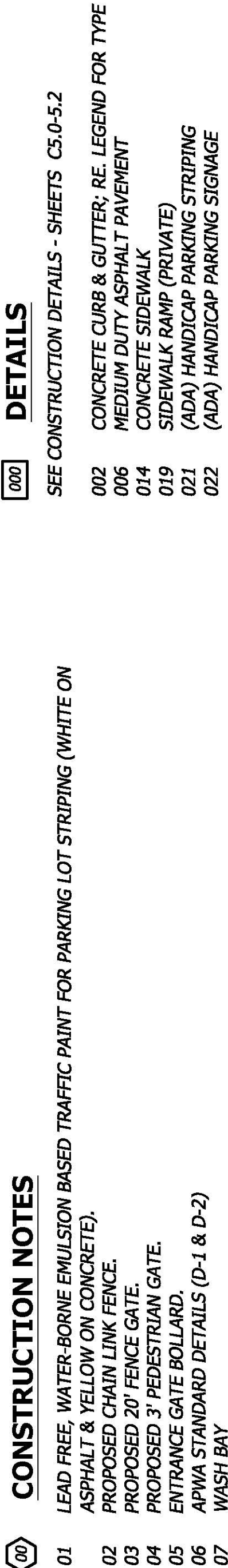








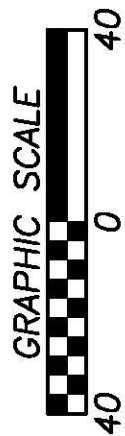




**LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON**

SEE CONSTRUCTION DETAILS - SHEETS C5.0-5.2

- |     |                                             |
|-----|---------------------------------------------|
| 002 | CONCRETE CURB & GUTTER; RE. LEGEND FOR TYPE |
| 006 | MEDIUM DUTY ASPHALT PAVEMENT                |
| 014 | CONCRETE SIDEWALK                           |
| 019 | SIDEWALK RAMP (PRIVATE)                     |
| 021 | (ADA) HANDICAP PARKING STRIPING             |
| 022 | (ADA) HANDICAP PARKING SIGNAGE              |



0.10

## **IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**AN ORDINANCE** appropriating \$2,500,000.00 from the undesignated fund balance of the 2024 County Improvement Fund, transferring \$2,500,000.00 within the 2024 New Detention Center C/P Fund, and authorizing the County Executive to execute an amendment to the contract with J.E. Dunn-Axiom of Kansas City, MO, for the construction of the new Jackson County Detention Center to cover Component Packages 3 and 4 related to the final design, construction, and furnishing costs of the new Detention Center Project, at a cost to the County not to exceed \$19,698,551.00.

**ORDINANCE NO. 5875**, August 12, 2024

**INTRODUCED BY** Jeanie Lauer, County Legislator

WHEREAS, by Ordinance No. 5621, dated April 25, 2022, the Legislature did award a contract for the construction of the new Jackson County Detention Center to J.E. Dunn-Axiom of Kansas City (Jackson County), MO pursuant to the terms and conditions of Request for Proposals No. 7-22; and,

WHEREAS, by Ordinance No. 5732, dated April 17, 2023, the Legislature did authorize the issuance of special obligation bonds for the funding of the new Jackson County Detention Center; and,

WHEREAS, by Ordinance No. 5743, dated May 9, 2023, the Legislature did authorize Component Package 2 (Site Demolition, Site Development, and Earthwork), and Component Package 2a (Engineering, Detailing, Mockups, and Early Procurement) to begin construction of the new Detention Center; and,

WHEREAS, by Resolution No. 21512, dated January 22, 2024, the Legislature did authorize Component Packages 2B and 2C related to the furnishing of services, labor

and materials for the footing, foundation, and structural portions of the Detention Center Project; and,

WHEREAS, it is now appropriate to approve Component Packages 3 and 4 related to the final design, construction, and furnishing costs; and,

WHEREAS, an appropriation and transfer are necessary to place the funds required to implement this Ordinance in the proper spending accounts; now therefore,

BE IT ORDAINED by the County Legislature of Jackson County MO, that the following transfers and appropriation be and hereby are made:

| <u>DEPARTMENT/DIVISON</u>                   | <u>CHARACTER/DESCRIPTION</u>     | <u>FROM</u> | <u>TO</u>   |
|---------------------------------------------|----------------------------------|-------------|-------------|
| County Improvement Fund<br>013-9999         | 32810- Undesignated Fund Balance | \$2,500,000 |             |
| Operating Transfers<br>013-9999             | 56105- Operating Transfers Out   |             | \$2,500,000 |
| New Detention Center C/P Fund<br>024-9999   | 47070- Inter Fund Transfer       | \$2,500,000 |             |
| 024-9999                                    | 32810- Undesignated Fund Balance |             | \$2,500,000 |
| 024-9999                                    | 32810- Undesignated Fund Balance | \$2,500,000 |             |
| Fac Mgmt – New Detention Center<br>024-1214 | 58020- Buildings & Improvements  |             | \$2,500,000 |

and,

BE IT FURTHER ORDAINED that the County Executive be and hereby is authorized to execute an amendment to the contract with J.E. Dunn-Axiom of Kansas City, MO for the New Detention Center project as described in this Ordinance, in forms approved by the County Counselor; and,

BE IT FURTHER ORDAINED that the Director of Finance and Purchasing is authorized to make all payments, including final payment on the contracts, to the extent that appropriated funds are available for this purpose.



Effective Date: This ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5875 introduced on August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

This Ordinance is hereby transmitted to the County Executive for his signature.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5875.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Frank White, Jr., County Executive

Funds sufficient for this appropriation and transfer are available from the source indicated below.

ACCOUNT NUMBER: 013 9999 32810  
ACCOUNT TITLE: County Improvement Fund  
Undesignated Fund Balance  
NOT TO EXCEED: \$2,500,000.00

There is a balance otherwise unencumbered to the credit of the appropriation to which the expenditure is chargeable and there is a cash balance otherwise unencumbered in the treasury to the credit of the fund from which payment is to be made each sufficient to provide for the obligation herein authorized.

ACCOUNT NUMBER: 024 1214 58020  
ACCOUNT TITLE: New Detention Center C/P Fund  
Fac Management – New Detention Center  
Building & Improvements  
NOT TO EXCEED: \$5,647,858.00

ACCOUNT NUMBER: 013 1214 58150  
ACCOUNT TITLE: County Improvement Fund  
Fac Management – New Detention Center  
Office Furniture & Fixtures  
NOT TO EXCEED: \$5,128,093.00

ACCOUNT NUMBER: 013 1214 58171  
ACCOUNT TITLE: County Improvement Fund  
Fac Management – New Detention Center  
Personal Computers/Accessories  
NOT TO EXCEED: \$8,922,600.00

08/08/2024

\_\_\_\_\_  
Date

  
Sylva Stevenson (Aug 8, 2024 12:10 CDT)

\_\_\_\_\_  
Chief Administrative Officer



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #: 24-171, Version: 0**

---

**REQUESTED MEETING DATE:** 8/12/2024

**SPONSORS:**

**Jeanie Lauer**

Ordinance No. 5875  
Sponsor: Jeanie Lauer  
Date: August 12, 2024

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Troy Schulte **PHONE:** 816-881-1079

**EMAIL:** [tschulte@jacksongov.org](mailto:tschulte@jacksongov.org)

**DEPARTMENT:** County Executive

**TITLE:** Authorizing the County Executive to amend an existing agreement with JE Dunn + Axiom for Components 3 and 4 in the amount of \$19,698,551 in reference to the Jackson County Detention Center for total final design, construction, and furnishing costs of \$315,317,443.00; transferring and appropriating \$2,500,000 from the County Improvement and authorizing expenditures of \$14,050,693 from previously appropriated County Improvement Funds.

**SUMMARY:** This ordinance authorizes the County Executive to sign two additional Component Contract Modifications to complete the Jackson County Detention Center at 7000 E. 40 HWY. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% construction documents. Component Package 3 will allow JE Dunn to begin the interior, miscellaneous specialty work which includes but is not limited to dry walling, roofing, flooring, tiling, painting, landscape, and installation of commercial doors, frames, and hardware. A total of \$2.5 million is appropriated from the

undesignated fund balance of the County Improvement Fund and transferred to the New Detention Center Project Fund (No. 024) to fully fund the guaranteed maximum price of \$301,266,750. Available County Improvement Funds will replace ARPA funds that were originally anticipated for the court's component of the project. Component Package 4 will amend the contract with JE Dunn + Axiom to purchase significant furniture, fixtures, equipment, and technology items for the building. This is an additional cost of \$14,050,693 above the original and final guaranteed maximum price for design and construction of the project. The funds for furniture, fixtures and technology were previously budgeted in the 2024 Budget. These items include but are not limited to medical and dental equipment, ADA walk- through metal detector, package scanners, office furniture, inmate mattresses, and storage shelving. Inclusion of the furniture, fixtures, equipment, and technology will allow the project to accelerate its final completion date. In addition, minority and women participation goals currently in existence on the construction component of the project will be extended to the furnishing component of the project. There are additional FFE items that will be procured by the County's Purchasing Division to control costs and utilize a variety of existing and potential vendors and consultants, while following applicable County Codes. As soon as approvals are made by the Legislature the schedule for Components 3 and 4 will commence and allowing for substantial completion of the project by the end of December 2025.

**FINANCIAL IMPACT:****NO** ☐

| Amount      | Fund | Department | Line-Item Detail |
|-------------|------|------------|------------------|
| \$2,500,000 | 013  | 9999       | 32810            |
| \$2,500,000 | 013  | 9999       | 56105            |
| \$2,500,000 | 024  | 9999       | 47070            |
| \$2,500,000 | 024  | 1214       | 58020            |
| \$5,128,093 | 013  | 1214       | 58150            |
| \$8,922,600 | 013  | 1214       | 58171            |

**YES** ☒**ACTION NEEDED: AUTHORIZE****ATTACHMENTS:**

Click or tap here to enter text.

**Fiscal Note:**

Funds sufficient for this appropriation are available from the source indicated below.

Date: August 6, 2024

|            |        |
|------------|--------|
| ORD #      | 5875   |
| eRLA ID #: | 24-171 |

**013 County Improvement Fund**

| Cost Center              | Spend Category                  | Program/Grant/Project | From         | To        |
|--------------------------|---------------------------------|-----------------------|--------------|-----------|
| 9999 -                   | 32810 Undesignated Fund Balance |                       | \$ 2,500,000 | \$ -      |
| 9100 Operating Transfers | 56105 Operating Transfers Out   |                       |              | 2,500,000 |

**024 New Detention Center C/P Fund**

| Cost Center                                      | Spend Category                  | Program/Grant/Project | From                | To                  |
|--------------------------------------------------|---------------------------------|-----------------------|---------------------|---------------------|
| 9999 -                                           | 47070 Inter Fund Transfers      |                       | \$ 2,500,000        | \$ -                |
| 9999 -                                           | 32810 Undesignated Fund Balance |                       |                     | 2,500,000           |
| 9999 -                                           | 32810 Undesignated Fund Balance |                       | \$ 2,500,000        | \$ -                |
| 1214 Facilities Management -New Detention Center | 58020 Buildings & Improvements  |                       |                     | 2,500,000           |
|                                                  |                                 |                       | <u>\$ 7,500,000</u> | <u>\$ 7,500,000</u> |

**Fiscal Note:**

This expenditure was included in the Annual Budget

PC#

**024 New Detention Center C/P Fund**

| Cost Center                                      | Spend Category                 | Program/Grant/Project | Not to Exceed |
|--------------------------------------------------|--------------------------------|-----------------------|---------------|
| 1214 Facilities Management -New Detention Center | 58020 Buildings & Improvements |                       | \$ 5,647,858  |

**013 County Improvement Fund**

| Cost Center                                      | Spend Category                       | Program/Grant/Project | To        |
|--------------------------------------------------|--------------------------------------|-----------------------|-----------|
| 1214 Facilities Management -New Detention Center | 58150 Office Furniture & Fixtures    |                       | 5,128,093 |
| 1214 Facilities Management -New Detention Center | 58171 Personal Computers/Accessories |                       | 8,922,600 |

**APPROVED**

By David Moyer at 11:05 am, Aug 07, 2024

\$ 19,698,551

Budget Office



Form of Component Contract Modification

**DESIGN BUILD AGREEMENT  
PROPOSED COMPONENT CONTRACT MODIFICATION NO. 3  
PROJECT NO. 70-22**

TO: Jackson County, Missouri

This proposed Component Contract Modification is submitted pursuant to Sections 1.1.6, 3.2.2 and 4.1 of the Design/Build Agreement dated May 19, 2022, the terms of which are incorporated by reference.

Having carefully examined the Construction Documents prepared by the Design Professional and approved by Owner on March 25<sup>th</sup>, 2024, as well as the Site and conditions affecting the Work, the undersigned submits this proposed Component Contract Modification to furnish all service, labor and materials called for by the Design Development Documents for the entire Work of Component Package 3 in accordance with the aforesaid Construction Documents and the Design/Build Agreement.

**Description of Modification**

The Contract Modification sum is \$ 5,647,858.

The Contract Modification Sum is comprised of the following amounts:

- |    |                                                                                    |              |
|----|------------------------------------------------------------------------------------|--------------|
| 1. | Construction Sum due Trade Contractor<br>or Trade Supplier                         | \$ 5,392,440 |
| 2. | Design Builder's Estimated Cost for Work or<br>Material Supplied by Design Builder | \$ 255,418   |
| 3. | Design Builder's Contingency                                                       | \$ 0         |
| 4. | Design Builder's Fee                                                               | \$ 0         |

The Component Package 3 Budget is attached as Attachment A.

The Master Schedule is included in Attachment A as Exhibit 4.

The undersigned guarantees the final completion of the Work above on or before the Final Completion Date which is February 12<sup>th</sup>, 2026.

The undersigned agrees that this proposed Component Contract Modification, together with Owner's Notice of Acceptance, is the Design/Builder's proposed amendment to the Design/Build Agreement for the performance by the Design/Builder of the proposed Work for the above-stated compensation in accordance with the Master Schedule and within the time specified in accordance with the Contract Documents and shall constitute an amendment to the Design/Build Agreement by Contract Modification, if approved and agreed upon by the Owner. The Work defined in this Component Package is a subset of the Work set forth in the Guaranteed Maximum Price Proposal for the Project dated March 14, 2023 (the "GMP Proposal"). Component Package 3 Contract Modifications are to be incorporated into the overall GMP.

DATED: July 23rd, 2024

J.E. Dunn – Axiom, A Joint Venture  
Design/Builder

By: Jeffery Jenkins

Name: Jeff Jenkins

Title: Vice President

RECOMMENDED FOR OWNER'S ACCEPTANCE:

OWNER'S REPRESENTATIVE

By: \_\_\_\_\_

\_\_\_\_\_  
**County Executive** *(Signature)*

\_\_\_\_\_  
*(Printed Name)*

\_\_\_\_\_  
**County Counselor** *(Signature)*

\_\_\_\_\_  
*(Printed Name)*

\_\_\_\_\_  
**Clerk of the County Legislature** *(Signature)*

\_\_\_\_\_  
*(Printed Name)*

**Exhibit 1.1.4-B**

**Form of Notice of  
Acceptance of  
Component Contract Modification No. \_\_\_\_\_**

**for**

**PROJECT NO. 70-21**

TO:

\_\_\_\_\_*(Design Builder)*

\_\_\_\_\_

\_\_\_\_\_

Notice is hereby given to Design/Builder that the Owner hereby ACCEPTS the foregoing Component Contract Modification submitted to Owner on \_\_\_\_\_, 20\_\_\_\_\_

DATED: \_\_\_\_\_, 20\_\_\_\_\_

JACKSON COUNTY, MISSOURI

BY:

Name: \_\_\_\_\_  
Owner

# Attachment A

June 28th, 2024

Mr. Troy Schulte  
Jackson County, Missouri  
415 E 12<sup>th</sup> Street  
Kansas City, MO 64106

Re: Jackson County Detention Center  
Guaranteed Maximum Price (GMP) – Component Packages 3

Dear Troy,

**Please see attached updated GMP Proposal. Items that have been added/changed are the Ex. 1, Ex. 2, Ex. 3, Ex.4, Ex. 6, Ex. 7, and Ex. 8. The Ex. 7 Clarifications include green highlights for inclusions that have been added or revised.** We are pleased to update Jackson County on the current GMP status at the Component Package 3 milestone that includes 100% Construction Documents and has allowed the Design-Build Team to buy out over 100% of the job. In addition, due to the hard work of Jackson County, JCDC Partners and our team we can confirm the project's GMP of **\$301,162,067 (Three Hundred and One Million, One Hundred Sixty-Two Thousand, Sixty-Seven Dollars)** is intact, see attached Exhibit 1 – GMP for Component packages 3 for a line-by-line accounting of the current GMP status.

The following supporting documents have been reviewed by JCDC, the Owner's Representative, and are attached for your approval.

- Exhibit 1 - (3.2.2.4.3.2) GMP for Component Packages 1, 2A, 2B, 2C, 3 (1 Page)
- Exhibit 2 – Owner Contingency Log (1 page)
- Exhibit 3 – List of Drawings/Contract Documents (23 pages)
- Exhibit 4 - (3.2.2.4.3.1) Master Schedule (23 pages)
- Exhibit 5 – Sequence Map (1 page)
- Exhibit 6 – Logistics Plan (1 page)
- Exhibit 7 - GMP Clarifications (9 pages)
- Exhibit 8 - (3.2.2.4.6) Contractor Utilization Plan/MWBE Strategy (1 pages)
- Exhibit 9 – JCDC Systems Matrix (5 pages)

In order to hold trade partner (subcontractor) pricing reflected in this GMP proposal, Jackson County approval is needed no later than August 30<sup>th</sup>, 2024.

Upon receiving written approval of this Component Package Contract Modification proposal JE Dunn + Axiom will forward the Form of Component Contract Modification for execution and begin issuing subcontracts to our trade partners.

Sincerely,



Jeff Jenkins  
Project Director, JE Dunn + Axiom  
Cc: Job/File

**Jackson County, Missouri**

**JCDC Partners LLC**

Approved: \_\_\_\_\_ Date \_\_\_\_\_

Recommended: \_\_\_\_\_ Date \_\_\_\_\_

# Exhibit 1

| Jackson County Detention Center<br>June 28, 2024<br>Exhibit 1 - CP3 GMP Update |                                 |                        |  |                       |                       |                               |                       |                           |                |                  |
|--------------------------------------------------------------------------------|---------------------------------|------------------------|--|-----------------------|-----------------------|-------------------------------|-----------------------|---------------------------|----------------|------------------|
| Scope                                                                          | Trade Partner                   | # of Bids              |  | GMP                   | CP 1 and 2A Funding   | Component Package 2B/2C - GMP | CP 2B/2C Funding      | Component Package 3 - GMP | Over/(Under)   | CP 3 Funding     |
| General Conditions                                                             |                                 |                        |  | \$ 10,275,030         | \$ 4,878,905          | \$ 10,275,030                 | \$ 5,396,125          | \$ 10,275,030             | \$ -           | \$ -             |
| Cost of Work                                                                   |                                 |                        |  | \$ 2,540,002          |                       | \$ 2,540,002                  | \$ 2,540,002          | \$ 2,795,420              | \$ 255,418     | \$ 255,418       |
| Design Fees                                                                    | DLR Group                       |                        |  | \$ 17,570,187         | \$ 13,581,596         | \$ 17,654,187                 | \$ 4,072,591          | \$ 17,658,808             | \$ 4,621       | \$ 4,621         |
| 02 - Mass Excavation                                                           | Kissick Construction            | 5                      |  | \$ 10,118,488         | \$ 10,118,488         | \$ 10,668,488                 | \$ 550,000            | \$ 10,841,365             | \$ 172,877     | \$ 172,877       |
| Structures Package                                                             | JED SP                          | 3                      |  | \$ 39,753,334         |                       | \$ 39,878,334                 | \$ 39,878,334         | \$ 41,832,538             | \$ 1,954,204   | \$ 1,954,204     |
| 03M Precast Materials-Structure                                                | Enterprise Precast              | 2                      |  | \$ 17,674,402         | \$ 17,674,402         | \$ 19,414,105                 | \$ 1,739,703          | \$ 19,442,934             | \$ 28,829      | \$ 28,829        |
| 05 - Structural Steel                                                          | Kansas City Structural Steel    | 3                      |  | \$ 3,917,686          |                       | \$ 2,782,099                  | \$ 2,782,099          | \$ 2,782,099              | \$ -           | \$ -             |
| 06E - General Capentry Install                                                 | IBC                             | 3                      |  | \$ 2,182,714          |                       | \$ 1,813,021                  | \$ 1,813,021          | \$ 1,960,207              | \$ 147,186     | \$ 147,186       |
| 06E - Finished Carpentry Supply                                                | RCS Millwork                    | 3                      |  | \$ 1,541,705          |                       | \$ 1,541,705                  | \$ -                  | \$ 1,482,843              | \$ (58,862)    | \$ -             |
| 07G - Membrane Roofing                                                         | Flynn Midwest                   | 3                      |  | \$ 8,777,313          | \$ 5,955,715          | \$ 8,777,313                  | \$ 2,821,598          | \$ 8,889,293              | \$ 111,980     | \$ 111,980       |
| 07E - Metal Wall and Roof Panels                                               | Standard Sheet Metal            | 3                      |  | \$ 634,720            |                       | \$ 688,249                    | \$ 688,249            | \$ 688,249                | \$ -           | \$ -             |
| 07I - Joint Sealants/Rated Sealants                                            | Flynn Midwest                   | 3                      |  | \$ 1,877,000          |                       | \$ 1,714,150                  | \$ 1,714,150          | \$ 1,632,900              | \$ (81,250)    | \$ (81,250)      |
| 07I - Penetration Firestopping                                                 | Flynn Midwest                   | 632                    |  | \$ 1,876,160          |                       | \$ 652,540                    | \$ 652,540            | \$ 608,740                | \$ (43,800)    | \$ (43,800)      |
| 07H - Spray Applied Fireproofing                                               | K Building                      | 2                      |  | \$ 318,000            |                       | \$ 483,899                    | \$ 483,899            | \$ 592,689                | \$ 108,790     | \$ 108,790       |
| 08C - Commerical Doors, Frames and Hardware Supply                             | Design Supply                   | 3                      |  | \$ 2,605,700          |                       | \$ 2,712,000                  | \$ 2,712,000          | \$ 2,712,000              | \$ -           | \$ -             |
| 08 - Coiling Doors                                                             | Acme Dock                       | 3                      |  | \$ 253,496            |                       | \$ 253,496                    | \$ 253,496            | \$ 228,496                | \$ (25,000)    | \$ (25,000)      |
| 08G - Glass and Glazing (Includes Interior Borrowed Lites)                     | AGP                             | 2                      |  | \$ 1,634,169          |                       | \$ 1,544,678                  | \$ 1,544,678          | \$ 1,602,918              | \$ 58,240      | \$ 58,240        |
| 09C - Tile                                                                     | Metro Tile                      | 2                      |  | \$ 365,057            | \$ 357,198            | \$ 365,057                    | \$ 7,859              | \$ 365,057                | \$ -           | \$ -             |
| 09A - Drywall (Includes Expansion Joint Covers)                                | E&K                             | 3                      |  | \$ 5,338,479          |                       | \$ 5,604,240                  | \$ 5,604,240          | \$ 5,608,069              | \$ 3,829       | \$ 3,829         |
| 09H - Flooring                                                                 | Regents Flooring                | 2                      |  | \$ 1,171,251          |                       | \$ 1,171,251                  | \$ -                  | \$ 846,447                | \$ (324,804)   | \$ 846,447       |
| 09I - Resinous/Special Coatings                                                | Musselman and Hall              | 3                      |  | \$ 1,199,160          |                       | \$ 665,345                    | \$ 665,345            | \$ 674,682                | \$ 9,337       | \$ 9,337         |
| 09B - Painting and Floor Sealer                                                | MVP                             | 3                      |  | \$ 2,291,460          |                       | \$ 2,313,300                  | \$ 2,313,300          | \$ 2,129,510              | \$ (183,790)   | \$ (183,790)     |
| Operable Partitions                                                            | Facility Specialties            | 3                      |  | \$ 95,846             |                       | \$ 95,846                     | \$ -                  | \$ 76,652                 | \$ (19,194)    | \$ 76,652        |
| Divs 10                                                                        | Design Supply                   |                        |  | \$ 1,239,809          |                       | \$ 1,239,809                  | \$ -                  | \$ 942,074                | \$ (297,735)   | \$ 942,074       |
| 11K - Commercial Laundry Equip.                                                | Loomis                          | 2                      |  | \$ 281,722            |                       | \$ 295,808                    | \$ 295,808            | \$ 313,413                | \$ 17,605      | \$ 17,605        |
| 11 - Misc Equip- Folding Hyd Det Doors                                         | Acme Dock                       | 2                      |  | \$ 404,213            |                       | \$ 274,189                    | \$ 274,189            | \$ 249,189                | \$ (25,000)    | \$ (25,000)      |
| 11 - Athletic Equip                                                            | JED SP                          |                        |  | \$ 225,467            |                       | \$ 225,467                    | \$ -                  | \$ 225,467                | \$ -           | \$ 225,467       |
| 11B - Detention Equipment                                                      | CML Security                    | 2                      |  | \$ 18,102,550         | \$ 2,860,000          | \$ 17,137,050                 | \$ 14,277,050         | \$ 16,356,756             | \$ (780,294)   | \$ (780,294)     |
| 11C - Food Service Equipment                                                   | TriMark                         | 1                      |  | \$ 2,440,990          |                       | \$ 2,440,990                  | \$ 2,440,990          | \$ 2,440,990              | \$ -           | \$ -             |
| 12 - Furnishings & Misc Seating                                                | RCS/IBC - Amount Included in 06 |                        |  | \$ 68,299             |                       | \$ 68,299                     | \$ -                  | \$ -                      | \$ (68,299)    | \$ (68,299)      |
| 12C - Roller Window Shades                                                     | TBD                             | 3                      |  | \$ 88,569             |                       | \$ 88,569                     | \$ -                  | \$ 88,569                 | \$ -           | \$ 88,569        |
| 11I - Modular Cells Materials                                                  | Cornerstone/Axiom JV            | 3                      |  | \$ 17,694,644         | \$ 9,525,000          | \$ 17,551,867                 | \$ 8,026,867          | \$ 19,403,624             | \$ 1,851,757   | \$ 1,851,757     |
| 14A - Elevators                                                                | Otis Elevators                  | 4                      |  | \$ 298,500            |                       | \$ 318,700                    | \$ 318,700            | \$ 354,400                | \$ 35,700      | \$ 35,700        |
| Fire Protection                                                                | American Fire                   | 4                      |  | \$ 3,103,997          | \$ 3,097,297          | \$ 3,456,140                  | \$ 358,843            | \$ 3,456,140              | \$ -           | \$ -             |
| HVAC - Plumbing                                                                | US Engineering                  | 2                      |  | \$ 49,133,598         | \$ 11,514,962         | \$ 48,677,982                 | \$ 37,163,020         | \$ 48,747,790             | \$ 69,808      | \$ 69,808        |
| Electrical                                                                     | Mark One Electric               | 4                      |  | \$ 25,656,074         | \$ 9,379,438          | \$ 26,632,071                 | \$ 17,252,633         | \$ 28,135,932             | \$ 1,503,861   | \$ 1,503,861     |
| 28A - Security Electronics 'SEC'                                               | Cornerstone Detention           | 4                      |  | \$ 13,766,050         | \$ 2,400,000          | \$ 14,316,050                 | \$ 11,916,050         | \$ 14,955,469             | \$ 639,419     | \$ 639,419       |
| 32A - Asphalt                                                                  | Superior Bowen                  | 4                      |  | \$ 1,690,448          |                       | \$ 1,690,448                  | \$ 1,690,448          | \$ 1,453,510              | \$ (236,938)   | \$ (236,938)     |
| Unit Paving                                                                    | Not applicable                  | N/A                    |  | \$ 47,178             |                       | \$ 47,178                     | \$ -                  | \$ -                      | \$ (47,178)    | \$ -             |
| 32H - Fence                                                                    | Collins and Herman              | 2                      |  | \$ 452,000            |                       | \$ 452,000                    | \$ -                  | \$ 677,750                | \$ 225,750     | \$ 677,750       |
| 32G - Landscape/Irrigation                                                     | Blue Cedar                      | 3                      |  | \$ 717,734            |                       | \$ 717,734                    | \$ -                  | \$ 741,340                | \$ 23,606      | \$ 741,340       |
| 33A - Site Utilities                                                           | Kissick Construction            | 5                      |  | \$ 2,588,877          |                       | \$ 2,516,104                  | \$ 2,516,104          | \$ 2,485,522              | \$ (30,582)    | \$ (30,582)      |
| Permits, Bonds, and Insurance                                                  |                                 |                        |  | \$ 13,490,493         | \$ 8,090,899          | \$ 13,490,493                 | \$ 5,399,594          | \$ 13,490,493             | \$ -           | \$ -             |
| Owner Contingency                                                              |                                 |                        |  | \$ 1,024,883          |                       | \$ 5,048                      | \$ 5,048              | \$ -                      | \$ (5,048)     | \$ 1,546,094     |
| General Contractor Contingency                                                 |                                 |                        |  | \$ 3,225,662          |                       | \$ 4,502,785                  | \$ 4,502,785          | \$ 4,441,709              | \$ (61,076)    | \$ (61,076)      |
| Design Contingency                                                             |                                 |                        |  | \$ 2,663,901          |                       | \$ 2,663,901                  | \$ 2,663,901          | \$ -                      | \$ (2,663,901) | \$ (2,663,901)   |
| Escalation Allowance                                                           |                                 |                        |  | \$ 2,270,066          |                       | \$ 2,270,066                  | \$ -                  | \$ -                      | \$ (2,270,066) | \$ (2,270,066)   |
| Fee                                                                            |                                 |                        |  | \$ 6,474,984          | \$ 2,084,079          | \$ 6,474,984                  | \$ 4,390,905          | \$ 6,474,984              | \$ -           | \$ -             |
|                                                                                | <b>TOTAL BASE PROJECT</b>       |                        |  | <b>\$ 301,162,067</b> | <b>\$ 101,517,979</b> | <b>\$ 301,162,067</b>         | <b>\$ 193,996,230</b> | <b>\$ 301,162,067</b>     | <b>\$ 0</b>    | <b>5,647,858</b> |
|                                                                                |                                 | Bid with CP 3          |  |                       |                       |                               |                       |                           |                |                  |
|                                                                                |                                 | Subcontracted (Teamed) |  |                       |                       |                               |                       |                           |                |                  |



# Exhibit 2

## 22026200 - Jackson County Detention Center PCI & Contingency Summary 7/10/24

|                                               | Description                                                                                                                                                    | Design/Owner Contingency | Amount       | Due Date  | Y/N | Comments                                                                                                                                                                                                                                        |
|-----------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------|-----------|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Potential Change Items</b>                 |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | Recreation Yards - Insect Screening SS Wire Cloth                                                                                                              | Owner                    | \$ 463,000   |           | N   | Not desired by client due to costs.                                                                                                                                                                                                             |
| 2                                             | Recreation Yards - 2" square to 1" square                                                                                                                      | Owner                    | \$ 120,000   |           | N   | Per JCDC/JCMO. 07.01.2024                                                                                                                                                                                                                       |
| 3                                             | Added Duress Buttons - 95% Comments                                                                                                                            | Owner                    | \$ 12,150    |           | Y   | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum and final price be reconciled with that Addendum.                                                                                                              |
| 4                                             | Audio Recording at Cameras                                                                                                                                     | Owner                    | \$ 642,600   |           | TBD | JCMO/JCDC confirming intent. Once confirmed JED will price accordingly. Cost prohibitive depending on Scope.                                                                                                                                    |
| 5                                             | Additional WiFi Coverage                                                                                                                                       | Owner                    | \$ 360,000   |           | TBD | Will be priced within Addendum No. 05                                                                                                                                                                                                           |
| 6                                             | Added Cameras at Cash Transactions                                                                                                                             | Owner                    | \$ 12,750    |           | Y   | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.                                                                                                                                                               |
| 7                                             | Added Inmate Phones                                                                                                                                            | Owner                    | \$ 25,000    |           | TBD |                                                                                                                                                                                                                                                 |
| 8                                             | Release Door changed to DEC Doors                                                                                                                              | Owner                    | \$ 2,500     |           | Y   | JCDC/JCMO have given direction to modify the sallyport and door locations in lieu of storefront going to DEC door. Will be priced within Addendum No. 05.                                                                                       |
| 9                                             | CATV Additions - 95% Comments                                                                                                                                  | Owner                    | TBD          |           | Y   | CATV Comments from JCDC/JCMO being reviewed in conjunction with Addendum No. 05. Previous Rough Order of Magnitude locations has changed since the 95% comments.                                                                                |
| 10                                            | Card Readers at Existing Doors                                                                                                                                 | Owner                    | \$ 11,000    |           | TBD | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.                                                                                                                                                               |
| 11                                            | Carpet in SP401                                                                                                                                                | Owner                    | \$ 5,000     |           | N   | Did not get added in Addendum No. 05                                                                                                                                                                                                            |
| 42                                            | 27" Camera Video Viewing Stations at Work Stations                                                                                                             | Owner                    | \$ 35,000    |           | Y   | CCTV Video Viewing station revisions being reviewed in addition to Addendum No. 05.                                                                                                                                                             |
| 13                                            | Media Outlet in Attorney Rooms                                                                                                                                 | Owner                    |              |           | Y   | Per JCDC/JCMO 07.01.2024, will have Design Team include in forthcoming Addendum.                                                                                                                                                                |
| 44                                            | Video Viewing Stations in Admin Deduct                                                                                                                         | Owner                    |              |           | N   | Awaiting direction from JCDC/JCMO to reconcile deductive costs. This would be to remove video viewing stations from offices located at Admin - 2nd Floor. Line item should be ignored due to line item 17 and comments received from JCDC/JCMO. |
| 16                                            | CATV and HDMI Changes 6/20/24                                                                                                                                  | Owner                    |              |           | TBD |                                                                                                                                                                                                                                                 |
| 17                                            | Video View Station Changes 6/20/2024                                                                                                                           | Owner                    |              |           | Y   | (-20) CCTV Workstations, 11 for sure changed to 27" monitors in lieu of 42. Awaiting final confirmation from JCDC Partners on revisions                                                                                                         |
| 18                                            | Addendum No. 05                                                                                                                                                | Owner/Design             |              |           |     |                                                                                                                                                                                                                                                 |
| 19                                            | Guardian Inmate Storage System and Room Expander 5                                                                                                             | FFE                      | \$ 35,000    | In Design |     | Requested by JCMO, need to confirm infra as the property system is 208V                                                                                                                                                                         |
| 20                                            |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 21                                            |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Owner (Approved) Change Items |                                                                                                                                                                |                          | \$ 73,400    |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Design Change Items           |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Change Items                  |                                                                                                                                                                |                          | \$ 1,101,000 |           |     |                                                                                                                                                                                                                                                 |
| <b>Approved Design Contingency Items</b>      |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | Kissick - Balance of Environmental Oversight T+M                                                                                                               | Design                   | \$ 39,939    |           | Y   | Per 12.07 email on reconciliation of EXT-001                                                                                                                                                                                                    |
| 2                                             | CP 2B/2C Design Contingency Adjustment                                                                                                                         | Design                   | \$ 1,731,535 |           | Y   | Design Contingency credit to Owner Contingency                                                                                                                                                                                                  |
| 3                                             | Parking Gate Adjustments/Loop Detectors                                                                                                                        | Design                   | \$ 82,146    | In Design | Y   | Added gate arm for Fire Truck Access design                                                                                                                                                                                                     |
| 4                                             | Various Camera/SEC Adjustments: Cameras, DEC/SEC design adjustments, etc. (Additional Intercoms, Electric Locks, Call Buttons, and Added DEC/Commercial Doors) | Design                   | \$ 256,232   | In Design | Y   | Cost includes adjustments for approx. 30 additional intercoms, 35 electric locks, 3 duress buttons and 2 call buttons.                                                                                                                          |
| 5                                             | HSS Framing at Rec Yards                                                                                                                                       | Design                   | \$ 154,875   | In Design | Y   | Additional Beams needed for Expanded Mesh spans and structural design. Cost includes 26 added pieces and approximately 34,000 pounds of weight.                                                                                                 |
| 6                                             | Additional Cameras - Design Evolution                                                                                                                          | Design                   | \$ 96,157    | In Design | Y   |                                                                                                                                                                                                                                                 |
| 7                                             | Handrail at Officer Station                                                                                                                                    | Design                   | \$ 50,563    | In Design | Y   |                                                                                                                                                                                                                                                 |
| 8                                             | Vertical Insulation at Parapets                                                                                                                                | Design                   | \$ 111,980   | In Design | Y   | Adding mechanically fastened vertical insulation at                                                                                                                                                                                             |
| 9                                             | Added PC Column in Secure Storage                                                                                                                              | Design                   | \$ 10,721    | In Design | Y   | Reconciled via 100% CDs                                                                                                                                                                                                                         |
| 10                                            | Seismic Requirement for EV 2                                                                                                                                   | Design                   | \$ 35,700    | In Design | Y   | Reconciled via 100% CDs                                                                                                                                                                                                                         |
| 11                                            | Addendum No. 04 - Structural Steel Revisions/Added Trench Drain                                                                                                | Design                   | \$ 64,715    | In Design | Y   | Reconciled via 100% CDs.                                                                                                                                                                                                                        |
| 12                                            | Landscaping Adjustments                                                                                                                                        | Design                   | \$ 29,338    | In Design | Y   | Reconciled via 100% CDs. Adjusted drill seed to hydroseed at slopes, miscellaneous counts adjusted for plantings at signage.                                                                                                                    |
| TOTAL APPROVED Design Contingency Items       |                                                                                                                                                                |                          | \$ 2,663,901 |           |     |                                                                                                                                                                                                                                                 |
| Remaining Design Contingency                  |                                                                                                                                                                |                          | \$ -         |           |     |                                                                                                                                                                                                                                                 |
| <b>Approved Owner Contingency Items</b>       |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | EV Charging Stations - (4) Charging Stations - Infrastructure Only                                                                                             | Owner                    | \$ 35,000    |           | Y   |                                                                                                                                                                                                                                                 |
| 2                                             | Kissick T+M NTE for Additional Fill                                                                                                                            | Owner                    | \$ 550,000   |           | Y   | JED released on 07.28                                                                                                                                                                                                                           |
|                                               | Ice Machines                                                                                                                                                   |                          | \$ 140,000   |           | Y   | Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associated power. Does not include BMS integration                                                          |
| 3                                             |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 4                                             | CERT Storage - CMU Partitions/Detention Doors                                                                                                                  | Owner                    | \$ 35,000    |           | Y   | Proceeding with changing in design, JED will follow-up with cost adjustments.                                                                                                                                                                   |
| 5                                             | Sallyport Options                                                                                                                                              | Owner                    | \$ 150,000   |           | Y   | Design has been modified for sallyports off the recreation yards.                                                                                                                                                                               |
| 6                                             | AES Boiler Premium                                                                                                                                             | Owner                    | \$ 37,442    |           | Y   |                                                                                                                                                                                                                                                 |
| 7                                             | AES Cooling Tower Premium                                                                                                                                      | Owner                    | \$ 31,943    |           | Y   |                                                                                                                                                                                                                                                 |
| 8                                             | Additional Office at Lobby                                                                                                                                     | Owner                    | \$ 50,000    |           | Y   | Approved on 11.15 per Dan W. Email                                                                                                                                                                                                              |

|    | Description                                                                                                    | Design/Owner Contingency | Amount         | Due Date   | Y/N | Comments                                                                                                                                                                                                                                                                                                                                                                                                 |
|----|----------------------------------------------------------------------------------------------------------------|--------------------------|----------------|------------|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9  | Courts Readjustments - SD and DD Phase                                                                         | Owner                    | \$ 40,000      |            | Y   | Approved on 11.15 per Dan W. Email                                                                                                                                                                                                                                                                                                                                                                       |
|    | Core Ready Mix - Prevailing Wage                                                                               | Owner                    | \$ 127,748     |            | N   | Removed on 03.21 per recent County correspondence and has been absorbed in the GMP.                                                                                                                                                                                                                                                                                                                      |
| 10 |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 11 | CP 2B/2C - Design Contingency Adjustment                                                                       | Owner                    | \$ (1,731,535) |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 13 | Lobby Atrium - Glass Hand Rail Options                                                                         | Owner                    | \$ 74,040      | 2.09.24    | Y   | AGP provided (2) options for increasing the glass railing height to 72". \$74,040 is most expensive option that involves a livers bronze mirage with glass railing system. Requires structural embeds.                                                                                                                                                                                                   |
| 14 | Infrared Heaters at Loading Dock                                                                               | Owner                    | \$ 79,998      | In Design  | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 15 | Snowmelt System Deduct (Transportation Yard)                                                                   | Owner                    | \$ (120,430)   | 2.09.24    | Y   | Need Mark One's pricing for power, currently providing a plug ROM estimate for the IR Heaters at the dock.                                                                                                                                                                                                                                                                                               |
| 16 | License Plate Readers and Added Cameras                                                                        | Owner                    | \$ 39,857      | In Design  | Y   | Costs for (3) license plate readers.                                                                                                                                                                                                                                                                                                                                                                     |
| 17 | Various Camera/SEC Adjustments: Video Viewing Stations in lieu of TSC Stations                                 | Owner                    | \$ 11,712      | In Design  | Y   | Cost to include video viewing stations at locations TSC stations moved.                                                                                                                                                                                                                                                                                                                                  |
| 18 | Every Primary Service - Option #2 (OH Option)                                                                  | Owner                    | \$ 122,700     | 2.16.24    | Y   | reference email on 02.08 for pricing breakdown                                                                                                                                                                                                                                                                                                                                                           |
| 19 | Concrete Batch Plant - Building - Prevailing Wage                                                              | Owner                    | \$ 800,000     | 04.09.2024 | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 20 | Admin Wall Height Screening                                                                                    | Owner                    | \$ 18,108      | In Design  | Y   | Raising Precast at front of Admin 3.5' to screen front equipment                                                                                                                                                                                                                                                                                                                                         |
| 21 | Added Sign for Detention Center                                                                                | Owner                    | \$ 16,374      | In Design  | Y   | Added 50 SF sign for Detention Center Building                                                                                                                                                                                                                                                                                                                                                           |
| 22 | Deduct for all Dayroom Carpets                                                                                 |                          | \$ (72,836)    |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 23 | Deduct all Carpet at stair treads, risers, and nosings from Officer Workstations                               |                          | \$ (10,206)    |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | Remaining Owner Contingency                                                                                    |                          | \$ 599,967     |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | General Construction Contingency Items                                                                         |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 1  | CP 2B/2C - General Contractor Contingency Adjustment                                                           |                          | \$ (1,216,047) |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 24 | Miscellaneous 95%/100% Adjustments - Master Clock Infrastructure                                               | Owner                    | \$ 148,559     | In Design  | Y   | Includes 142 additional CAT 6 Cables and                                                                                                                                                                                                                                                                                                                                                                 |
| 25 | Miscellaneous 95%/100% Adjustments - Printer/Floor Box Communications Cabling/Infrastructure from FFE Meetings | Owner - CP4              | \$ 633,332     | In Design  | Y   | Includes 556 additional CAT 6 Cables and associated jacks/patch panels along with added floor boxes in the multi-purpose/class room areas of the dayrooms and the 2nd level of the Admin building. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package. |
| 26 | Miscellaneous 95%/100% Adjustments - Added Floor Boxes in Multi-Purpose and Admin                              | Owner - CP4              | \$ 121,917     | In Design  | Y   | Added floor boxes for flexible FFE/Classroom Environments in Multi-purpose, classrooms, and training rooms. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package.                                                                                        |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | Remaining Construction Contingency                                                                             |                          | \$ 3,537,902   |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |

# Exhibit 3

## Exhibit A – Documents Incorporated by Reference

JACKSON COUNTY DETENTION CENTER FACILITY  
7000 E. US HIGHWAY 40  
KANSAS CITY, MISSOURI 64129

Project No. 22026200

Subcontractor/Supplier acknowledges that a .pdf copy of the Prime Contract and other documents listed below are available for review and copying through the Project Website established for this Project at the following path:  
Project-22026200-Jackson County Detention Center Replacement Jail – Shared Documents - Construction Documents – Contract Documents.

1. Prime Contract dated May 19, 2022, including any General and Supplementary Conditions, and all exhibits and amendments thereto. Contractor is referred to as Design/Builder in the Prime Contract.
2. Contractor's Front End Documents dated October 11th, 2023.
3. Project documents, prepared by DLR Group dated October 10, 2023, including specification sections, in addition to drawings prepared by DLR Group as follows:

| Sheet Number and Title                                                         | Date       | Drawing Set           |
|--------------------------------------------------------------------------------|------------|-----------------------|
| <b>Jackson County Detention Center</b>                                         |            |                       |
| G0.1 - Cover Sheet - Footing, Foundation, Building Under-Slab & Site Utilities | 03.25.2024 | Construction Drawings |
| G1 - Cover Seet - Volume 1 of 2                                                | 03.25.2024 | Construction Drawings |
| G1.1 - General Notes and Abbreviations                                         | 03.25.2024 | Construction Drawings |
| CP0.1 - Building Use Analysis                                                  | 03.25.2024 | Construction Drawings |
| CP0.2 - Occupancy Group Diagrams and Building Limitations                      | 03.25.2024 | Construction Drawings |
| CP0.3 – Engineered Smoke Control System Zone Diagrams                          | 03.25.2024 | Construction Drawings |
| CP0.4 – Code Separation Requirements                                           | 03.25.2024 | Construction Drawings |
| CP1.1.1 - Level 1 - Areas 1, 2, 5 & 6 - Code Plan                              | 03.25.2024 | Construction Drawings |
| CP1.1.2 - Level 1 - Areas 3, 4, 7, 8, 11 & 12 - Code Plan                      | 03.25.2024 | Construction Drawings |
| CP 1.1.3 - Level 1 - Areas 9, 10, 13, 14 & 15 - Code Plan                      | 03.25.2024 | Construction Drawings |
| CP1.1T.1 - Level 1 Upper Tier - Areas 1, 2, 5 & 6 - Code Plan                  | 03.25.2024 | Construction Drawings |
| CP1.1T.2 - Level 1 Upper Tier - Areas 3, 4, 7, 8, 11 & 12 - Code Plan          | 03.25.2024 | Construction Drawings |
| CP1.1T.3 - Level 1 Upper Tier - Areas 9, 10, 13, 14 & 15 - Code Plan           | 03.25.2024 | Construction Drawings |
| CP1.2.1 - Level 2 - Areas 2 & 3 - Code Plan                                    | 03.25.2024 | Construction Drawings |
| CP2.2 – Fireproofing Requirements                                              | 03.25.2024 | Construction Drawings |
| CD1.01 Overall Site Demolition Plan                                            | 03.25.2024 | Construction Drawings |
| CD1.02 Enlarged Site Demolition Plan 1                                         | 03.25.2024 | Construction Drawings |
| CD1.03 Enlarged Site Demolition Plan 2                                         | 03.25.2024 | Construction Drawings |
| CD1.04 Enlarged Site Demolition Plan 3                                         | 03.25.2024 | Construction Drawings |
| CD1.05 Enlarged Site Demolition Plan 4                                         | 03.25.2024 | Construction Drawings |
| CD1.06 Enlarged Site Demolition Plan 5                                         | 03.25.2024 | Construction Drawings |
| CD1.07 Enlarged Site Demolition Plan 6                                         | 03.25.2024 | Construction Drawings |
| CD1.08 Enlarged Site Demolition Plan 7                                         | 03.25.2024 | Construction Drawings |
| CD1.09 Enlarged Site Demolition Plan 8                                         | 03.25.2024 | Construction Drawings |

|                                            |            |                       |
|--------------------------------------------|------------|-----------------------|
| CD1.10 Enlarged Site Demolition Plan 9     | 03.25.2024 | Construction Drawings |
| CD1.11 Enlarged Site Demolition Plan 10    | 03.25.2024 | Construction Drawings |
| CD1.12 Enlarged Site Demolition Plan 11    | 03.25.2024 | Construction Drawings |
| CD1.13 Enlarged Site Demolition Plan 12    | 03.25.2024 | Construction Drawings |
| C1.01 Overall Site Layout Plan             | 03.25.2024 | Construction Drawings |
| C1.02 Enlarged Site Layout Plan 1          | 03.25.2024 | Construction Drawings |
| C1.03 Enlarged Site Layout Plan 2          | 03.25.2024 | Construction Drawings |
| C1.04 Enlarged Site Layout Plan 3          | 03.25.2024 | Construction Drawings |
| C1.05 Enlarged Site Layout Plan 4          | 03.25.2024 | Construction Drawings |
| C1.06 Enlarged Site Layout Plan 5          | 03.25.2024 | Construction Drawings |
| C1.07 Enlarged Site Layout Plan 6          | 03.25.2024 | Construction Drawings |
| C1.08 Enlarged Site Layout Plan 7          | 03.25.2024 | Construction Drawings |
| C1.09 Enlarged Site Layout Plan 8          | 03.25.2024 | Construction Drawings |
| C1.10 Enlarged Site Layout Plan 9          | 03.25.2024 | Construction Drawings |
| C1.11 Enlarged Site Layout Plan 10         | 03.25.2024 | Construction Drawings |
| C1.12 Overall Site Coordinate Line Tables  | 03.25.2024 | Construction Drawings |
| C1.13 Overall Site Coordinate Curve Tables | 03.25.2024 | Construction Drawings |
| C2.01 Overall Site Grading Plan            | 03.25.2024 | Construction Drawings |
| C2.02 Enlarged Site Grading Plan 1         | 03.25.2024 | Construction Drawings |
| C2.03 Enlarged Site Grading Plan 2         | 03.25.2024 | Construction Drawings |
| C2.04 Enlarged Site Grading Plan 3         | 03.25.2024 | Construction Drawings |
| C2.05 Enlarged Site Grading Plan 4         | 03.25.2024 | Construction Drawings |
| C2.06 Enlarged Site Grading Plan 5         | 03.25.2024 | Construction Drawings |
| C2.07 Enlarged Site Grading Plan 6         | 03.25.2024 | Construction Drawings |
| C2.08 Enlarged Site Grading Plan 7         | 03.25.2024 | Construction Drawings |
| C2.09 Enlarged Site Grading Plan 8         | 03.25.2024 | Construction Drawings |
| C2.10 Enlarged Site Grading Plan 9         | 03.25.2024 | Construction Drawings |
| C2.11 Enlarged Site Grading Plan 10        | 03.25.2024 | Construction Drawings |
| C4.01 Overall Site Utility Plan            | 03.25.2024 | Construction Drawings |
| C4.02 Enlarged Site Utility Plan 1         | 03.25.2024 | Construction Drawings |
| C4.03 Enlarged Site Utility Plan 2         | 03.25.2024 | Construction Drawings |
| C4.04 Enlarged Site Utility Plan 3         | 03.25.2024 | Construction Drawings |
| C4.05 Enlarged Site Utility Plan 4         | 03.25.2024 | Construction Drawings |
| C4.06 Enlarged Site Utility Plan 5         | 03.25.2024 | Construction Drawings |
| C4.07 Enlarged Site Utility Plan 6         | 03.25.2024 | Construction Drawings |
| C4.08 Enlarged Site Utility Plan 7         | 03.25.2024 | Construction Drawings |
| C4.09 Enlarged Site Utility Plan 8         | 03.25.2024 | Construction Drawings |
| C4.10 Enlarged Site Utility Plan 9         | 03.25.2024 | Construction Drawings |
| C4.11 Enlarged Site Utility Plan 10        | 03.25.2024 | Construction Drawings |
| C4.21 Site Drainage Plan                   | 03.25.2024 | Construction Drawings |
| C4.23 Private Storm Sewer Profile 1        | 03.25.2024 | Construction Drawings |
| C4.24 Private Storm Sewer Profile 2        | 03.25.2024 | Construction Drawings |
| C4.25 Private Storm Sewer Profile 3        | 03.25.2024 | Construction Drawings |

|                                                       |            |                       |
|-------------------------------------------------------|------------|-----------------------|
| C4.26 Private Storm Sewer Profile 4                   | 03.25.2024 | Construction Drawings |
| C4.31 Private Sanitary Sewer Profiles                 | 03.25.2024 | Construction Drawings |
| C4.41 Private Water Line Profiles 1                   | 03.25.2024 | Construction Drawings |
| C4.42 Private Water Line Profiles 2                   | 03.25.2024 | Construction Drawings |
| C4.43 Private Water Line Profiles 3                   | 03.25.2024 | Construction Drawings |
| C5.02 Miscellaneous Details                           | 03.25.2024 | Construction Drawings |
| C5.03 Miscellaneous Details                           | 03.25.2024 | Construction Drawings |
| C5.04 Miscellaneous Details                           | 03.25.2024 | Construction Drawings |
| C6.01 - PUBLIC IMPROVEMENT COVER SHEET                | 03.25.2024 | Construction Drawings |
| C6.02 - ROADWAY GEOMETRIC AND SURVEY CONTROL PLAN     | 03.25.2024 | Construction Drawings |
| C6.03 - ROADWAY TYPICAL SECTIONS AND GENERAL NOTES    | 03.25.2024 | Construction Drawings |
| C6.04 - ROADWAY PLAN & PROFILE 1                      | 03.25.2024 | Construction Drawings |
| C6.05 - ROADWAY PLAN & PROFILE 2                      | 03.25.2024 | Construction Drawings |
| C6.06 - ROADWAY GRADING PLAN 1                        | 03.25.2024 | Construction Drawings |
| C6.07 - ROADWAY GRADING PLAN 2                        | 03.25.2024 | Construction Drawings |
| C6.08 - INTERSECTION PLAN AND DETAILS                 | 03.25.2024 | Construction Drawings |
| C6.09 - PUBLIC STORM SEWER PLAN & PROFILE 1           | 03.25.2024 | Construction Drawings |
| C6.10 - PUBLIC STORM SEWER PLAN & PROFILE 2           | 03.25.2024 | Construction Drawings |
| C6.11 - ROADWAY SIGN AND PAVEMENT MARKING PLAN        | 03.25.2024 | Construction Drawings |
| C6.12 - MISCELLANEOUS DETAILS                         | 03.25.2024 | Construction Drawings |
| C6.13 - TRAFFIC CONTROL PLAN                          | 03.25.2024 | Construction Drawings |
| C6.14 - ROADWAY TYPICAL SECTIONS 1                    | 03.25.2024 | Construction Drawings |
| C6.15 - ROADWAY TYPICAL SECTIONS 2                    | 03.25.2024 | Construction Drawings |
| C6.16 - ROADWAY TYPICAL SECTIONS 3                    | 03.25.2024 | Construction Drawings |
| C6.17 - ROADWAY TYPICAL SECTIONS 4                    | 03.25.2024 | Construction Drawings |
| C-100 - Erosion Control Cover                         | 03.25.2024 | Construction Drawings |
| C-101 - Overall Site Erosion Control Plan             | 03.25.2024 | Construction Drawings |
| C-102 - Erosion Control Notes                         | 03.25.2024 | Construction Drawings |
| C-103 - Enlarged Site Erosion Control - Phase 1-Plan1 | 03.25.2024 | Construction Drawings |
| C-104 - Enlarged Site Erosion Control - Phase 1-Plan2 | 03.25.2024 | Construction Drawings |
| C-105 - Enlarged Site Erosion Control - Phase 1-Plan3 | 03.25.2024 | Construction Drawings |
| C-106 - Detention Basin and Details                   | 03.25.2024 | Construction Drawings |
| C-107 - Enlarged Site Erosion Control - Phase 2-Plan1 | 03.25.2024 | Construction Drawings |
| C-108 - Enlarged Site Erosion Control - Phase 2-Plan2 | 03.25.2024 | Construction Drawings |
| C-109 - Enlarged Site Erosion Control - Phase 2-Plan3 | 03.25.2024 | Construction Drawings |
| C-110 - Enlarged Site Erosion Control - Phase 3-Plan1 | 03.25.2024 | Construction Drawings |
| C-111 - Enlarged Site Erosion Control - Phase 3-Plan2 | 03.25.2024 | Construction Drawings |
| C-112 - Enlarged Site Erosion Control - Phase 3-Plan3 | 03.25.2024 | Construction Drawings |
| C-200 - Overall Site Grading Plan                     | 03.25.2024 | Construction Drawings |
| C-201 - Enlarged Site Grading Plan 1                  | 03.25.2024 | Construction Drawings |
| C-202 - Enlarged Site Grading Plan 2                  | 03.25.2024 | Construction Drawings |
| C-400 - Sanitary Sewer Cover Sheet                    | 03.25.2024 | Construction Drawings |
| C-401-General Notes                                   | 03.25.2024 | Construction Drawings |



|                                                                                          |            |                       |
|------------------------------------------------------------------------------------------|------------|-----------------------|
| C-402 Sanitary Sewer Overall Site Plan                                                   | 03.25.2024 | Construction Drawings |
| C-403-San-Plan Profile Line-1                                                            | 03.25.2024 | Construction Drawings |
| C-404-San-Plan Profile Line-1                                                            | 03.25.2024 | Construction Drawings |
| C-405-San-Plan Profile Line-1                                                            | 03.25.2024 | Construction Drawings |
| CWW - 01 Cover Sheet                                                                     | 03.25.2024 | Construction Drawings |
| CWW - 02 - General Notes and Legend                                                      | 03.25.2024 | Construction Drawings |
| CWW - 03 - Survey Control Sheet                                                          | 03.25.2024 | Construction Drawings |
| CWW - 04 - Water Overall Site Plan                                                       | 03.25.2024 | Construction Drawings |
| CWW - 05 - Line-1 Water Plan Profile Line-1                                              | 03.25.2024 | Construction Drawings |
| CWW - 06 - Line-2 Water Plan Profile Line-2                                              | 03.25.2024 | Construction Drawings |
| CWW - 07 - Line-2 Water Plan Profile-Line-2                                              | 03.25.2024 | Construction Drawings |
| CWW - 08 - Line-2 Water Plan Profile-Line-2                                              | 03.25.2024 | Construction Drawings |
| L-100 – Landscape Plan                                                                   | 03.25.2024 | Construction Drawings |
| L-101 – Enlarged Landscape Plan 1                                                        | 03.25.2024 | Construction Drawings |
| L-102 – Enlarged Landscape Plan 2                                                        | 03.25.2024 | Construction Drawings |
| L-103 – Enlarged Landscape Plan 3                                                        | 03.25.2024 | Construction Drawings |
| L-104 – Landscape Plant Schedule and Details                                             | 03.25.2024 | Construction Drawings |
| L-200 – Site Schematic Irrigation Plan                                                   | 03.25.2024 | Construction Drawings |
| L-201 – Enlarged Site Irrigation Plan 1                                                  | 03.25.2024 | Construction Drawings |
| L-202 – Enlarged Site Irrigation Plan 2                                                  | 03.25.2024 | Construction Drawings |
| L6.00 - Overall Landscape Plan                                                           | 03.25.2024 | Construction Drawings |
| L6.01 - Enlarged Landscape Plan 1                                                        | 03.25.2024 | Construction Drawings |
| L6.02 - Enlarged Landscape Plan 2                                                        | 03.25.2024 | Construction Drawings |
| SP1.1.1 - Level 1 - Areas 1, 2, 5 & 6 - Architectural Security Plan                      | 03.25.2024 | Construction Drawings |
| SP1.1.2 - Level 1 - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan              | 03.25.2024 | Construction Drawings |
| SP1.1.3 - Level 1 - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan               | 03.25.2024 | Construction Drawings |
| SP1.1T.1 - Level 1 Upper Tier - Areas 1, 2, 5 & 6 - Architectural Security Plan          | 03.25.2024 | Construction Drawings |
| SP1.1T.2 - Level 1 Upper Tier - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan  | 03.25.2024 | Construction Drawings |
| SP1.1T.3 - Level 1 Upper Tier - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan   | 03.25.2024 | Construction Drawings |
| SP1.2.1 - Level 2 & Clerestory - Areas 2, 5 & 6 - Architectural Security Plan            | 03.25.2024 | Construction Drawings |
| SP1.2.2 - Level 2 & Clerestory - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan | 03.25.2024 | Construction Drawings |
| SP1.2.3 - Clerestory - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan            | 03.25.2024 | Construction Drawings |
| SP2.1 - Security Separation Details                                                      | 03.25.2024 | Construction Drawings |
| AS1.1 - Architectural Site Plan                                                          | 03.25.2024 | Construction Drawings |
| AS2.1 - High Security Chain Link Fence Types and Details                                 | 03.25.2024 | Construction Drawings |
| AS2.2 - High Security Chain Link Fence Vehicle Slide Gate Details                        | 03.25.2024 | Construction Drawings |
| A0.0 - Architectural Notes, Symbols & Abbreviations                                      | 03.25.2024 | Construction Drawings |
| A0.1 - Level 1 - Orientation Plan                                                        | 03.25.2024 | Construction Drawings |
| A0.1.1 - Level 1 - Area 1 - Dimensioning Plan                                            | 03.25.2024 | Construction Drawings |
| A0.1.2 - Level 1 - Area 2 - Dimensioning Plan                                            | 03.25.2024 | Construction Drawings |
| A0.1.3 - Level 1 - Area 3 - Dimensioning Plan                                            | 03.25.2024 | Construction Drawings |
| A0.1.4 - Level 1 - Area 4 - Dimensioning Plan                                            | 03.25.2024 | Construction Drawings |
| A0.1.5 - Level 1 - Area 5 - Dimensioning Plan                                            | 03.25.2024 | Construction Drawings |

|                                                             |            |                       |
|-------------------------------------------------------------|------------|-----------------------|
| A0.1.6 - Level 1 - Area 6 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A0.1.7 - Level 1 - Area 7 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A0.1.8 - Level 1 - Area 8 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A0.1.9 - Level 1 - Area 9 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A0.1.10 - Level 1 - Area 10 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1.11 - Level 1 - Area 11 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1.12 - Level 1 - Area 11 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1.13 - Level 1 - Area 13 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1.14 - Level 1 - Area 14 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1.15 - Level 1 - Area 15 - Dimensioning Plan             | 03.25.2024 | Construction Drawings |
| A0.1T - Level 1 Upper Tier - Orientation Plan               | 03.25.2024 | Construction Drawings |
| A0.1T.5 - Level 1 Upper Tier - Area 5 - Dimensioning Plan   | 03.25.2024 | Construction Drawings |
| A0.1T.7 - Level 1 Upper Tier - Area 7 - Dimensioning Plan   | 03.25.2024 | Construction Drawings |
| A0.1T.8 - Level 1 Upper Tier - Area 8 - Dimensioning Plan   | 03.25.2024 | Construction Drawings |
| A0.1T.11 - Level 1 Upper Tier - Area 11 - Dimensioning Plan | 03.25.2024 | Construction Drawings |
| A0.1T.12 - Level 1 Upper Tier - Area 12 - Dimensioning Plan | 03.25.2024 | Construction Drawings |
| A0.1T.14 - Level 1 Upper Tier - Area 14 - Dimensioning Plan | 03.25.2024 | Construction Drawings |
| A0.1T.15 - Level 1 Upper Tier - Area 15 - Dimensioning Plan | 03.25.2024 | Construction Drawings |
| A0.2 - Level 2 & Clerestory - Orientation Plan              | 03.25.2024 | Construction Drawings |
| A0.2.2 - Level 2 - Area 2 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A0.2.3 - Level 2 - Area 3 - Dimensioning Plan               | 03.25.2024 | Construction Drawings |
| A1.1.1 - Level 1 - Area 1 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.2 - Level 1 - Area 2 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.3 - Level 1 - Area 3 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.4 - Level 1 - Area 4 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.5 - Level 1 - Area 5 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.6 - Level 1 - Area 6 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.7 - Level 1 - Area 7 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.8 - Level 1 - Area 8 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.9 - Level 1 - Area 9 - Floor Plan                      | 03.25.2024 | Construction Drawings |
| A1.1.10 - Level 1 - Area 10 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1.11 - Level 1 - Area 11 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1.12 - Level 1 - Area 12 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1.13 - Level 1 - Area 13 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1.14 - Level 1 - Area 14 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1.15 - Level 1 - Area 15 - Floor Plan                    | 03.25.2024 | Construction Drawings |
| A1.1T.5 - Level 1 Upper Tier - Area 5 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.1T.7 - Level 1 Upper Tier - Area 7 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.1T.8 - Level 1 Upper Tier - Area 8 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.1T.11 - Level 1 Upper Tier - Area 11 - Floor Plan        | 03.25.2024 | Construction Drawings |
| A1.1T.12 - Level 1 Upper Tier - Area 12 - Floor Plan        | 03.25.2024 | Construction Drawings |
| A1.1T.14 - Level 1 Upper Tier - Area 14 - Floor Plan        | 03.25.2024 | Construction Drawings |
| A1.1T.15 - Level 1 Upper Tier - Area 15 - Floor Plan        | 03.25.2024 | Construction Drawings |

|                                                      |            |                       |
|------------------------------------------------------|------------|-----------------------|
| A1.2.2 - Level 2 - Area 2 - Floor Plan               | 03.25.2024 | Construction Drawings |
| A1.2.3 - Level 2 - Area 3 - Floor Plan               | 03.25.2024 | Construction Drawings |
| A1.2.5 - Clerestory - Area 5 - Floor Plan            | 03.25.2024 | Construction Drawings |
| A1.2.7 - Clerestory - Area 7 - Floor Plan            | 03.25.2024 | Construction Drawings |
| A1.2.8 - Clerestory - Area 8 - Floor Plan            | 03.25.2024 | Construction Drawings |
| A1.2.9 - Clerestory - Area 9 - Floor Plan            | 03.25.2024 | Construction Drawings |
| A1.2.11 - Clerestory - Area 11 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.2.12 - Clerestory - Area 12 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.2.13 - Clerestory - Area 13 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.2.14 - Clerestory - Area 14 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.2.15 - Clerestory - Area 15 - Floor Plan          | 03.25.2024 | Construction Drawings |
| A1.4 - Roof - Overall Plan                           | 03.25.2024 | Construction Drawings |
| A1.5 - Roof - Entry Canopy Enlarged Plan             | 03.25.2024 | Construction Drawings |
| A2.1 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.2 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.3 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.4 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.5 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.6 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.7 - Enlarged Floor Plans                          | 03.25.2024 | Construction Drawings |
| A2.10 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.11 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.12 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.13 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.14 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.15 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.16 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.17 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.18 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.19 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A2.20 - Enlarged Floor Plans                         | 03.25.2024 | Construction Drawings |
| A3.1.1 - Level 1 - Area 1 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.2 - Level 1 - Area 2 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.3 - Level 1 - Area 3 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.4 - Level 1 - Area 4 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.5 - Level 1 - Area 5 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.6 - Level 1 - Area 6 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.7 - Level 1 - Area 7 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.8 - Level 1 - Area 8 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.9 - Level 1 - Area 9 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1.10 - Level 1 - Area 10 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.1.11 - Level 1 - Area 11 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.1.12 - Level 1 - Area 12 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |

|                                                                  |            |                       |
|------------------------------------------------------------------|------------|-----------------------|
| A3.1.13 - Level 1 - Area 13 - Reflected Ceiling Plan             | 03.25.2024 | Construction Drawings |
| A3.1.14 - Level 1 - Area 14 - Reflected Ceiling Plan             | 03.25.2024 | Construction Drawings |
| A3.1.15 - Level 1 - Area 15 - Reflected Ceiling Plan             | 03.25.2024 | Construction Drawings |
| A3.1T.5 - Level 1 Upper Tier - Area 5 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1T.7 - Level 1 Upper Tier - Area 7 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1T.8 - Level 1 Upper Tier - Area 8 - Reflected Ceiling Plan   | 03.25.2024 | Construction Drawings |
| A3.1T.11 - Level 1 Upper Tier - Area 11 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.1T.12 - Level 1 Upper Tier - Area 12 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.1T.14 - Level 1 Upper Tier - Area 14 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.1T.15 - Level 1 Upper Tier - Area 15 - Reflected Ceiling Plan | 03.25.2024 | Construction Drawings |
| A3.2.2 - Level 2 - Area 2 - Reflected Ceiling Plan               | 03.25.2024 | Construction Drawings |
| A3.2.3 - Level 2 - Area 3 - Reflected Ceiling Plan               | 03.25.2024 | Construction Drawings |
| A4.0 - Overall Building - Exterior Elevations                    | 03.25.2024 | Construction Drawings |
| A4.1 - Exterior Elevations - Front Building                      | 03.25.2024 | Construction Drawings |
| A4.2 - Exterior Elevations - Front Building                      | 03.25.2024 | Construction Drawings |
| A4.3 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.4 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.5 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.6 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.7 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.8 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.9 - Exterior Elevations                                       | 03.25.2024 | Construction Drawings |
| A4.10 - Exterior Elevations                                      | 03.25.2024 | Construction Drawings |
| A4.11 - Exterior Elevations                                      | 03.25.2024 | Construction Drawings |
| A4.12 - Exterior Elevations                                      | 03.25.2024 | Construction Drawings |
| A5.1 - Building Sections                                         | 03.25.2024 | Construction Drawings |
| A5.2 - Building Sections                                         | 03.25.2024 | Construction Drawings |
| A5.3 - Building Sections                                         | 03.25.2024 | Construction Drawings |
| A5.4 - Building Sections                                         | 03.25.2024 | Construction Drawings |
| A6.1 - Exterior Wall Sections                                    | 03.25.2024 | Construction Drawings |
| A6.2 - Exterior Wall Sections                                    | 03.25.2024 | Construction Drawings |
| A6.10 - Exterior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.11 - Exterior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.12 - Exterior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.13 - Exterior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.14 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.15 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.16 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.17 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.18 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.19 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.20 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |
| A6.21 - Interior Wall Sections                                   | 03.25.2024 | Construction Drawings |

|                                                                               |            |                       |
|-------------------------------------------------------------------------------|------------|-----------------------|
| A6.22 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.23 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.24 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.25 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.26 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.27 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.28 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.29 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.30 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.31 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.32 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.33 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.34 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A6.35 - Interior Wall Sections                                                | 03.25.2024 | Construction Drawings |
| A7.1 - Stair 1 & 4 Enlarged Plans and Sections                                | 03.25.2024 | Construction Drawings |
| A7.2 - Stair 2& 3 Enlarged Plans and Sections                                 | 03.25.2024 | Construction Drawings |
| A7.3 - Elevator 1 & 2 Enlarged Plans and Sections                             | 03.25.2024 | Construction Drawings |
| A7.4 Elevator 3 Enlarged Plans and Sections                                   | 03.25.2024 | Construction Drawings |
| A7.5 - Stair and Railing Details                                              | 03.25.2024 | Construction Drawings |
| A7.6 - Miscellaneous Stair, Ramp and Raised Floor Sections and Details        | 03.25.2024 | Construction Drawings |
| A7.7 - Roof Access Stair Plans, Sections and Details                          | 03.25.2024 | Construction Drawings |
| A7.10 - Dayroom Stair Plans, Sections and Details                             | 03.25.2024 | Construction Drawings |
| A7.11 - Dayroom Stair Plans, Sections and Details                             | 03.25.2024 | Construction Drawings |
| A8.1 - Wall Types                                                             | 03.25.2024 | Construction Drawings |
| A8.10 - Commercial Door & Frame Schedules - Front Building                    | 03.25.2024 | Construction Drawings |
| A8.11 - Commercial Door & Frame Schedules - Main Building                     | 03.25.2024 | Construction Drawings |
| A8.12 - Commercial Door & Frame Schedules - Housing Areas A & B               | 03.25.2024 | Construction Drawings |
| A8.13 - Commercial Door & Frame Schedules - Housing Areas E, F, G & J         | 03.25.2024 | Construction Drawings |
| A8.14 - Commercial Door - Frame Types and Commercial Interior Window Schedule | 03.25.2024 | Construction Drawings |
| A8.20 - Curtainwall and Storefront Elevations                                 | 03.25.2024 | Construction Drawings |
| A8.30 - Commercial Door & Frame Details - Exterior Precast Walls              | 03.25.2024 | Construction Drawings |
| A8.31 - Commercial Door & Frame Details - Interior                            | 03.25.2024 | Construction Drawings |
| A8.32 - Commercial Door & Frame Details - Interior Aluminum Storefront        | 03.25.2024 | Construction Drawings |
| A8.50 - Detention Door & Frame Schedules                                      | 03.25.2024 | Construction Drawings |
| A8.51 - Detention Door & Frame Schedules - Housing Areas A & B                | 03.25.2024 | Construction Drawings |
| A8.52 - Detention Door & Frame Schedules - Housing Areas E & F                | 03.25.2024 | Construction Drawings |
| A8.53 - Detention Door & Frame Schedules - Housing Areas G & J                | 03.25.2024 | Construction Drawings |
| A8.60 - Detention Door & Frame Types                                          | 03.25.2024 | Construction Drawings |
| A8.61 - General Detention Hollow Metal Door & Frame Details                   | 03.25.2024 | Construction Drawings |
| A8.62 - Detention Door and Frame Details - Exterior Precast Walls             | 03.25.2024 | Construction Drawings |
| A8.63 - Detention Door and Frame Interior Details                             | 03.25.2024 | Construction Drawings |
| A9.0 - Monument Sign and Exterior Mock Up                                     | 03.25.2024 | Construction Drawings |
| A9.1 - General Roof Details                                                   | 03.25.2024 | Construction Drawings |



|                                                         |            |                       |
|---------------------------------------------------------|------------|-----------------------|
| A9.2 - Concrete Roof Details                            | 03.25.2024 | Construction Drawings |
| A9.10 - Exterior Details                                | 03.25.2024 | Construction Drawings |
| A9.11 - Exterior Details                                | 03.25.2024 | Construction Drawings |
| A9.12 - Exterior Details                                | 03.25.2024 | Construction Drawings |
| A9.13 - Exterior Details                                | 03.25.2024 | Construction Drawings |
| A10.1- Interior Elevations - Precast Modules            | 03.25.2024 | Construction Drawings |
| A10.2 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.3 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.4 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.5 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.6 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.7 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.8 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.9 - Interior Elevations - Precast Modules           | 03.25.2024 | Construction Drawings |
| A10.10 - Interior Elevations - Precast Modules          | 03.25.2024 | Construction Drawings |
| A10.20 - Interior Millwork Elevations                   | 03.25.2024 | Construction Drawings |
| A10.21 - Interior Millwork Elevations                   | 03.25.2024 | Construction Drawings |
| A10.22 - Interior Millwork Elevations                   | 03.25.2024 | Construction Drawings |
| A10.23 - Interior Millwork Elevations                   | 03.25.2024 | Construction Drawings |
| A10.24 - Millwork Details                               | 03.25.2024 | Construction Drawings |
| A10.25 - Security Screening Desk Plans and Elevations   | 03.25.2024 | Construction Drawings |
| A10.26 - Security Screening Desk Details                | 03.25.2024 | Construction Drawings |
| A11.0 - Wall Types                                      | 03.25.2024 | Construction Drawings |
| A11.1 - General Building Details                        | 03.25.2024 | Construction Drawings |
| A11.2 - General Building Details                        | 03.25.2024 | Construction Drawings |
| A11.3 - General Building Details                        | 03.25.2024 | Construction Drawings |
| A11.4 - General Building Details - Wire Mesh Partitions | 03.25.2024 | Construction Drawings |
| A11.20 - Interior Details                               | 03.25.2024 | Construction Drawings |
| A11.21 - Interior Details                               | 03.25.2024 | Construction Drawings |
| A11.22 - Interior Details                               | 03.25.2024 | Construction Drawings |
| A11.23 - Interior Details                               | 03.25.2024 | Construction Drawings |
| A11.31 - Ceiling Details                                | 03.25.2024 | Construction Drawings |
| A11.32 - Ceiling Details                                | 03.25.2024 | Construction Drawings |
| A12.01 - Finish Schedules and Details                   | 03.25.2024 | Construction Drawings |
| A12.1.1 - Level 1 - Area 1 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.2 - Level 1 - Area 2 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.3 - Level 1 - Area 3 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.4 - Level 1 - Area 4 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.5 - Level 1 - Area 5 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.6 - Level 1 - Area 6 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.7 - Level 1 - Area 7 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.8 - Level 1 - Area 8 - Finish Plan                | 03.25.2024 | Construction Drawings |
| A12.1.9 - Level 1 - Area 9 - Finish Plan                | 03.25.2024 | Construction Drawings |

|                                                             |            |                       |
|-------------------------------------------------------------|------------|-----------------------|
| A12.1.10 - Level 1 - Area 10 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1.11 - Level 1 - Area 11 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1.12 - Level 1 - Area 12 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1.13 - Level 1 - Area 13 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1.14 - Level 1 - Area 14 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1.15 - Level 1 - Area 15 - Finish Plan                  | 03.25.2024 | Construction Drawings |
| A12.1T.5 - Level 1 Upper Tier - Area 5 - Finish Plan        | 03.25.2024 | Construction Drawings |
| A12.1T.7 - Level 1 Upper Tier - Area 7 - Finish Plan        | 03.25.2024 | Construction Drawings |
| A12.1T.8 - Level 1 Upper Tier - Area 8 - Finish Plan        | 03.25.2024 | Construction Drawings |
| A12.1T.11 - Level 1 Upper Tier - Area 11 - Finish Plan      | 03.25.2024 | Construction Drawings |
| A12.1T.12 - Level 1 Upper Tier - Area 12 - Finish Plan      | 03.25.2024 | Construction Drawings |
| A12.1T.14 - Level 1 Upper Tier - Area 14 - Finish Plan      | 03.25.2024 | Construction Drawings |
| A12.1T.15 - Level 1 Upper Tier - Area 15 - Finish Plan      | 03.25.2024 | Construction Drawings |
| A12.2.2 - Level 2 - Area 2 - Finish Plan                    | 03.25.2024 | Construction Drawings |
| A12.2.3 - Level 2 - Area 3 - Finish Plan                    | 03.25.2024 | Construction Drawings |
| A12.11 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.12 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.13 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.14 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.16 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.17 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.18 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.20 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.21 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.22 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.23 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.24 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.25 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.26 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A12.27 - Interior Elevations                                | 03.25.2024 | Construction Drawings |
| A15.1 - Enlarged Floor Plan - Courtrooms Area Level 2       | 03.25.2024 | Construction Drawings |
| A15.2 - Courtroom Interior Elevations                       | 03.25.2024 | Construction Drawings |
| A15.3 - Courtroom Interior Elevations                       | 03.25.2024 | Construction Drawings |
| A15.4 - Courtroom Sections and Details                      | 03.25.2024 | Construction Drawings |
| A15.5 - Courtroom Sections and Details                      | 03.25.2024 | Construction Drawings |
| A15.6 - Courtroom Area Wall Panel Details                   | 03.25.2024 | Construction Drawings |
| A15.7 - Courtroom Area Plan and Door Frame Details          | 03.25.2024 | Construction Drawings |
| FS1.1 - Level 1 - Food Service Equipment Plan               | 03.25.2024 | Construction Drawings |
| FS1.1S - Level 1 - Food Service Equipment Schedule          | 03.25.2024 | Construction Drawings |
| FS1.1U - Level 1 - Food Service Equipment Under Slab Plan   | 03.25.2024 | Construction Drawings |
| FS1.2 - Level 1 - Food Service Plumbing Plan                | 03.25.2024 | Construction Drawings |
| FS1.2S - Level 1 - Food Service Plumbing Schedule and Notes | 03.25.2024 | Construction Drawings |
| FS1.3 - Level 1 - Food Service Mechanical - Depression Plan | 03.25.2024 | Construction Drawings |

|                                                                           |            |                       |
|---------------------------------------------------------------------------|------------|-----------------------|
| FS1.4 - Level 1 - Food Service Electrical and Refrigeration Plan          | 03.25.2024 | Construction Drawings |
| FS1.4S - Level 1 - Food Service Electrical Schedule                       | 03.25.2024 | Construction Drawings |
| FS2.1 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.2- Level 1 - Food Service Canopy Hood Details                         | 03.25.2024 | Construction Drawings |
| FS2.3- Level 1 - Food Service Canopy Hood Details                         | 03.25.2024 | Construction Drawings |
| FS2.4- Level 1 - Food Service Canopy Hood Details                         | 03.25.2024 | Construction Drawings |
| FS2.5 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.6 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.7 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.8 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.9 - Level 1 - Food Service Canopy Hood Details                        | 03.25.2024 | Construction Drawings |
| FS2.10 - Level 1 - Food Service Canopy Hood Details                       | 03.25.2024 | Construction Drawings |
| FS2.11 - Level 1 - Food Service Canopy Hood Details                       | 03.25.2024 | Construction Drawings |
| FS2.12 - Level 1 - Food Service UDS Details                               | 03.25.2024 | Construction Drawings |
| FS3.1 - Level 1 - Food Service Walk-In Details                            | 03.25.2024 | Construction Drawings |
| FS3.2 - Level 1 - Food Service Refrigeration Details                      | 03.25.2024 | Construction Drawings |
| FS3.3 - Level 1 - Food Service Warewashing Details                        | 03.25.2024 | Construction Drawings |
| FS3.3A - Level 1 - Food Service Soiled Dishtable Details                  | 03.25.2024 | Construction Drawings |
| FS3.4 - Level 1 - Food Service Staff Serving Counter Details              | 03.25.2024 | Construction Drawings |
| FS4.1 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.2 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.3 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.4 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.5 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.6 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| FS4.7 - Level 1 - Area A - Food Service Elevation and Fabrication Details | 03.25.2024 | Construction Drawings |
| S0.1 - General Structural Notes                                           | 03.25.2024 | Construction Drawings |
| S0.2 - General Structural Notes & Special Inspections                     | 03.25.2024 | Construction Drawings |
| S0.3 - Grid Geometry Plan                                                 | 03.25.2024 | Construction Drawings |
| S0.4 - Snow Drift Plan                                                    | 03.25.2024 | Construction Drawings |
| S0.5 - Structural Expansion Joint Plan                                    | 03.25.2024 | Construction Drawings |
| S0.6 - Structural Loading Plan                                            | 03.25.2024 | Construction Drawings |
| S0.7 - Structural Loading Plan                                            | 03.25.2024 | Construction Drawings |
| S1.1.1 - Level 1 - Area 1 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.2 - Level 1 - Area 2 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.3 - Level 1 - Area 3 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.4 - Level 1 - Area 4 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.5 - Level 1 - Area 5 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.6 - Level 1 - Area 6 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.7 - Level 1 - Area 7 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.8 - Level 1 - Area 8 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.9 - Level 1 - Area 9 - Foundation Plan                               | 03.25.2024 | Construction Drawings |
| S1.1.10 - Level 1 - Area 10 - Foundation Plan                             | 03.25.2024 | Construction Drawings |

|                                                        |            |                       |
|--------------------------------------------------------|------------|-----------------------|
| S1.1.11 - Level 1 - Area 11 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S1.1.12 - Level 1 - Area 12 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S1.1.13 - Level 1 - Area 13 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S1.1.14 - Level 1 - Area 14 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S1.1.15 - Level 1 - Area 15 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S1.1.16 - Level 1 - Area 16 - Foundation Plan          | 03.25.2024 | Construction Drawings |
| S2.1T.5 - Level 1 Upper Tier - Area 5 - Framing Plan   | 03.25.2024 | Construction Drawings |
| S2.1T.7 - Level 1 Upper Tier - Area 7 - Framing Plan   | 03.25.2024 | Construction Drawings |
| S2.1T.8 - Level 1 Upper Tier - Area 8 - Framing Plan   | 03.25.2024 | Construction Drawings |
| S2.1T.11 - Level 1 Upper Tier - Area 11 - Framing Plan | 03.25.2024 | Construction Drawings |
| S2.1T.12 - Level 1 Upper Tier - Area 12 - Framing Plan | 03.25.2024 | Construction Drawings |
| S2.1T.14 - Level 1 Upper Tier - Area 14 - Framing Plan | 03.25.2024 | Construction Drawings |
| S2.1T.15 - Level 1 Upper Tier - Area 15 - Framing Plan | 03.25.2024 | Construction Drawings |
| S2.2.1 - Level 2 - Area 1 - Framing Plan               | 03.25.2024 | Construction Drawings |
| S2.2.2 - Level 2 - Area 2 - Framing Plan               | 03.25.2024 | Construction Drawings |
| S2.2.3 - Level 2 - Area 3 - Framing Plan               | 03.25.2024 | Construction Drawings |
| S2.2.4 - Level 2 - Area 4 - Framing Plan               | 03.25.2024 | Construction Drawings |
| S2.3.2 - Roof - Area 2 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.3 - Roof - Area 3 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.5 - Roof - Area 5 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.6 - Roof - Area 6 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.7 - Roof - Area 7 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.8 - Roof - Area 8 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.9 - Roof - Area 9 - Framing Plan                  | 03.25.2024 | Construction Drawings |
| S2.3.10 - Roof - Area 10 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S2.3.11 - Roof - Area 11 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S2.3.12 - Roof - Area 12 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S2.3.13 - Roof - Area 13 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S2.3.14 - Roof - Area 14 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S2.3.15 - Roof - Area 15 - Framing Plan                | 03.25.2024 | Construction Drawings |
| S3.1 - Concrete Typical Details                        | 03.25.2024 | Construction Drawings |
| S3.2 - Concrete Typical Details                        | 03.25.2024 | Construction Drawings |
| S3.3 - Precast Typical Details                         | 03.25.2024 | Construction Drawings |
| S3.4 - Precast Typical Details                         | 03.25.2024 | Construction Drawings |
| S3.5 - Concrete Sections                               | 03.25.2024 | Construction Drawings |
| S3.6 - Concrete Sections                               | 03.25.2024 | Construction Drawings |
| S3.7 - Concrete Sections                               | 03.25.2024 | Construction Drawings |
| S3.8 - Precast Sections                                | 03.25.2024 | Construction Drawings |
| S3.9 - Precast Sections                                | 03.25.2024 | Construction Drawings |
| S3.10 - Precast Sections                               | 03.25.2024 | Construction Drawings |
| S3.11 - Precast Sections                               | 03.25.2024 | Construction Drawings |
| S3.12 - Precast Sections                               | 03.25.2024 | Construction Drawings |
| S4.1 - Masonry Typical Details                         | 03.25.2024 | Construction Drawings |

|                                                                  |            |                       |
|------------------------------------------------------------------|------------|-----------------------|
| S5.1 - Steel Typical Details                                     | 03.25.2024 | Construction Drawings |
| S5.2 - Floor Framing Typical Details                             | 03.25.2024 | Construction Drawings |
| S5.3 - Roof Framing Typical Details                              | 03.25.2024 | Construction Drawings |
| S5.4 - Braced Frame Typical Details                              | 03.25.2024 | Construction Drawings |
| S5.5 – Steel Sections                                            | 03.25.2024 | Construction Drawings |
| S5.6 - Steel Sections                                            | 03.25.2024 | Construction Drawings |
| S5.7 - Steel Sections                                            | 03.25.2024 | Construction Drawings |
| G2 - Cover Sheet - Volume 2 of 2                                 | 03.25.2024 | Construction Drawings |
| FP0.1 - Fire Protection General Notes, Legend, and Details       | 03.25.2024 | Construction Drawings |
| FP0.2 - Fire Protection General Notes, Legend, and Details Cont. | 03.25.2024 | Construction Drawings |
| FP0.3 - Fire Protection, Site Plan                               | 03.25.2024 | Construction Drawings |
| FP0.4 - Fire Protection Sprinkler Zone Map                       | 03.25.2024 | Construction Drawings |
| FP1.1.1 - Level 1 - Fire Protection Plan - Area 1                | 03.25.2024 | Construction Drawings |
| FP1.1.2 - Level 1 - Fire Protection Plan - Area 2                | 03.25.2024 | Construction Drawings |
| FP1.1.3 - Level 1 - Fire Protection Plan - Area 3                | 03.25.2024 | Construction Drawings |
| FP1.1.4 - Level 1 - Fire Protection Plan - Area 4                | 03.25.2024 | Construction Drawings |
| FP1.1.5 - Level 1 - Fire Protection Plan - Area 5                | 03.25.2024 | Construction Drawings |
| FP1.1.6 - Level 1 - Fire Protection Plan - Area 6                | 03.25.2024 | Construction Drawings |
| FP1.1.7 - Level 1 - Fire Protection Plan - Area 7                | 03.25.2024 | Construction Drawings |
| FP1.1.8 - Level 1 - Fire Protection Plan - Area 8                | 03.25.2024 | Construction Drawings |
| FP1.1.9 - Level 1 - Fire Protection Plan - Area 9                | 03.25.2024 | Construction Drawings |
| FP1.1.10 - Level 1 - Fire Protection Plan - Area 10              | 03.25.2024 | Construction Drawings |
| FP1.1.11 - Level 1 - Fire Protection Plan - Area 11              | 03.25.2024 | Construction Drawings |
| FP1.1.12 - Level 1 - Fire Protection Plan - Area 12              | 03.25.2024 | Construction Drawings |
| FP1.1.13 - Level 1 - Fire Protection Plan - Area 13              | 03.25.2024 | Construction Drawings |
| FP1.1.14 - Level 1 - Fire Protection Plan - Area 14              | 03.25.2024 | Construction Drawings |
| FP1.1.15 - Level 1 - Fire Protection Plan - Area 15              | 03.25.2024 | Construction Drawings |
| FP1.2.2 - Level 2 - Fire Protection Plan - Area 2                | 03.25.2024 | Construction Drawings |
| FP1.2.3 - Level 2 - Fire Protection Plan - Area 3                | 03.25.2024 | Construction Drawings |
| FP1.2.4 - Level 2 - Fire Protection Plan - Area 4                | 03.25.2024 | Construction Drawings |
| P0.1 - Plumbing Legend & Notes                                   | 03.25.2024 | Construction Drawings |
| P1.0 - Underslab Overall Plumbing Plan                           | 03.25.2024 | Construction Drawings |
| P1.0.1 - Underslab Plumbing Plan - Area 1                        | 03.25.2024 | Construction Drawings |
| P1.0.2 - Underslab Plumbing Plan - Area 2                        | 03.25.2024 | Construction Drawings |
| P1.0.3 - Underslab Plumbing Plan - Area 3                        | 03.25.2024 | Construction Drawings |
| P1.0.4 - Underslab Plumbing Plan - Area 4                        | 03.25.2024 | Construction Drawings |
| P1.0.5 - Underslab Plumbing Plan - Area 5                        | 03.25.2024 | Construction Drawings |
| P1.0.6 - Underslab Plumbing Plan - Area 6                        | 03.25.2024 | Construction Drawings |
| P1.0.7 - Underslab Plumbing Plan - Area 7                        | 03.25.2024 | Construction Drawings |
| P1.0.8 - Underslab Plumbing Plan - Area 8                        | 03.25.2024 | Construction Drawings |
| P1.0.9 - Underslab Plumbing Plan - Area 9                        | 03.25.2024 | Construction Drawings |
| P1.0.10 - Underslab Plumbing Plan - Area 10                      | 03.25.2024 | Construction Drawings |
| P1.0.11 - Underslab Plumbing Plan - Area 11                      | 03.25.2024 | Construction Drawings |



|                                                                       |            |                       |
|-----------------------------------------------------------------------|------------|-----------------------|
| P1.0.12 - Underslab Plumbing Plan - Area 12                           | 03.25.2024 | Construction Drawings |
| P1.0.13 - Underslab Plumbing Plan - Area 13                           | 03.25.2024 | Construction Drawings |
| P1.0.14 - Underslab Plumbing Plan - Area 14                           | 03.25.2024 | Construction Drawings |
| P1.0.15 - Underslab Plumbing Plan - Area 15                           | 03.25.2024 | Construction Drawings |
| P1.1 - Level 1 - Overall Drain and Vent Plan                          | 03.25.2024 | Construction Drawings |
| P1.1.1 - Level 1 - Drain and Vent Plan - Area 1                       | 03.25.2024 | Construction Drawings |
| P1.1.2 - Level 1 - Drain and Vent Plan - Area 2                       | 03.25.2024 | Construction Drawings |
| P1.1.3 - Level 1 - Drain and Vent Plan - Area 3                       | 03.25.2024 | Construction Drawings |
| P1.1.4 - Level 1 - Drain and Vent Plan - Area 4                       | 03.25.2024 | Construction Drawings |
| P1.1.5 - Level 1 - Drain and Vent Plan - Area 5                       | 03.25.2024 | Construction Drawings |
| P1.1.6 - Level 1 - Drain and Vent Plan - Area 6                       | 03.25.2024 | Construction Drawings |
| P1.1.7 - Level 1 - Drain and Vent Plan - Area 7                       | 03.25.2024 | Construction Drawings |
| P1.1.8 - Level 1 - Drain and Vent Plan - Area 8                       | 03.25.2024 | Construction Drawings |
| P1.1.9 - Level 1 - Drain and Vent Plan - Area 9                       | 03.25.2024 | Construction Drawings |
| P1.1.10 - Level 1 - Drain and Vent Plan - Area 10                     | 03.25.2024 | Construction Drawings |
| P1.1.11 - Level 1 - Drain and Vent Plan - Area 11                     | 03.25.2024 | Construction Drawings |
| P1.1.12 - Level 1 - Drain and Vent Plan - Area 12                     | 03.25.2024 | Construction Drawings |
| P1.1.13 - Level 1 - Drain and Vent Plan - Area 13                     | 03.25.2024 | Construction Drawings |
| P1.1.14 - Level 1 - Drain and Vent Plan - Area 14                     | 03.25.2024 | Construction Drawings |
| P1.1.15 - Level 1 - Drain and Vent Plan - Area 15                     | 03.25.2024 | Construction Drawings |
| P1.1T - Level 1 Upper Tier - Overall Drain and Vent Plan              | 03.25.2024 | Construction Drawings |
| P1.1T.5 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 5   | 03.25.2024 | Construction Drawings |
| P1.1T.7 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 7   | 03.25.2024 | Construction Drawings |
| P1.1T.8 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 8   | 03.25.2024 | Construction Drawings |
| P1.1T.11 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 11 | 03.25.2024 | Construction Drawings |
| P1.1T.12 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 12 | 03.25.2024 | Construction Drawings |
| P1.1T.14 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 14 | 03.25.2024 | Construction Drawings |
| P1.1T.15 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 15 | 03.25.2024 | Construction Drawings |
| P1.2 - Level 2 & Clerestory - Overall Drain and Vent Plan             | 03.25.2024 | Construction Drawings |
| P1.2.2 - Level 2 - Drain and Vent Plan - Area 2                       | 03.25.2024 | Construction Drawings |
| P1.2.3 - Level 2 - Drain and Vent Plan - Area 3                       | 03.25.2024 | Construction Drawings |
| P2.1 - Level 1 - Overall Water and Gas Plan                           | 03.25.2024 | Construction Drawings |
| P2.1.1 - Level 1 - Water and Gas Plan - Area 1                        | 03.25.2024 | Construction Drawings |
| P2.1.2 - Level 1 - Water and Gas Plan - Area 2                        | 03.25.2024 | Construction Drawings |
| P2.1.3 - Level 1 - Water and Gas Plan - Area 3                        | 03.25.2024 | Construction Drawings |
| P2.1.4 - Level 1 - Water and Gas Plan - Area 4                        | 03.25.2024 | Construction Drawings |
| P2.1.5 - Level 1 - Water and Gas Plan - Area 5                        | 03.25.2024 | Construction Drawings |
| P2.1.6 - Level 1 - Water and Gas Plan - Area 6                        | 03.25.2024 | Construction Drawings |
| P2.1.7 - Level 1 - Water and Gas Plan - Area 7                        | 03.25.2024 | Construction Drawings |
| P2.1.8 - Level 1 - Water and Gas Plan - Area 8                        | 03.25.2024 | Construction Drawings |
| P2.1.9 - Level 1 - Water and Gas Plan - Area 9                        | 03.25.2024 | Construction Drawings |
| P2.1.10 - Level 1 - Water and Gas Plan - Area 10                      | 03.25.2024 | Construction Drawings |
| P2.1.11 - Level 1 - Water and Gas Plan - Area 11                      | 03.25.2024 | Construction Drawings |

|                                                                 |            |                       |
|-----------------------------------------------------------------|------------|-----------------------|
| P2.1.12 - Level 1 - Water and Gas Plan - Area 12                | 03.25.2024 | Construction Drawings |
| P2.1.13 - Level 1 - Water and Gas Plan - Area 13                | 03.25.2024 | Construction Drawings |
| P2.1.14 - Level 1 - Water and Gas Plan - Area 14                | 03.25.2024 | Construction Drawings |
| P2.1.15 - Level 1 - Water and Gas Plan - Area 15                | 03.25.2024 | Construction Drawings |
| P2.1T - Level 1 Upper Tier - Overall Water and Gas Plan         | 03.25.2024 | Construction Drawings |
| P2.1T.5 - Level 1 Upper Tier - Water and Gas Plan - Area 5      | 03.25.2024 | Construction Drawings |
| P2.1T.7 - Level 1 Upper Tier - Water and Gas Plan - Area 7      | 03.25.2024 | Construction Drawings |
| P2.1T.8 - Level 1 Upper Tier - Water and Gas Plan - Area 8      | 03.25.2024 | Construction Drawings |
| P2.1T.11 - Level 1 Upper Tier - Water and Gas Plan - Area 11    | 03.25.2024 | Construction Drawings |
| P2.1T.12 - Level 1 Upper Tier - Water and Gas Plan - Area 12    | 03.25.2024 | Construction Drawings |
| P2.1T.14 - Level 1 Upper Tier - Water and Gas Plan - Area 14    | 03.25.2024 | Construction Drawings |
| P2.1T.15 - Level 1 Upper Tier - Water and Gas Plan - Area 15    | 03.25.2024 | Construction Drawings |
| P2.2 - Level 2 & Clerestory - Overall Water and Gas Plan        | 03.25.2024 | Construction Drawings |
| P2.2.2 - Level 2 - Water and Gas Plan - Area 2                  | 03.25.2024 | Construction Drawings |
| P2.2.3 - Level 2 - Water and Gas Plan - Area 3                  | 03.25.2024 | Construction Drawings |
| P3.1 - Enlarged Kitchen Plumbing Plan                           | 03.25.2024 | Construction Drawings |
| P3.2 - Enlarged Plumbing Plans                                  | 03.25.2024 | Construction Drawings |
| P3.3 - Enlarged Plumbing Plans                                  | 03.25.2024 | Construction Drawings |
| P3.4 - Enlarged Plumbing Plans                                  | 03.25.2024 | Construction Drawings |
| P3.5 - Enlarged Plumbing Plans                                  | 03.25.2024 | Construction Drawings |
| P4.1 - Plumbing Details                                         | 03.25.2024 | Construction Drawings |
| P4.2 - Plumbing Details                                         | 03.25.2024 | Construction Drawings |
| P4.3 - Plumbing Details                                         | 03.25.2024 | Construction Drawings |
| P5.1 - Plumbing Schedules                                       | 03.25.2024 | Construction Drawings |
| P5.2 - Plumbing Schedules                                       | 03.25.2024 | Construction Drawings |
| P5.3 - Plumbing Schedules                                       | 03.25.2024 | Construction Drawings |
| P6.1 - Drain and Vent Risers - Area 1 & 2                       | 03.25.2024 | Construction Drawings |
| P6.2 - Drain and Vent Risers - Area 3 & 4                       | 03.25.2024 | Construction Drawings |
| P6.3 - Drain and Vent Risers - Area 5 & 9                       | 03.25.2024 | Construction Drawings |
| P6.4 - Drain and Vent Risers - Area 6, 8 (Part), 10 & 12 (Part) | 03.25.2024 | Construction Drawings |
| P6.5 - Drain and Vent Risers - Area 8 (Part) & 12 (Part)        | 03.25.2024 | Construction Drawings |
| P6.6 - Drain and Vent Risers - Area 13 & 14 (Part)              | 03.25.2024 | Construction Drawings |
| P6.7 - Drain and Vent Risers - Area 14 (Part) & 15              | 03.25.2024 | Construction Drawings |
| P6.8 - Natural Gas Riser                                        | 03.25.2024 | Construction Drawings |
| P6.9 - Natural Gas Riser                                        | 03.25.2024 | Construction Drawings |
| P7.1 - Water and Gas Chase Elevations Area 5                    | 03.25.2024 | Construction Drawings |
| P7.2 - Water and Gas Chase Elevations Area 5                    | 03.25.2024 | Construction Drawings |
| P7.3 - Water and Gas Chase Elevations Area 6                    | 03.25.2024 | Construction Drawings |
| P7.4 - Water and Gas Chase Elevations Area 7                    | 03.25.2024 | Construction Drawings |
| P7.5 - Water and Gas Chase Elevations Area 8                    | 03.25.2024 | Construction Drawings |
| P7.6 - Water and Gas Chase Elevations Area 8                    | 03.25.2024 | Construction Drawings |
| P7.7 - Water and Gas Chase Elevations Area 9                    | 03.25.2024 | Construction Drawings |
| P7.8 - Water and Gas Chase Elevations Area 9                    | 03.25.2024 | Construction Drawings |

|                                                     |            |                       |
|-----------------------------------------------------|------------|-----------------------|
| P7.9 - Water and Gas Chase Elevations Area 10       | 03.25.2024 | Construction Drawings |
| P7.10 - Water and Gas Chase Elevations Area 11      | 03.25.2024 | Construction Drawings |
| P7.11 - Water and Gas Chase Elevations Area 12      | 03.25.2024 | Construction Drawings |
| P7.12 - Water and Gas Chase Elevations Area 14      | 03.25.2024 | Construction Drawings |
| P7.13 - Water and Gas Chase Elevations Area 15      | 03.25.2024 | Construction Drawings |
| P7.14 - Water and Gas Chase Elevations Area 15      | 03.25.2024 | Construction Drawings |
| M0.1 - Mechanical Legend & Notes                    | 03.25.2024 | Construction Drawings |
| M1.1 - Level 1 - Overall HVAC Plan                  | 03.25.2024 | Construction Drawings |
| M1.1.1 - Level 1 - HVAC Plan - Area 1               | 03.25.2024 | Construction Drawings |
| M1.1.2 - Level 1 - HVAC Plan - Area 2               | 03.25.2024 | Construction Drawings |
| M1.1.3 - Level 1 - HVAC Plan - Area 3               | 03.25.2024 | Construction Drawings |
| M1.1.4 - Level 1 - HVAC Plan - Area 4               | 03.25.2024 | Construction Drawings |
| M1.1.5 - Level 1 - HVAC Plan - Area 5               | 03.25.2024 | Construction Drawings |
| M1.1.6 - Level 1 - HVAC Plan - Area 6               | 03.25.2024 | Construction Drawings |
| M1.1.7 - Level 1 - HVAC Plan - Area 7               | 03.25.2024 | Construction Drawings |
| M1.1.8 - Level 1 - HVAC Plan - Area 8               | 03.25.2024 | Construction Drawings |
| M1.1.9 - Level 1 - HVAC Plan - Area 9               | 03.25.2024 | Construction Drawings |
| M1.1.10 - Level 1 - HVAC Plan - Area 10             | 03.25.2024 | Construction Drawings |
| M1.1.11 - Level 1 - HVAC Plan - Area 11             | 03.25.2024 | Construction Drawings |
| M1.1.12 - Level 1 - HVAC Plan - Area 12             | 03.25.2024 | Construction Drawings |
| M1.1.13 - Level 1 - HVAC Plan - Area 13             | 03.25.2024 | Construction Drawings |
| M1.1.14 - Level 1 - HVAC Plan - Area 14             | 03.25.2024 | Construction Drawings |
| M1.1.15 - Level 1 - HVAC Plan - Area 15             | 03.25.2024 | Construction Drawings |
| M1.1T - Level 1 Upper Tier - Overall HVAC Plan      | 03.25.2024 | Construction Drawings |
| M1.1T.5 - Level 1 Upper Tier - HVAC Plan - Area 5   | 03.25.2024 | Construction Drawings |
| M1.1T.7 - Level 1 Upper Tier - HVAC Plan - Area 7   | 03.25.2024 | Construction Drawings |
| M1.1T.8 - Level 1 Upper Tier - HVAC Plan - Area 8   | 03.25.2024 | Construction Drawings |
| M1.1T.11 - Level 1 Upper Tier - HVAC Plan - Area 11 | 03.25.2024 | Construction Drawings |
| M1.1T.12 - Level 1 Upper Tier - HVAC Plan - Area 12 | 03.25.2024 | Construction Drawings |
| M1.1T.14 - Level 1 Upper Tier - HVAC Plan - Area 14 | 03.25.2024 | Construction Drawings |
| M1.1T.15 - Level 1 Upper Tier - HVAC Plan - Area 15 | 03.25.2024 | Construction Drawings |
| M1.2 - Level 2 & Clerestory - Overall HVAC Plan     | 03.25.2024 | Construction Drawings |
| M1.2.2 - Level 2 - HVAC Plan - Area 2               | 03.25.2024 | Construction Drawings |
| M1.2.3 - Level 3 - HVAC Plan - Area 3               | 03.25.2024 | Construction Drawings |
| M2.1 - Level 1 - Overall Hydronic Plan              | 03.25.2024 | Construction Drawings |
| M2.1.1 - Level 1 - Hydronic Plan - Area 1           | 03.25.2024 | Construction Drawings |
| M2.1.2 - Level 1 - Hydronic Plan - Area 2           | 03.25.2024 | Construction Drawings |
| M2.1.3 - Level 1 - Hydronic Plan - Area 3           | 03.25.2024 | Construction Drawings |
| M2.1.4 - Level 1 - Hydronic Plan - Area 4           | 03.25.2024 | Construction Drawings |
| M2.1.5 - Level 1 - Hydronic Plan - Area 5           | 03.25.2024 | Construction Drawings |
| M2.1.6 - Level 1 - Hydronic Plan - Area 6           | 03.25.2024 | Construction Drawings |
| M2.1.7 - Level 1 - Hydronic Plan - Area 7           | 03.25.2024 | Construction Drawings |
| M2.1.8 - Level 1 - Hydronic Plan - Area 8           | 03.25.2024 | Construction Drawings |

|                                                     |            |                       |
|-----------------------------------------------------|------------|-----------------------|
| M2.1.9 - Level 1 - Hydronic Plan - Area 9           | 03.25.2024 | Construction Drawings |
| M2.1.10 - Level 1 - Hydronic Plan - Area 10         | 03.25.2024 | Construction Drawings |
| M2.1.11 - Level 1 - Hydronic Plan - Area 11         | 03.25.2024 | Construction Drawings |
| M2.1.12 - Level 1 - Hydronic Plan - Area 12         | 03.25.2024 | Construction Drawings |
| M2.1.13 - Level 1 - Hydronic Plan - Area 13         | 03.25.2024 | Construction Drawings |
| M2.1.14 - Level 1 - Hydronic Plan - Area 14         | 03.25.2024 | Construction Drawings |
| M2.1.15 - Level 1 - Hydronic Plan - Area 15         | 03.25.2024 | Construction Drawings |
| M2.2 - Level 2 & Clerestory - Overall Hydronic Plan | 03.25.2024 | Construction Drawings |
| M2.2.2 - Level 2 - Hydronic Plan - Area 2           | 03.25.2024 | Construction Drawings |
| M2.2.3 - Level 3 - Hydronic Plan - Area 3           | 03.25.2024 | Construction Drawings |
| M4.1 - HVAC Sections                                | 03.25.2024 | Construction Drawings |
| M4.2 - HVAC Sections                                | 03.25.2024 | Construction Drawings |
| M4.3 - HVAC Sections                                | 03.25.2024 | Construction Drawings |
| M4.4 - HVAC Sections                                | 03.25.2024 | Construction Drawings |
| M5.1 - Heating Water Schematic                      | 03.25.2024 | Construction Drawings |
| M5.2 - Chilled Water Schematic                      | 03.25.2024 | Construction Drawings |
| M5.3 - Mechanical Controls                          | 03.25.2024 | Construction Drawings |
| M5.4 - Mechanical Controls                          | 03.25.2024 | Construction Drawings |
| M5.5 - Mechanical Controls                          | 03.25.2024 | Construction Drawings |
| M5.6 - Mechanical Controls                          | 03.25.2024 | Construction Drawings |
| M6.1 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.2 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.3 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.4 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.5 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.6 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.7 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.8 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.9 - Captiveaire Details                          | 03.25.2024 | Construction Drawings |
| M6.10 - Captiveaire Details                         | 03.25.2024 | Construction Drawings |
| M6.11 - Captiveaire Details                         | 03.25.2024 | Construction Drawings |
| M6.12 - Captiveaire Details                         | 03.25.2024 | Construction Drawings |
| M6.13 - Captiveaire Details                         | 03.25.2024 | Construction Drawings |
| M6.14 - Captiveaire Details                         | 03.25.2024 | Construction Drawings |
| M7.1 - Mechanical Details                           | 03.25.2024 | Construction Drawings |
| M7.2 - Mechanical Details                           | 03.25.2024 | Construction Drawings |
| M8.0 - Mechanical Schedules - FF                    | 03.25.2024 | Construction Drawings |
| M8.1 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| M8.2 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| M8.3 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| M8.4 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| M8.5 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| M8.6 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |

|                                                      |            |                       |
|------------------------------------------------------|------------|-----------------------|
| M8.7 - Mechanical Schedules                          | 03.25.2024 | Construction Drawings |
| M8.8 - Mechanical Schedules                          | 03.25.2024 | Construction Drawings |
| M8.9 - Mechanical Schedules                          | 03.25.2024 | Construction Drawings |
| M8.10 - Mechanical Schedules                         | 03.25.2024 | Construction Drawings |
| MP3.3.1 - Partial Mechanical and Plumbing Roof Plan  | 03.25.2024 | Construction Drawings |
| MP3.3.2 - Partial Mechanical and Plumbing Roof Plan  | 03.25.2024 | Construction Drawings |
| MP3.3.3 - Partial Mechanical and Plumbing Roof Plan  | 03.25.2024 | Construction Drawings |
| MS1.1 - Enlarged Mechanical Site Plan                | 03.25.2024 | Construction Drawings |
| E0.1 - Electrical Legend & Notes                     | 03.25.2024 | Construction Drawings |
| E1.1 - Level 1 - Overall Power Plan                  | 03.25.2024 | Construction Drawings |
| E1.1.1 - Level 1 - Power Plan - Area 1               | 03.25.2024 | Construction Drawings |
| E1.1.2 - Level 1 - Power Plan - Area 2               | 03.25.2024 | Construction Drawings |
| E1.1.3 - Level 1 - Power Plan - Area 3               | 03.25.2024 | Construction Drawings |
| E1.1.4 - Level 1 - Power Plan - Area 4               | 03.25.2024 | Construction Drawings |
| E1.1.5 - Level 1 - Power Plan - Area 5               | 03.25.2024 | Construction Drawings |
| E1.1.6 - Level 1 - Power Plan - Area 6               | 03.25.2024 | Construction Drawings |
| E1.1.7 - Level 1 - Power Plan - Area 7               | 03.25.2024 | Construction Drawings |
| E1.1.8 - Level 1 - Power Plan - Area 8               | 03.25.2024 | Construction Drawings |
| E1.1.9 - Level 1 - Power Plan - Area 9               | 03.25.2024 | Construction Drawings |
| E1.1.10 - Level 1 - Power Plan - Area 10             | 03.25.2024 | Construction Drawings |
| E1.1.11 - Level 1 - Power Plan - Area 11             | 03.25.2024 | Construction Drawings |
| E1.1.12 - Level 1 - Power Plan - Area 12             | 03.25.2024 | Construction Drawings |
| E1.1.13 - Level 1 - Power Plan - Area 13             | 03.25.2024 | Construction Drawings |
| E1.1.14 - Level 1 - Power Plan - Area 14             | 03.25.2024 | Construction Drawings |
| E1.1.15 - Level 1 - Power Plan - Area 15             | 03.25.2024 | Construction Drawings |
| E1.1T - Level 1 Upper Tier - Overall Power Plan      | 03.25.2024 | Construction Drawings |
| E1.1T.5 - Level 1 Upper Tier - Power Plan - Area 5   | 03.25.2024 | Construction Drawings |
| E1.1T.7 - Level 1 Upper Tier - Power Plan - Area 7   | 03.25.2024 | Construction Drawings |
| E1.1T.8 - Level 1 Upper Tier - Power Plan - Area 8   | 03.25.2024 | Construction Drawings |
| E1.1T.11 - Level 1 Upper Tier - Power Plan - Area 11 | 03.25.2024 | Construction Drawings |
| E1.1T.12 - Level 1 Upper Tier - Power Plan - Area 12 | 03.25.2024 | Construction Drawings |
| E1.1T.14 - Level 1 Upper Tier - Power Plan - Area 14 | 03.25.2024 | Construction Drawings |
| E1.1T.15 - Level 1 Upper Tier - Power Plan - Area 15 | 03.25.2024 | Construction Drawings |
| E1.2 - Level 2 & Clerestory - Overall Power Plan     | 03.25.2024 | Construction Drawings |
| E1.2.2 - Level 2 - Power Plan - Area 2               | 03.25.2024 | Construction Drawings |
| E1.2.3 - Level 2 - Power Plan - Area 3               | 03.25.2024 | Construction Drawings |
| E1.3.1 - Roof - Electrical Plan - Area 1             | 03.25.2024 | Construction Drawings |
| E1.3.2 - Roof - Electrical Plan - Area 2             | 03.25.2024 | Construction Drawings |
| E1.3.3 - Roof - Electrical Plan - Area 3             | 03.25.2024 | Construction Drawings |
| E2.1 - Level 1 - Overall Lighting Plan               | 03.25.2024 | Construction Drawings |
| E2.1.1 - Level 1 - Lighting Plan - Area 1            | 03.25.2024 | Construction Drawings |
| E2.1.2 - Level 1 - Lighting Plan - Area 2            | 03.25.2024 | Construction Drawings |
| E2.1.3 - Level 1 - Lighting Plan - Area 3            | 03.25.2024 | Construction Drawings |



|                                                         |            |                       |
|---------------------------------------------------------|------------|-----------------------|
| E2.1.4 - Level 1 - Lighting Plan - Area 4               | 03.25.2024 | Construction Drawings |
| E2.1.5 - Level 1 - Lighting Plan - Area 5               | 03.25.2024 | Construction Drawings |
| E2.1.6 - Level 1 - Lighting Plan - Area 6               | 03.25.2024 | Construction Drawings |
| E2.1.7 - Level 1 - Lighting Plan - Area 7               | 03.25.2024 | Construction Drawings |
| E2.1.8 - Level 1 - Lighting Plan - Area 8               | 03.25.2024 | Construction Drawings |
| E2.1.9 - Level 1 - Lighting Plan - Area 9               | 03.25.2024 | Construction Drawings |
| E2.1.10 - Level 1 - Lighting Plan - Area 10             | 03.25.2024 | Construction Drawings |
| E2.1.11 - Level 1 - Lighting Plan - Area 11             | 03.25.2024 | Construction Drawings |
| E2.1.12 - Level 1 - Lighting Plan - Area 12             | 03.25.2024 | Construction Drawings |
| E2.1.13 - Level 1 - Lighting Plan - Area 13             | 03.25.2024 | Construction Drawings |
| E2.1.14 - Level 1 - Lighting Plan - Area 14             | 03.25.2024 | Construction Drawings |
| E2.1.15 - Level 1 - Lighting Plan - Area 15             | 03.25.2024 | Construction Drawings |
| E2.1T - Level 1 Upper Tier - Overall Lighting Plan      | 03.25.2024 | Construction Drawings |
| E2.1T.5 - Level 1 Upper Tier - Lighting Plan - Area 5   | 03.25.2024 | Construction Drawings |
| E2.1T.7 - Level 1 Upper Tier - Lighting Plan - Area 7   | 03.25.2024 | Construction Drawings |
| E2.1T.8 - Level 1 Upper Tier - Lighting Plan - Area 8   | 03.25.2024 | Construction Drawings |
| E2.1T.11 - Level 1 Upper Tier - Lighting Plan - Area 11 | 03.25.2024 | Construction Drawings |
| E2.1T.12 - Level 1 Upper Tier - Lighting Plan - Area 12 | 03.25.2024 | Construction Drawings |
| E2.1T.14 - Level 1 Upper Tier - Lighting Plan - Area 14 | 03.25.2024 | Construction Drawings |
| E2.1T.15 - Level 1 Upper Tier - Lighting Plan - Area 15 | 03.25.2024 | Construction Drawings |
| E2.2 - Level 2 & Clerestory - Overall Lighting Plan     | 03.25.2024 | Construction Drawings |
| E2.2.2 - Level 2 - Lighting Plan - Area 2               | 03.25.2024 | Construction Drawings |
| E2.2.3 - Level 2 - Lighting Plan - Area 3               | 03.25.2024 | Construction Drawings |
| E3.1 - Enlarged Electrical Plans                        | 03.25.2024 | Construction Drawings |
| E3.2 - Enlarged Electrical Plans                        | 03.25.2024 | Construction Drawings |
| E3.3 - Enlarged Electrical Plans                        | 03.25.2024 | Construction Drawings |
| E4.1 - Electrical One-Line Diagram                      | 03.25.2024 | Construction Drawings |
| E4.2 - Electrical One-Line Diagram                      | 03.25.2024 | Construction Drawings |
| E5.1 - Electrical Details                               | 03.25.2024 | Construction Drawings |
| E6.1 - Electrical Schedules - Luminaires Schedules      | 03.25.2024 | Construction Drawings |
| E6.2 - Electrical Schedules - Lighting Control          | 03.25.2024 | Construction Drawings |
| E6.3 - Electrical Schedules - Lighting Control          | 03.25.2024 | Construction Drawings |
| E6.4 - Electrical Schedules - Lighting Control          | 03.25.2024 | Construction Drawings |
| E6.5 - Electrical Schedules - Lighting Control          | 03.25.2024 | Construction Drawings |
| E6.6 - Electrical Schedules                             | 03.25.2024 | Construction Drawings |
| E6.7 - Electrical Schedules                             | 03.25.2024 | Construction Drawings |
| E6.8 - Electrical Schedules                             | 03.25.2024 | Construction Drawings |
| E6.9 - Electrical Schedules                             | 03.25.2024 | Construction Drawings |
| E6.10 - Electrical Schedules                            | 03.25.2024 | Construction Drawings |
| E6.11 - Panel Schedules                                 | 03.25.2024 | Construction Drawings |
| E6.12 - Panel Schedules                                 | 03.25.2024 | Construction Drawings |
| E6.13 - Panel Schedules                                 | 03.25.2024 | Construction Drawings |
| E6.14 - Panel Schedules                                 | 03.25.2024 | Construction Drawings |

|                                                   |            |                       |
|---------------------------------------------------|------------|-----------------------|
| E6.15 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.16 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.17 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.18 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.19 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.20 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.21 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.22 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.23 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.24 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.25 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.26 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.27 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.28 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.29 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.30 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.31 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.32 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.33 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.34 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.35 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.36 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.37 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| E6.38 - Panel Schedules                           | 03.25.2024 | Construction Drawings |
| ES1.0 - Electrical Site Plan                      | 03.25.2024 | Construction Drawings |
| ES1.1 - Electrical Site Details                   | 03.25.2024 | Construction Drawings |
| TE0.1 - Telecomm., Legend                         | 03.25.2024 | Construction Drawings |
| TE1.1.1 - Telecomm., Level 1 - Area 1             | 03.25.2024 | Construction Drawings |
| TE1.1.2 - Telecomm., Level 1 - Area 2             | 03.25.2024 | Construction Drawings |
| TE1.1.3 - Telecomm., Level 1 - Area 3             | 03.25.2024 | Construction Drawings |
| TE1.1.4 - Telecomm., Level 1 - Area 4             | 03.25.2024 | Construction Drawings |
| TE1.1.5 - Telecomm., Level 1 - Area 5             | 03.25.2024 | Construction Drawings |
| TE1.1.6 - Telecomm., Level 1 - Area 6             | 03.25.2024 | Construction Drawings |
| TE1.1.7 - Telecomm., Level 1 - Area 7             | 03.25.2024 | Construction Drawings |
| TE1.1.8 - Telecomm., Level 1 - Area 8             | 03.25.2024 | Construction Drawings |
| TE1.1.9 - Telecomm., Level 1 - Area 9             | 03.25.2024 | Construction Drawings |
| TE1.1.10 - Telecomm., Level 1 - Area 10           | 03.25.2024 | Construction Drawings |
| TE1.1.11 - Telecomm., Level 1 - Area 11           | 03.25.2024 | Construction Drawings |
| TE1.1.12 - Telecomm., Level 1 - Area 12           | 03.25.2024 | Construction Drawings |
| TE1.1.13 - Telecomm., Level 1 - Area 13           | 03.25.2024 | Construction Drawings |
| TE1.1.14 - Telecomm., Level 1 - Area 14           | 03.25.2024 | Construction Drawings |
| TE1.1.15 - Telecomm., Level 1 - Area 15           | 03.25.2024 | Construction Drawings |
| TE1.1T.5 - Telecomm., Level 1 Upper Tier - Area 5 | 03.25.2024 | Construction Drawings |

|                                                      |            |                       |
|------------------------------------------------------|------------|-----------------------|
| TE1.1T.7 - Telecomm., Level 1 Upper Tier - Area 7    | 03.25.2024 | Construction Drawings |
| TE1.1T.8 - Telecomm., Level 1 Upper Tier - Area 8    | 03.25.2024 | Construction Drawings |
| TE1.1T.11 - Telecomm., Level 1 Upper Tier - Area 11  | 03.25.2024 | Construction Drawings |
| TE1.1T.12 - Telecomm., Level 1 Upper Tier - Area 12  | 03.25.2024 | Construction Drawings |
| TE1.1T.14 - Telecomm., Level 1 Upper Tier - Area 14  | 03.25.2024 | Construction Drawings |
| TE1.1T.15 - Telecomm., Level 1 Upper Tier - Area 15  | 03.25.2024 | Construction Drawings |
| TE1.2.2 - Telecomm., Level 2 - Area 2                | 03.25.2024 | Construction Drawings |
| TE1.2.3 - Telecomm., Level 2 - Area 3                | 03.25.2024 | Construction Drawings |
| TE2.1A - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE2.1B - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE2.1C - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE2.1D - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE2.1E - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE2.1F - Telecomm., Large Scale Details and Views    | 03.25.2024 | Construction Drawings |
| TE3.1A - Telecomm., CATV Risers                      | 03.25.2024 | Construction Drawings |
| TE3.1B - Telecomm., CATV Risers                      | 03.25.2024 | Construction Drawings |
| TE6.1 - Telecomm., Teldata & AV Details              | 03.25.2024 | Construction Drawings |
| TEU1.0 - Telecomm., Underground, Site                | 03.25.2024 | Construction Drawings |
| FA0.1 - Fire Alarm Legend                            | 03.25.2024 | Construction Drawings |
| FA1.0 - Fire Alarm, Site Plan                        | 03.25.2024 | Construction Drawings |
| FA1.1.1 - Fire Alarm, Level 1 - Area 1               | 03.25.2024 | Construction Drawings |
| FA1.1.2 - Fire Alarm, Level 1 - Area 2               | 03.25.2024 | Construction Drawings |
| FA1.1.3 - Fire Alarm, Level 1 - Area 3               | 03.25.2024 | Construction Drawings |
| FA1.1.4 - Fire Alarm, Level 1 - Area 4               | 03.25.2024 | Construction Drawings |
| FA1.1.5 - Fire Alarm, Level 1 - Area 5               | 03.25.2024 | Construction Drawings |
| FA1.1.6 - Fire Alarm, Level 1 - Area 6               | 03.25.2024 | Construction Drawings |
| FA1.1.7 - Fire Alarm, Level 1 - Area 7               | 03.25.2024 | Construction Drawings |
| FA1.1.8 - Fire Alarm, Level 1 - Area 8               | 03.25.2024 | Construction Drawings |
| FA1.1.9 - Fire Alarm, Level 1 - Area 9               | 03.25.2024 | Construction Drawings |
| FA1.1.10 - Fire Alarm, Level 1 - Area 10             | 03.25.2024 | Construction Drawings |
| FA1.1.11 - Fire Alarm, Level 1 - Area 11             | 03.25.2024 | Construction Drawings |
| FA1.1.12 - Fire Alarm, Level 1 - Area 12             | 03.25.2024 | Construction Drawings |
| FA1.1.13 - Fire Alarm, Level 1 - Area 13             | 03.25.2024 | Construction Drawings |
| FA1.1.14 - Fire Alarm, Level 1 - Area 14             | 03.25.2024 | Construction Drawings |
| FA1.1.15 - Fire Alarm, Level 1 - Area 15             | 03.25.2024 | Construction Drawings |
| FA1.1T.5 - Fire Alarm, Level 1 Upper Tier - Area 5   | 03.25.2024 | Construction Drawings |
| FA1.1T.7 - Fire Alarm, Level 1 Upper Tier - Area 7   | 03.25.2024 | Construction Drawings |
| FA1.1T.8 - Fire Alarm, Level 1 Upper Tier - Area 8   | 03.25.2024 | Construction Drawings |
| FA1.1T.11 - Fire Alarm, Level 1 Upper Tier - Area 11 | 03.25.2024 | Construction Drawings |
| FA1.1T.12 - Fire Alarm, Level 1 Upper Tier - Area 12 | 03.25.2024 | Construction Drawings |
| FA1.1T.14 - Fire Alarm, Level 1 Upper Tier - Area 14 | 03.25.2024 | Construction Drawings |
| FA1.1T.15 - Fire Alarm, Level 1 Upper Tier - Area 15 | 03.25.2024 | Construction Drawings |
| FA1.2.2 - Fire Alarm, Level 2 - Area 2               | 03.25.2024 | Construction Drawings |

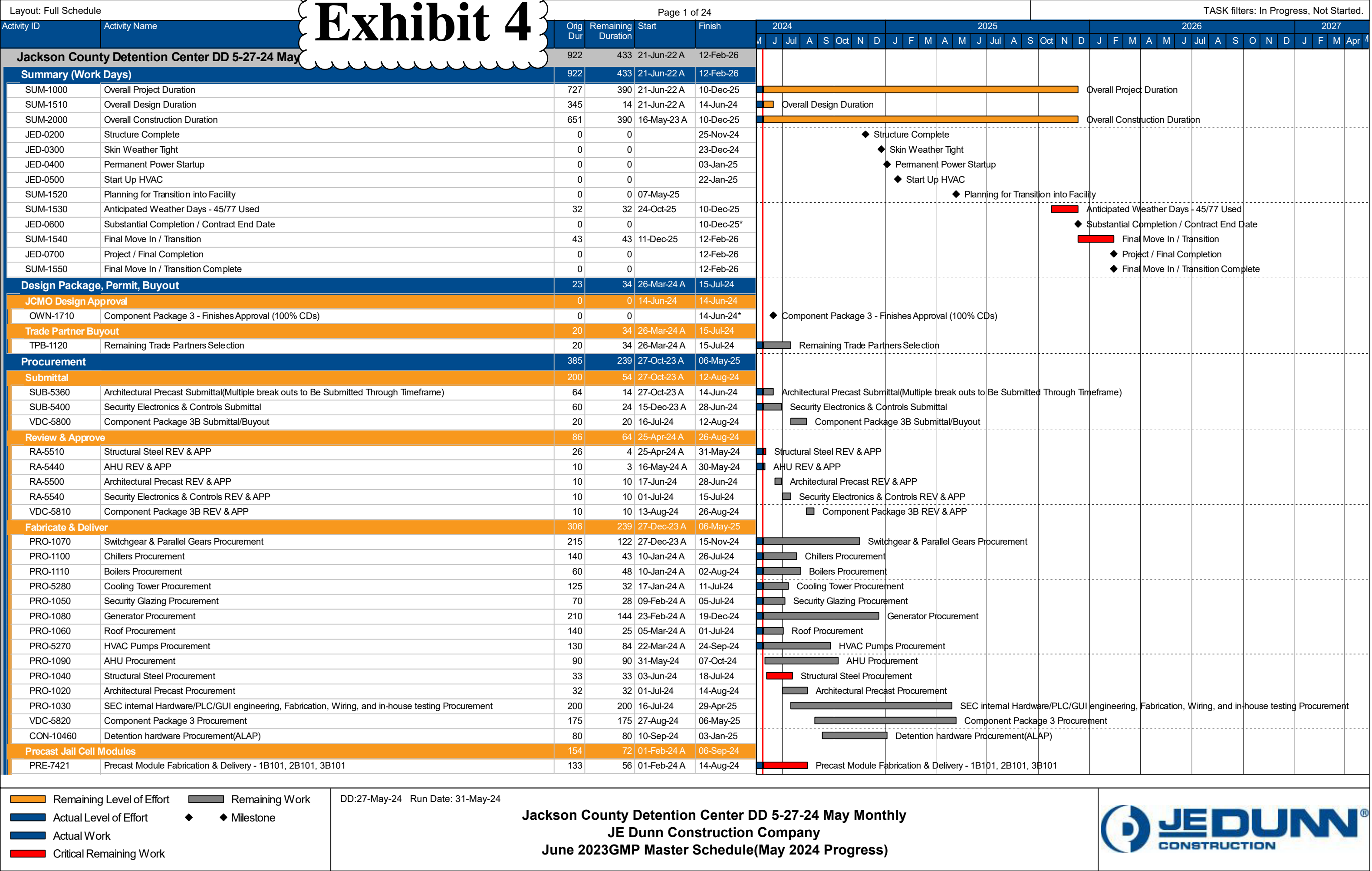
|                                                                |            |                       |
|----------------------------------------------------------------|------------|-----------------------|
| FA1.2.3 - Fire Alarm, Level 2 - Area 3                         | 03.25.2024 | Construction Drawings |
| FA2.1 - Fire Alarm, Smoke Control Panel                        | 03.25.2024 | Construction Drawings |
| FA6.1 - Fire Alarm, Fire Alarm Details                         | 03.25.2024 | Construction Drawings |
| SE0.1 - Security Electronics, Legend                           | 03.25.2024 | Construction Drawings |
| SE1.0 - Security Electronics, Camera Site Plan                 | 03.25.2024 | Construction Drawings |
| SE1.1.1 - Security Electronics, Level 1 - Area 1               | 03.25.2024 | Construction Drawings |
| SE1.1.2 - Security Electronics, Level 1 - Area 2               | 03.25.2024 | Construction Drawings |
| SE1.1.3 - Security Electronics, Level 1 - Area 3               | 03.25.2024 | Construction Drawings |
| SE1.1.4 - Security Electronics, Level 1 - Area 4               | 03.25.2024 | Construction Drawings |
| SE1.1.5 - Security Electronics, Level 1 - Area 5               | 03.25.2024 | Construction Drawings |
| SE1.1.6 - Security Electronics, Level 1 - Area 6               | 03.25.2024 | Construction Drawings |
| SE1.1.7 - Security Electronics, Level 1 - Area 7               | 03.25.2024 | Construction Drawings |
| SE1.1.8 - Security Electronics, Level 1 - Area 8               | 03.25.2024 | Construction Drawings |
| SE1.1.9 - Security Electronics, Level 1 - Area 9               | 03.25.2024 | Construction Drawings |
| SE1.1.10 - Security Electronics, Level 1 - Area 10             | 03.25.2024 | Construction Drawings |
| SE1.1.11 - Security Electronics, Level 1 - Area 11             | 03.25.2024 | Construction Drawings |
| SE1.1.12 - Security Electronics, Level 1 - Area 12             | 03.25.2024 | Construction Drawings |
| SE1.1.13 - Security Electronics, Level 1 - Area 13             | 03.25.2024 | Construction Drawings |
| SE1.1.14 - Security Electronics, Level 1 - Area 14             | 03.25.2024 | Construction Drawings |
| SE1.1.15 - Security Electronics, Level 1 - Area 15             | 03.25.2024 | Construction Drawings |
| SE1.1T.5 - Security Electronics, Level 1 Upper Tier - Area 5   | 03.25.2024 | Construction Drawings |
| SE1.1T.7 - Security Electronics, Level 1 Upper Tier - Area 7   | 03.25.2024 | Construction Drawings |
| SE1.1T.8 - Security Electronics, Level 1 Upper Tier - Area 8   | 03.25.2024 | Construction Drawings |
| SE1.1T.11 - Security Electronics, Level 1 Upper Tier - Area 11 | 03.25.2024 | Construction Drawings |
| SE1.1T.12 - Security Electronics, Level 1 Upper Tier - Area 12 | 03.25.2024 | Construction Drawings |
| SE1.1T.14 - Security Electronics, Level 1 Upper Tier - Area 14 | 03.25.2024 | Construction Drawings |
| SE1.1T.15 - Security Electronics, Level 1 Upper Tier - Area 15 | 03.25.2024 | Construction Drawings |
| SE1.2.2 - Security Electronics, Level 2 - Area 2               | 03.25.2024 | Construction Drawings |
| SE1.2.3 - Security Electronics, Level 2 - Area 3               | 03.25.2024 | Construction Drawings |
| SE2.1 - Security Electronics, Control Stations Details         | 03.25.2024 | Construction Drawings |
| SE2.2 - Security Electronics, Equipment Room Details           | 03.25.2024 | Construction Drawings |
| SE2.3 - Security Electronics, Equipment Room Details           | 03.25.2024 | Construction Drawings |
| SE2.4 - Security Electronics, Equipment Room Details           | 03.25.2024 | Construction Drawings |
| SE2.5 - Security Electronics, Equipment Room Details           | 03.25.2024 | Construction Drawings |
| SE2.6 - Security Electronics, Stair Details                    | 03.25.2024 | Construction Drawings |
| SE3.1A - Security Electronics, Fiber Riser                     | 03.25.2024 | Construction Drawings |
| SE3.2A - Security Electronics, Power Risers                    | 03.25.2024 | Construction Drawings |
| SE3.2B - Security Electronics, Power Risers                    | 03.25.2024 | Construction Drawings |
| SE3.2C - Security Electronics, Power Risers                    | 03.25.2024 | Construction Drawings |
| SE3.3A - Security Electronics, Camera Riser                    | 03.25.2024 | Construction Drawings |
| SE3.3B - Security Electronics, Camera Riser                    | 03.25.2024 | Construction Drawings |
| SE3.3C - Security Electronics, Camera Riser                    | 03.25.2024 | Construction Drawings |
| SE3.4A - Security Electronics, Camera Schedule                 | 03.25.2024 | Construction Drawings |

[illegible]



|                                                              |            |                       |
|--------------------------------------------------------------|------------|-----------------------|
| SE5.36 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.37 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.38 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.39 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.40 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.41 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.42 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE5.43 - Security Electronics, Camera Views                  | 03.25.2024 | Construction Drawings |
| SE6.1 - Security Electronics, Conduit Details                | 03.25.2024 | Construction Drawings |
| SE6.2 - Security Electronics, Camera Details                 | 03.25.2024 | Construction Drawings |
| SE6.3 - Security Electronics, Intercom & Key Cabinet Details | 03.25.2024 | Construction Drawings |
| SE6.4 - Security Electronics, UPS Details                    | 03.25.2024 | Construction Drawings |

**End of Exhibit 3**





[illegible]







[illegible]











[illegible]



[illegible]



| Layout: Full Schedule |               |                                                      | Page 13 of 24      |       |           |           |   |     |   |   |     |   | TASK filters: In Progress, Not Started. |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|-----------------------|---------------|------------------------------------------------------|--------------------|-------|-----------|-----------|---|-----|---|---|-----|---|-----------------------------------------|---|---|---|---|---|---|------|---|---|-----|---|---|---|------|---|---|---|---|-----|---|---|---|---|---|---|---|---|-----|---|--|--|
| Activity ID           | Activity Name | Orig Dur                                             | Remaining Duration | Start | Finish    | 2024      |   |     |   |   |     |   | 2025                                    |   |   |   |   |   |   | 2026 |   |   |     |   |   |   | 2027 |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       |               |                                                      |                    |       |           | M         | J | Jul | A | S | Oct | N | D                                       | J | F | M | A | M | J | Jul  | A | S | Oct | N | D | J | F    | M | A | M | J | Jul | A | S | O | N | D | J | F | M | Apr | 4 |  |  |
|                       | CON-10650     | Overhead Plumbing - Special Needs                    | 20                 | 20    | 30-Jan-25 | 26-Feb-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10660     | Overhead Electrical - Special Needs                  | 20                 | 20    | 30-Jan-25 | 26-Feb-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10670     | Overhead Fire Protection - Special Needs             | 8                  | 8     | 30-Jan-25 | 10-Feb-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10680     | Overhead Inspections and Corrections - Special Needs | 3                  | 3     | 27-Feb-25 | 03-Mar-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10700     | Metal Stud Framing - Special Needs                   | 5                  | 5     | 27-Feb-25 | 05-Mar-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10690     | CMU Cure Time - Special Needs                        | 20                 | 20    | 10-Apr-25 | 07-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10710     | In-Wall Rough-In Mechanical - Special Needs          | 10                 | 10    | 10-Apr-25 | 23-Apr-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10720     | In-Wall Rough-In Plumbing - Special Needs            | 10                 | 10    | 10-Apr-25 | 23-Apr-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10730     | In-Wall Rough-In Electrical - Special Needs          | 25                 | 25    | 10-Apr-25 | 14-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10740     | Shared Chases MEP - Special Needs                    | 15                 | 15    | 10-Apr-25 | 30-Apr-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10770     | Low Voltage / SEC Wiring - Special Needs             | 20                 | 20    | 28-Apr-25 | 23-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10760     | BAS Control Wiring - Special Needs                   | 5                  | 5     | 15-May-25 | 21-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10790     | In-Wall Inspections and Corrections - Special Needs  | 3                  | 3     | 15-May-25 | 19-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10820     | Install Drywall - Special Needs                      | 5                  | 5     | 20-May-25 | 27-May-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-11210     | Security Metal Ceilings - Special Needs              | 10                 | 10    | 20-May-25 | 03-Jun-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10780     | Penetration Fire Stopping - Special Needs            | 5                  | 5     | 28-May-25 | 03-Jun-25 |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |
|                       | CON-10830     | RTF Drywall - Special Needs                          | 10                 | 10    |           |           |   |     |   |   |     |   |                                         |   |   |   |   |   |   |      |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |   |   |     |   |  |  |

[illegible]









[illegible]



| Layout: Full Schedule |                                |          | Page 19 of 24      |           |           |      |   |     |   |   |     |   |   |   | TASK filters: In Progress, Not Started. |   |   |      |   |     |   |   |     |   |   |   |   |   |   |      |   |     |   |   |   |   |   |   |   |   |     |      |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|-----------------------|--------------------------------|----------|--------------------|-----------|-----------|------|---|-----|---|---|-----|---|---|---|-----------------------------------------|---|---|------|---|-----|---|---|-----|---|---|---|---|---|---|------|---|-----|---|---|---|---|---|---|---|---|-----|------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| Activity ID           | Activity Name                  | Orig Dur | Remaining Duration | Start     | Finish    | 2024 |   |     |   |   |     |   |   |   |                                         |   |   | 2025 |   |     |   |   |     |   |   |   |   |   |   | 2026 |   |     |   |   |   |   |   |   |   |   |     | 2027 |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                       |                                |          |                    |           |           | M    | J | Jul | A | S | Oct | N | D | J | F                                       | M | A | M    | J | Jul | A | S | Oct | N | D | J | F | M | A | M    | J | Jul | A | S | O | N | D | J | F | M | Apr |      |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| CON-9600              | Sprinkler Trim Out 1E101,2E101 | 5        | 5                  | 07-Jan-25 | 13-Jan-25 |      |   |     |   |   |     |   |   |   |                                         |   |   |      |   |     |   |   |     |   |   |   |   |   |   |      |   |     |   |   |   |   |   |   |   |   |     |      |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |





[illegible]





[illegible]

| Layout: Full Schedule |                                     | Page 24 of 24 |                    |           |           |      |   |     |   |   |     |   |      |   |   |   |   |   |   | TASK filters: In Progress, Not Started. |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |
|-----------------------|-------------------------------------|---------------|--------------------|-----------|-----------|------|---|-----|---|---|-----|---|------|---|---|---|---|---|---|-----------------------------------------|---|---|-----|---|---|---|------|---|---|---|---|-----|---|---|---|---|---|---|
| Activity ID           | Activity Name                       | Orig Dur      | Remaining Duration | Start     | Finish    | 2024 |   |     |   |   |     |   | 2025 |   |   |   |   |   |   | 2026                                    |   |   |     |   |   |   | 2027 |   |   |   |   |     |   |   |   |   |   |   |
|                       |                                     |               |                    |           |           | M    | J | Jul | A | S | Oct | N | D    | J | F | M | A | M | J | Jul                                     | A | S | Oct | N | D | J | F    | M | A | M | J | Jul | A | S | O | N | D | J |
| Activation & Training |                                     | 43            | 43                 | 11-Dec-25 | 12-Feb-26 |      |   |     |   |   |     |   |      |   |   |   |   |   |   |                                         |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |
| ACT-21040             | Activitation & Training (JCMO/JCDC) | 43            | 43                 | 11-Dec-25 | 12-Feb-26 |      |   |     |   |   |     |   |      |   |   |   |   |   |   |                                         |   |   |     |   |   |   |      |   |   |   |   |     |   |   |   |   |   |   |

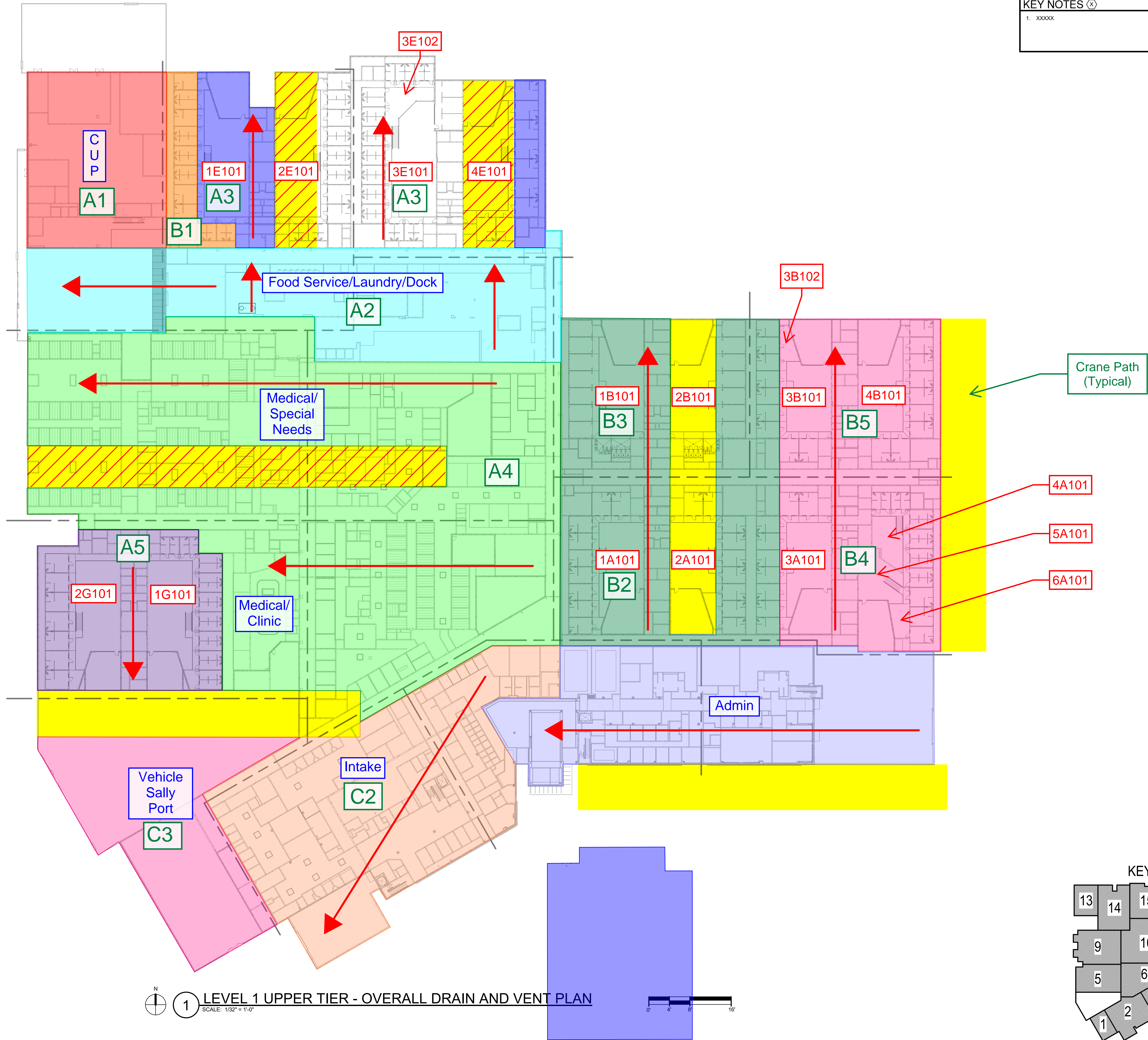
End of Exhibit 4



# Legend

- Letter = Precast Wall Crew
- # = Sequence of Work
- A Crew = 300 T Leiberer 1350
- B Crew = 300 T Leiberer 1350
- C Crew = 200 T Manitowac M250
- PC Wall Crew = 120T Mobile Track

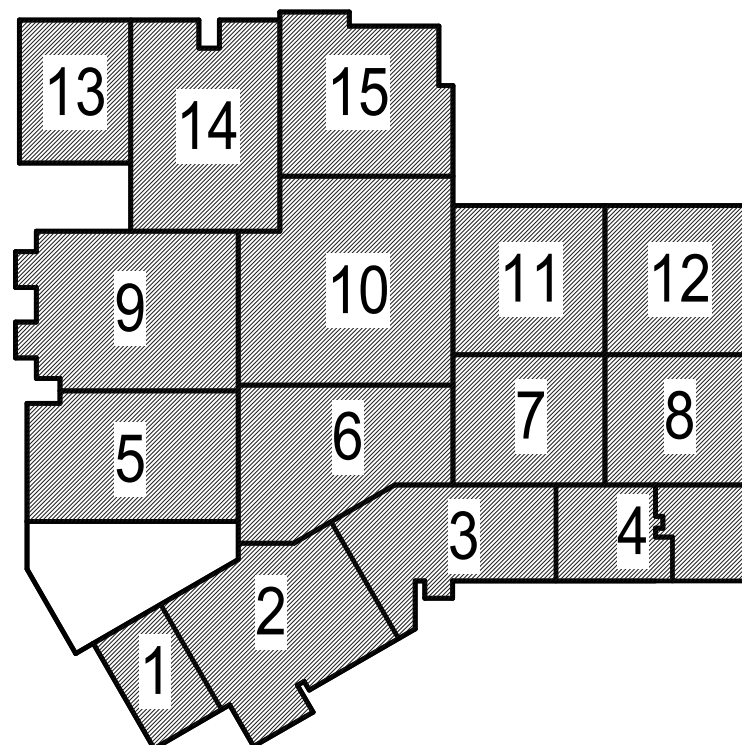
## Exhibit 5



| GENERAL NOTES | (THIS SHEET) |
|---------------|--------------|
| 1. XXXXXX     |              |

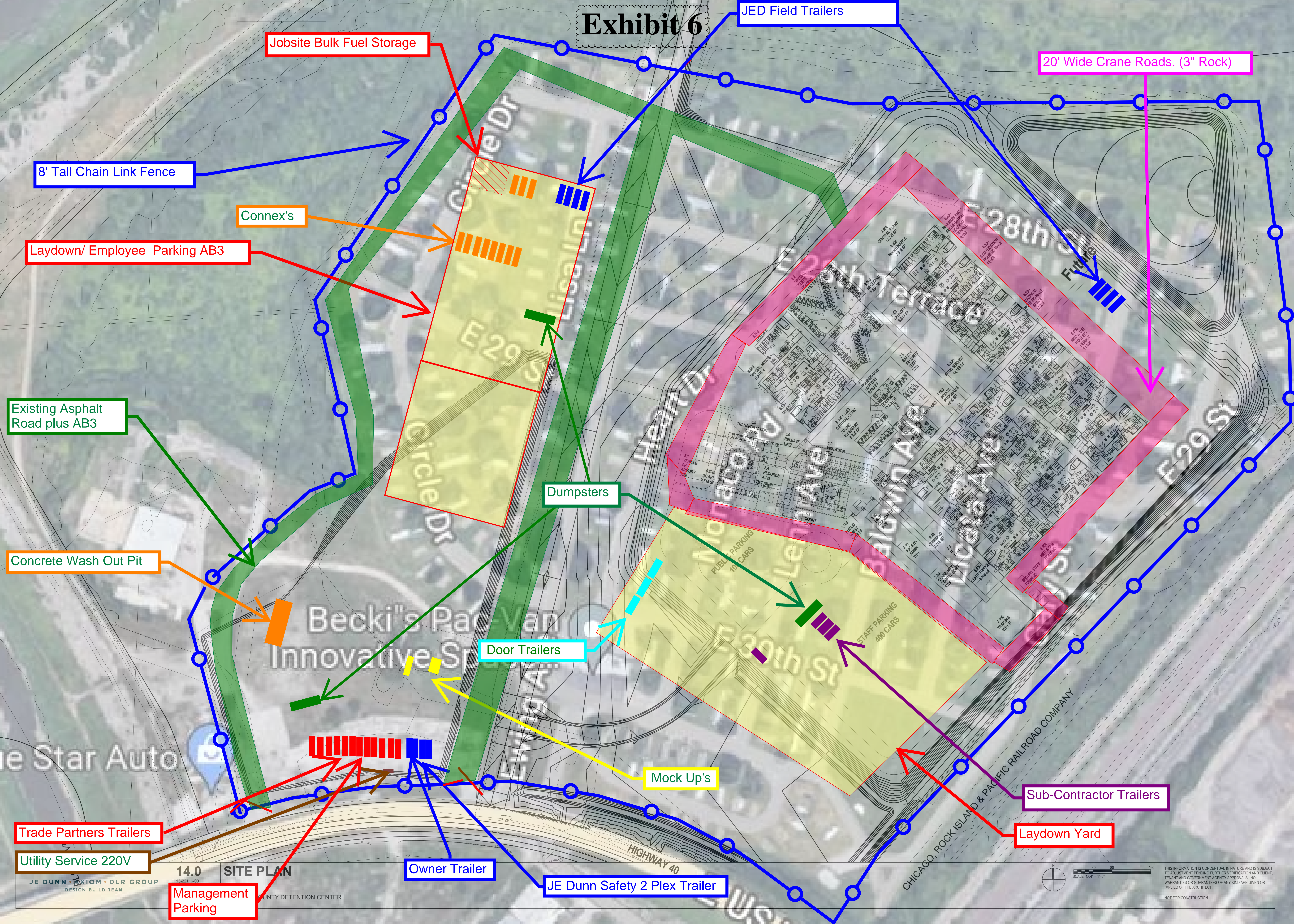
| KEY NOTES (X) | (THIS SHEET) |
|---------------|--------------|
| 1. XXXXX      |              |

### KEY PLAN





# Exhibit 6



Jobsite Bulk Fuel Storage

JED Field Trailers

20' Wide Crane Roads. (3" Rock)

8' Tall Chain Link Fence

Connex's

Laydown/ Employee Parking AB3

Existing Asphalt Road plus AB3

Concrete Wash Out Pit

Dumpsters

Door Trailers

Mock Up's

Trade Partners Trailers

Utility Service 220V

Management Parking

Owner Trailer

JE Dunn Safety 2 Plex Trailer

Sub-Contractor Trailers

Laydown Yard

JE DUNN • AXIOM • DLR GROUP  
DESIGN-BUILD TEAM

14.0

SITE PLAN

13-22116-00

COUNTY DETENTION CENTER



SCALE: 1/64" = 1'-0"

THIS INFORMATION IS CONCEPTUAL IN NATURE AND IS SUBJECT TO ADJUSTMENT PENDING FURTHER VERIFICATION AND CLIENT, TENANT AND GOVERNMENT AGENCY APPROVALS. NO WARRANTIES OR GUARANTEES OF ANY KIND ARE GIVEN OR IMPLIED BY THE ARCHITECT.

NOT FOR CONSTRUCTION



# Exhibit 7

**Jackson County Detention Center**  
**Exhibit 7 - GMP Clarifications (Component Package 3 Update)**  
**11/10/2023 (Revised 6/28/2024)**

## **General**

1. This Guaranteed Maximum Price (GMP) Proposal is based on the Construction Drawings and supporting documents dated March 25<sup>th</sup>, 2024 as outlined in the attached Exhibit 3 –Contract Documents.
2. Previous modifications from the 03.14.2023 GMP, Exhibit 8 – Criteria Modification Log that highlights Owner approved criteria modifications have been incorporated into the design documents.
3. The GMP Proposal is based on the Geotechnical Engineering Report provided by CFS dated September 8<sup>th</sup>, 2022.
4. The Master Schedule includes a total of seventy-seven (77) lost weather days, based on NOAA's 10-year average for the Kansas City region. A lost day can occur during the weather event itself, as well as days following the event such as muddy conditions after rain, or snow and ice build-up following a winter storm which impacts critical path activities. Lost weather days exceeding this allowance shall be considered a Force Majeure Event.
5. The Project Site is assumed to be free of any unknown above ground or below ground hazardous materials and/or hazardous conditions, as well as any environmental and/or endangered species, flora, fauna, or wetlands requiring mitigation. The Design/Builder is aware of the two wetlands located on site and the existing long eared bat population that requires the site to be clear of trees prior to March 31<sup>st</sup>, 2023. This GMP assumes the trees to be removed prior to this date. Per Olsson limited Environmental Site Investigation dated September 26<sup>th</sup>, 2023, the berm is free of harmful soils and no additional mitigation or analysis should be conducted. Jackson County has directed JE Dunn to leave the berm undisturbed. The current berm elevations will be documented on future as-builts to remain undisturbed. This approach will limit the expansion opportunities of the building north of areas 13, 14, and 15.
6. The GMP is based upon using the following Teamed Trade partners who were selected based on a best value selection process, those trade partners are as follows:
  - a. Kissick Construction – Mass Excavation and Site Utilities (Lump-Sum)
  - b. Cornerstone Detention – Security Electronics (Lump-Sum)
  - c. Cornerstone Axiom JV LLC. - Modular Cells Supply (Lump-Sum)
  - d. Mark One Electric – Electrical (GMP)
  - e. US Engineering – Mechanical (GMP)
  - f. American Fire Protection – Fire Protection (GMP)
  - g. CML Security – Detention Equipment (Lump-Sum)
  - h. Flynn Midwest – Membrane Roofing (Lump-Sum)
  - i. Enterprise Precast – Precast Wall Panels/Hollow-Core Supply (Lump-Sum)
  - j. Midland Marble and Granite – Tile (Lump-Sum) – Company dissolved and will no longer be used (updated 06.28.2024)
  - k. JE Dunn Self-Perform – Structures (Lump-Sum)

7. The GMP update is based upon using the following trade partners who were selected based on a competitive bidding process and will be contracted via Lump-Sum, those trade partners are as follows:
- a. Structural Steel – Kansas City Structural Steel
  - b. Drywall – E&K
  - c. Food Service Equipment – Tri-Mark
  - d. Overhead Doors, Four-Fold Doors, and Loading Dock - Acme
  - e. Resinous Flooring – Musselman and Hall
  - f. General Carpentry Install/Casework Supply – IBC/RCS (WBE)
  - g. Commercial Doors and Hardware Supply - Design Supply Doors (WBE)
  - h. Joint Sealants – Flynn
  - i. Firestopping – Flynn
  - j. Spray Fireproofing – K-Building
  - k. Standard Wall and Roof Panels – Standard Sheet Metal
  - l. Painting and Floor Sealer – MVP Painting
  - m. Laundry Equipment - Loomis
  - n. Asphalt - Superior Bowen
  - o. Glazing – AGP (WBE)
  - p. Elevators – Otis Elevators
  - q. Pre-Fabricated Canopies – Cannon (VBE)
  - r. Operable Partitions – Facility Specialties
  - s. Misc. Division 10 Supply – Design Supply (WBE)
  - t. Final Clean – Woodley (WBE)
  - u. Tile – Metro Tile
  - v. Carpet – Regents (WBE)
  - w. Fencing – Collins and Herman
  - x. Landscaping – Blue Cedar (WBE)
  - y. Joint Covers – Red Construction (VBE)
8. The GMP includes JE Dunn Construction, Axiom JV as a 90%/10% joint venture. Axiom's 10% of the JE Dunn Construction, Axiom JV revenue for the overall GMP will be counted as MBE participation.
9. Included in the GMP is a full-size cell mock-up to be reviewed at the cell module plant.
10. Included in the GMP is a functional exterior elevation mock-up that will include precast, curtain wall/glass, and other skin components that can be tested for functionality on site.
11. The final Contractor Utilization Plan through Component Package 3 has been provided as detailed in Exhibit 8.
12. Component Package 2A details work that pertains to engineering, detailing, mockups, and early procurement of long lead material that are directly tied to this GMP submission.
13. Component Package 2B and 2C details work that pertains to the 100% Design Development Documents and the trade partners selected in General Inclusion Item No. 07 above.
14. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% CDs and is contingent on the approval of Component Package 4 – Furniture, Fixtures, and Equipment/Technology package being approved by the County Legislature and incorporated into the final GMP via Contract Amendment.

15. The GMP includes permit fees for permits required by the City of Kansas City and agreed upon through the approved MOU between Jackson County and the City of Kansas City dated 08.04.2023. Any permits through Jackson County will be funded by the County and not through project costs.

16. This GMP includes the Contingency items listed in Exhibit 2. Upon approval of Component Package 4 Items 24 (Master Clock Infrastructure), Item 25 (Communications/Cabling Infrastructure), and Item 26 (Added Floor Boxes) will be reconciled. \$727,715 will be distributed back to General Contractor Contingency and 176,092 will be distributed to Mark One Electric for the cost of this infrastructure work required for Component Package 4. Items associated with Component Package 4 still remain separate and are not included in this Component Package 3 update other than miscellaneous infrastructure included in the documents delineated in the Construction Drawings (Exhibit 3).

17. Per the final Exhibit 8 – Contractor Utilization Plan, Component Package 3 is estimated to include 23.68% MBE, 16.44% WBE, and 0.50% VBE.

#### **Program / Design Criteria Package Clarifications**

1. Programmatic and Design Criteria Clarifications have been captured in the 100% Design Development documents and were previously clarified in the 03.14.2023 GMP Proposal.
2. Proposal based upon the use of Cornerstone Detention to produce Modular Precast Concrete cells per spec section 13 34 23. Modules will be constructed at a remote job site that will not be PCI or NPCA certified.
3. Proposal is based upon the use of Enterprise Precast for architectural and structural precast panel supply and hollow-core and double-Tee supply. All production facilities are PCI certified.

#### **Sitework**

1. One entrance off US Highway 40 is included in the design. Two entrances off Ewing Avenue are provided.
2. Finished Floor Elevation is assumed to be at 762.50, which is 1'.5" above the 500-year floodplain.
3. Per the geotechnical report conducted by CFS, alluvial soils are present on site due to the nature of the Blue River. Due to this, there is a long-term settlement concern that will require the use of prefabricated vertical drains (Wick Drains) to be installed under the building footprint and locations at site utilities. The GMP currently includes a wick drain triangular spacing of 4' underneath the building footprint and wick drain 9' triangular spacing under all other hardscapes. Wick Drain spacing correlates with the amount of time the existing fill will need to settle prior to construction activities proceeding.
4. The water meter vault has been included in this GMP. The water meter assembly should be procured by Jackson County through the city/local utility company and installed once all fees are paid.



## **Foundations and Structure**

1. Various load bearing precast panels have been adjusted to sit on slab-on-grade via a recessed-V bolted connection. These adjustments will be captured in Addendum No. 01 of the Early Footings and Foundation Construction Documents.
2. All double tees will be 32" in depth with an additional 2" pre-topping. Grouting of double tee joints should not be required and is not included in this GMP.
3. Hollow-core slabs will be a combination of 8", 10" and 12" thick based on the required spans and joints will be grouted.
4. A 1 pass power trowel smooth finish will be provided on the interior face of walls, columns, beams, and slabs. Grade A finishes have not been included in this GMP.

## **Enclosure and Roofing**

1. GMP includes an adhered gray Thermoplastic-Polyolefin (TPO) roof that achieves a minimum R-value of 30. This includes a 2.7" base layer of Polyiso with tapered insulation. Our teamed trade partner Flynn has confirmed a vapor barrier is not required to provide a full warranty with a gray TPO roof on this project.
2. The independent sill flashing shown at storefront locations is not included in this GMP. Per the industry and quality control experts, the integral subsill pan flashing is all that is required at these openings and manufacturers will void their warranty if independent flashing is added due to thermal transfer and water infiltration concerns. These details will be revised on a future addendum.

## **Partitions and Finishes**

1. No bullet-resistant partitions (Type U) or metal studs with security mesh (Type T) have been included in this GMP – Component Package 2B/2C update. Bullet Resistant panels have only been estimated in finished millwork at the lobby and courtrooms.
2. No SCA-P Security Metal Pan ceilings have been included, locations currently shown on the 100% Design Development Drawings will be regular non-secure ACT ceilings as previously discussed prior to GMP approval. The areas shown are in direct supervised areas and the ceiling heights are above the typical 10' security threshold.
3. Level 5 drywall finishes have been included in the Courtrooms as identified in the specifications.
4. Murals shown in the dayroom are not included in the GMP, these are considered to be part of the Fixtures, Furniture, Equipment and Technology Scope of Work that is not included in this GMP.
5. (2) Four-Fold hydraulic doors with solid panels have been included at the Vehicle Sallyport. No additional coiling doors have been included.
6. 2-hour and 1-hour drywall ceiling assemblies to be constructed of horizontal shaft wall per AER-09038.
7. Galvanized powder coated steel fire/smoke counters and coiling doors are included in this GMP.

### **Specialties, Equipment and Furnishings**

1. We have included nurse call functionality at locations as indicated through the use of detention intercom systems.
2. Laundry equipment space has been sized for a total inmate population of approximately 1,800 and is based on a 5-day week operation, 35 hours, with inmate clothing changes 3 times a week, bed linens 1 change a week, terry goods 3 changes a week, and miscellaneous items 2 changes a week. GMP currently includes 4 – 160 pound, 1 – 105 pound, and 1 – 45 pound washer/extractors and 5 – 170 pound and 1- 45 pound dryers. This is based on the 1256 bed count and additional washer/extractors and dryers would be needed at the time of expansion.
3. The kitchen is designed to prepare breakfast, lunch, and dinner for an initial population of 1,256 plus staff with MEP provisions for future expansion of up to 500 additional inmates. Additional equipment will be needed for expansion beyond the 1,256-bed count. The kitchen will function as a cook to serve with tray make-up using insulated trays delivered in carts.

### **Mechanical, Plumbing and Fire Sprinkler**

1. The 4-pipe water chilled hydronic HVAC System selection was based on utilizing the Federal Energy Management Program (FEMP) Building Life Cycle Cost methodologies and has been followed over a max 40-year study lifecycle with replacement costs applied at year 20. Input has been received from our Mechanical teamed trade partner on initial costs, maintenance costs, and replacement costs.
2. Mechanical Equipment located on the roof is currently screened with taller parapet precast walls. No decorative metal screening has been included in this GMP.
3. A pre-action Fire Sprinkler system has been included in this GMP at the SEC/IDF/MDF rooms.
4. Per meeting with Jackson County AHJ, no fire suppression has been included in this GMP for the outdoor recreation areas.
5. Only (1) fire sprinkler head has been included in each cell per the approval of the Jackson County AHJ within RFI-0011 Cell Fire Sprinkler Head.
6. This GMP assumes the following manufacturers for Central Utility Equipment:
  - a. Boilers – AES (Reference Exhibit 2 for cost premium)
  - b. Chillers – Smardt
  - c. Cooling Towers – AES (Reference Exhibit 2 for cost premium)
    - i. The AES Owner selected Cooling Towers are not CTI Certified and do not have an FM Global Approval as indicated in the Design Criteria Package.

### **Electrical/Low Voltage/Security Systems**

1. The GMP includes utilizing a Milestone video management server with Hanwha cameras.
2. Reference the attached Exhibit 9 – JCDC Systems Responsibility Matrix for additional clarity regarding delineation between this proposal and Owner provided work.
3. Only rough-in (conduit) has been included for the distributed antenna system (DAS)- DAS is an item identified in the Fixtures, Furniture, Equipment and Technology Scope of Work that is not included in this GMP but will be added via Component Package 4 through a contract amendment.
4. Only rough-in (conduit) has been included for the Internet Service Providers fiber into Room A312 per note 6 on Drawing TEU1.0.

**Exclusions:**

1. Costs associated with delays resulting from adjacent project operations and infrastructure work, which is not a part of, or under control of, this Design/Builder.
2. State, County, and Local Sales or Use Taxes.
3. Financing Costs.
4. Property acquisition costs and fees.
5. Guard services or security services.
6. Demolition of existing buildings and site infrastructure, including existing power poles. This GMP includes site clearing and demolition of existing mobile home pads.
7. Removal of unforeseen structures or obstructions.
8. All utility service line extensions to the project site including domestic water, fire suppression, sanitary sewer, storm sewer, electric, natural gas, and fiber/telecommunications. All utility service company capital costs, development fees, tap/service connection fees, investment fees, inspection fees, or charges of any kind are excluded. Coordination with responsible utility providers is assumed to be by JCDC or Jackson County.
9. Water meter assembly.
10. On-site natural gas main line to the meter and gas meter assembly.
11. Labor to unload or install Owner furnished equipment, and dumpsters for pallets, crating and packaging.
12. Environmental study of any kind.
13. Hazardous material abatement.
14. Commissioning and specialty consultants.
15. Rental of adjacent property or construction staging/parking.
16. Laboratory mockups: Full-size project specific physical assemblies constructed and tested at a testing facility to verify performance characteristics.
17. 08 62 00 Unit Skylights:
  - A. 1.3, A Fall Protection (All units have security bars, deemed not required). Not needed as the skylights have security bars incorporated and act as fall protection devices.
18. 07 72 00 Roof Accessories:
  - A. A1.2, A.4 Integral Spring-type vibration isolators. Presumed that this this is covered with mechanical specifications.
  - B. 1.2, A.5 Wind Restraint Straps
  - C. 1.2, B.4 Wind Restraint Straps
19. 1.2, J Roof Walkway: Formed from aluminum sheet. Standard roof walking pads have been included in the roof spec. 08 62 00 Unit Skylights:
  - A. 1.3, A Fall Protection (All units have security bars, deemed not required)
20. Clerestory windows.
21. Operable windows at dayroom or recreation areas. Recreation areas have access to fresh air via partial woven wire rod ceiling enclosure assembly.
22. Intake Vehicle Sallyport calls for physical separation between law enforcement vehicles and inmates with the sallyport. The program does not support this requirement. We have excluded this physical separation.

23. The traffic signal or associated modifications at US HWY 40. Traffic Study suggests the new Detention Center will not need a traffic light. If there is a new facility built (i.e., Sheriff's Office) on the current development the traffic study will have to be reviewed and mostly likely will require a traffic signal.
24. Grade A finish for interior face of precast walls, columns, beams, or flat slabs provided by Enterprise Precast.
25. A Redundant HVAC system at the Vehicle Sallyport. We have excluded this from our proposal. HVAC for the Intake Vehicle Sallyport will be heat and vent only.
26. Slab snow melt system at Intake Vehicle Sallyport. This is an interior heated space, so we have excluded this from our proposal.
27. Medical headwall units at Infirmary Cells. Based upon discussions with JCDC Partners we have excluded headwalls and have provided room for bottle storage near the Infirmary.
28. Bullet Resistant Glazing at exterior of building including primary entrance and judge's offices.
29. Area of refuge enclosed fence area. In almost every instance, evacuation required at housing units will be accomplished from one space to an adjacent housing space.
30. Cost of construction for the Gas Utility Service Provider to extend services to the meter location located adjacent to the Central Utility Plant. This includes the cost of the meter itself.
31. Cost of construction for the Electrical Utility Service Provider to extend services to the transformer location. This includes the cost of the transformers itself and any duct banks required.
32. Dumbwaiters.
33. Wheelchair Lifts.
34. Vol. 2, Spec Section 13 42 23 requirement that production facility shall be certified by PCI or NPCA.
35. Rooftop mechanical penthouse. Equipment shall be roof mounted and have enclosures for hydronic piping where required.
36. Stainless steel partitions and doors at coolers and freezers. We exclude stainless steel partitions and doors and have included cooler/ freezer manufacturers standard insulated wall assembly with galvalume face panels.
37. Glazed wall between Break/Dining/Vending and adjacent. Room configuration does not support this.
38. Access floor at courtroom well spaces.
39. Automatic glass sliding doors at staff and public entry vestibule. We have provided aluminum storefront entrance doors with ADA operators as required.
40. Cart washing machine as indicated per room data sheet J 921. We have included a cart washing area with hose reel and floor trough.
41. OFOI Fixtures, Furnishings and Equipment including but not limited to the following:
  - A. Exterior tables and chairs per RDS C 316 Break/Dining/Vending
  - B. Trash Compactor and Dumpsters
  - C. Vending Machines
  - D. Dental equipment including lab equipment, dental chairs, compressor, vacuum system, x-ray equipment, x-ray viewers and custom radiology dental casework. (We have included rough in of utilities and final connections after installation).
  - E. Exam room tables with fixed vital station

- F. Hospital Beds
- G. Automatic chemical dispenser system for laundry equipment. We have included laundry equipment equipped to receive chemicals from the Owner provided system.
- H. Janitor Closet Chemical Dispensers
- I. Lobby Queuing system stanchions
- J. Open detention moveable seating
- K. Wellness room fitness equipment including treadmills, elliptical machines, stationary bikes, stair masters, free weights/bars, and squat racks.
- L. Ozone Sanitation Cabinets
- M. Metal Shelving and Storage Racks
- N. Property Storage Rack, Property Storage Bags, Property storage Shelving, Property Storage Bins and Secure Property Storage Cabinets.
- O. CERT Equipment Lockers and Storage Cabinets
- P. Residential Appliances (Refrigerators, Medical Storage Freezer, Commercial washer/dryer at Inmate Property Storage and Locker Rooms, Microwaves.
- Q. Movable public seating
- R. Tables, chairs, children's chairs, children's tables, movable sofas, lounge chairs, coffee tables, worktables, work benches, Library tables, library chairs, interior courtroom flagpoles and bases.

42. Audio Visual and IT equipment including but not limited to the following:

- A. Telephones and VOIP Phone Devices
- B. Video Visitation Equipment/ Video Visitation Kiosks
- C. Inmate Phone System
- D. Video Conferencing Equipment- includes inmate system and tele-med/psych/courts system
- E. Televisions and AV Flat Panels Displays and associated mounting brackets
- F. Lobby Electronic Information Monitors
- G. Interactive Wayfinding Digital Signage
- H. Courts presentation system, electronic docket system, evidence presentation system, court recording system (JAVS)
- I. Ceiling projectors
- J. Printers
- K. Cash bond (Bonding) Kiosk
- L. Visitation Appointment Kiosk
- M. Money Deposit-Inmate Accounting Kiosk
- N. Magnetometers
- O. Metal detectors
- P. Body Scanners
- Q. X-Ray Machines

43. Nurse Call/ Code Blue System per Spec section 27 52 23. See clarifications for nurse call functionality provided via detention grade intercom system.

44. We have excluded motion detectors at rear chases because we have included door control to limit movement from inside to outside the secure perimeter at all rear chase locations.

45. Special Inspections. Provided by the Owner

46. Mechanical, electrical, and plumbing equipment decorative metal screening.



47. A centralized UPS system.
48. Engineering, wiring, and devices for the distributed antenna system (DAS).
49. Sizing of generators for future expansion.
50. Sound attenuating enclosures for Emergency Generators.
51. Building FAA Permit
52. Floodplain Development Permit
53. Conditional Letter of Map Revision Permit (CLOMR-F)
54. Drop down vinyl curtain in 16-person Group Holding Cells.
55. Harmonic Filtration at individual VAVs.
56. Smoke Control systems at Intake and Transportation.
57. Full-Size courtroom mock-ups.
58. Stainless Steel fire/smoke counter and coiling doors.
59. Addendum No. 05, including any required saw-cutting of slab-on-grade or precast require for added owner requested items.
60. US Highway 40 modifications to add a left-turn lane and signal from US Highway 40 onto Ewing Avenue or aligning Ewing Avenues entrance with Westport road's entrance Including any costs associated with adjusting right of ways or utilities, such as relocation of existing light/power poles, AT&T Fiber lines, or storm sewer systems that currently exist.
61. Costs/Deducts associated with comments on the CATV/Video Viewing stations adjustments requested from JCMO/JCDC Partners received the week of June 24<sup>th</sup>, 2024.
62. Costs associated with coordination on CATV networked option required for the current CATV infrastructure.
63. Audio recording at cameras. Per the originally Room Data Sheets, audio recording capabilities were to be available through the intercom system, which is what is currently designed.

**End of Exhibit 7**

# Exhibit 8

| Jackson County MBE/WBE - 06.28.2024 - Component Package 3 |                                  |                                                |                 | MBE/WBE Percentages |       |       | MBE/WBE Percentages on Total Cost (301,162,067) |        |       | MBE/WBE Costs |               |              |
|-----------------------------------------------------------|----------------------------------|------------------------------------------------|-----------------|---------------------|-------|-------|-------------------------------------------------|--------|-------|---------------|---------------|--------------|
| Division Number                                           | Scope                            | Company Name                                   | Estimated Price | MBE                 | WBE   | VBE   | MBE                                             | WBE    | VBE   | MBE           | WBE           | VBE          |
| Misc.                                                     | DLR Group                        | Design (Branch Pattern, T&B, Wellner, KH, FSC) | \$ 17,658,808   | 23%                 | 6%    | 0     | 1.68%                                           | 0.40%  | 0     | \$ 4,059,482  | \$ 1,045,000  | \$ -         |
| 1                                                         | Final Clean                      | Woodley Building Maintenance                   | \$ 481,300      | 100%                | 0%    | 0.0%  | 0.16%                                           | 0.00%  | 0.00% | \$ 481,300    | \$ -          | \$ -         |
| 3                                                         | Design Build Joint Venture       | Axiom Construction                             | \$ 301,162,067  | 10%                 | 0%    | 0.0%  | 10.00%                                          | 0.00%  | 0.00% | \$ 30,116,207 | \$ -          | \$ -         |
| 3                                                         | Precast - Supply                 | Enterprise                                     | \$ 19,442,934   | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 3                                                         | JE Dunn SP                       | Concrete, Precast, Masonry, Misc Steel,        | \$ 41,832,538   | 14.25%              | 11%   | 0.50% | 1.98%                                           | 1.53%  | 0.07% | \$ 5,961,137  | \$ 4,601,579  | \$ 209,163   |
| 5                                                         | Structural Steel                 | Kansas City Structural                         | \$ 2,782,099    | 5.00%               | 11%   | 0.0%  | 0.05%                                           | 0.10%  | 0.00% | \$ 139,105    | \$ 306,031    | \$ -         |
| 6                                                         | Rough & Finish Carpentry         | IBC/RCS                                        | \$ 1,813,021    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.60%  | 0.00% | \$ -          | \$ 1,813,021  | \$ -         |
| 6                                                         | Casework Supply                  | IBC/RCS                                        | \$ 1,482,843    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.49%  | 0.00% | \$ -          | \$ 1,482,843  | \$ -         |
| 7                                                         | Spray Fireproofing               | K Bldg Specialties                             | \$ 592,689      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Metal Wall Panels                | SSM                                            | \$ 688,249      | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Roofing                          | Flynn                                          | \$ 8,889,293    | 28.50%              | 0%    | 0.5%  | 0.84%                                           | 0.00%  | 0.01% | \$ 2,533,449  | \$ -          | \$ 44,446    |
| 7                                                         | Joint Sealant / Firestopping     | Flynn                                          | \$ 1,632,900    | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Firestopping                     | Flynn                                          | \$ 608,740      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% |               | \$ -          | \$ -         |
| 8                                                         | Commercial Door Supply           | Design Supply Doors                            | \$ 2,712,000    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.90%  | 0.00% | \$ -          | \$ 2,712,000  | \$ -         |
| 8                                                         | Commercial Glass                 | AGP                                            | \$ 1,602,918    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.53%  | 0.00% | \$ -          | \$ 1,602,918  | \$ -         |
| 8                                                         | Hydraulic Fold Doors             | Acme Dock                                      | \$ 228,496      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Drywall                          | E&K                                            | \$ 5,608,269    | 0%                  | 0%    | 8.3%  | 0.00%                                           | 0.00%  | 0.15% | \$ -          | \$ -          | \$ 462,682   |
| 9                                                         | Resinous Flooring                | Musselman and Hall                             | \$ 674,682      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Resilient Floor and Carpet       | Regents Floorings                              | \$ 846,447      | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.28%  | 0.00% | \$ -          | \$ 846,447    | \$ -         |
| 9                                                         | Tile                             | Metro Tile                                     | \$ 365,067      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Painting                         | MVP                                            | \$ 2,129,510    | 15.0%               | 0.0%  | 0.0%  | 0.11%                                           | 0.00%  | 0.00% | \$ 319,427    | \$ -          | \$ -         |
| 10                                                        | Miscellaneous Specialties Supply | Design Supply Doors                            | \$ 942,074      | 0.00%               | 90%   | 10.0% | 0.00%                                           | 0.28%  | 0.03% | \$ -          | \$ 847,867    | \$ 94,207    |
| 10                                                        | Specialties                      | Loomis Bros.                                   | \$ 313,413      | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 10                                                        | Athletic Equipment               | JED SP                                         | \$ 225,467      | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 11                                                        | Food Service Equip               | Tri-Mark/Hockenbergs                           | \$ 2,440,990    | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 11                                                        | Precast Cells                    | Cornerstone (Axiom Construction)               | \$ 19,403,624   | 18.0%               | 0%    | 0.5%  | 1.16%                                           | 0.00%  | 0.03% | \$ 3,492,652  | \$ -          | \$ 97,018    |
| 11                                                        | Detention                        | CML                                            | \$ 16,356,756   | 17.50%              | 0%    | 0.5%  | 0.95%                                           | 0.00%  | 0.03% | \$ 2,862,432  | \$ -          | \$ 81,784    |
| 12                                                        | Operable Partitions              | Facilities Specialties                         | \$ 76,652       | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 14                                                        | Elevators                        | Otis                                           | \$ 354,400      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 21                                                        | Fire Sprinkler                   | American Fire Sprinkler                        | \$ 3,456,140    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 1.15%  | 0.00% | \$ -          | \$ 3,456,140  | \$ -         |
| 22                                                        | Mechanical/Plumbing              | USE                                            | \$ 48,747,790   | 26.30%              | 2.2%  | 0.5%  | 4.26%                                           | 0.36%  | 0.08% | \$ 12,820,669 | \$ 1,072,451  | \$ 243,739   |
| 26                                                        | Electrical                       | Mark One                                       | \$ 28,135,932   | 0.00%               | 99.5% | 0.5%  | 0.00%                                           | 9.30%  | 0.05% | \$ -          | \$ 27,995,252 | \$ 140,680   |
| 28                                                        | SEC                              | Cornerstone                                    | \$ 14,955,469   | 29.00%              | 0%    | 0.5%  | 1.44%                                           | 0.00%  | 0.02% | \$ 4,337,086  | \$ -          | \$ 74,777    |
| 31                                                        | Mass Ex.                         | Kissick Con.                                   | \$ 10,841,365   | 24.00%              | 4.5%  | 0.5%  | 0.86%                                           | 0.16%  | 0.02% | \$ 2,601,928  | \$ 487,861    | \$ 54,207    |
| 32                                                        | Landscaping and Irrigation       | Blue Cedar                                     | \$ 741,340      | 0.00%               | 100%  | 0.0%  | 0.00%                                           | 0.25%  | 0.00% | \$ -          | \$ 741,340    | \$ -         |
| 32                                                        | Fence                            | Collins & Hermann                              | \$ 677,750      | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 32                                                        | Asphalt                          | Superior Bowen                                 | \$ 1,453,510    | 0.00%               | 15%   | 0.0%  | 0.00%                                           | 0.07%  | 0.00% | \$ -          | \$ 218,027    | \$ -         |
| 33                                                        | Utilities                        | Kissick                                        | \$ 2,485,522    | 24.00%              | 4.5%  | 0.50% | 0.20%                                           | 0.04%  | 0.00% | \$ 596,525    | \$ 111,848    | \$ 12,428    |
| Misc.                                                     | JE Dunn Estimate's               | Misc. (Unit Price/ Estimate)                   | \$ 658,852      |                     |       |       | 0.00%                                           | 0.00%  | 0.00% |               |               |              |
|                                                           |                                  | Subtotal                                       | \$ 264,339,849  |                     |       |       | 23.68%                                          | 16.44% | 0.50% | \$ 70,321,398 | \$ 49,340,626 | \$ 1,515,131 |

**MBE = 23.68%; WBE = 16.44%; VBE = 0.50%**

# Exhibit 9

[illegible]

[illegible]

[illegible]



[illegible]

|                                                                                                     | Owner<br>Furnish | Owner<br>Install | Electrical<br>Contractor<br>Furnish | Electrical<br>Contractor<br>Install | Security<br>Electronics<br>Contractor<br>Furnish | Security<br>Electronics<br>Contractor<br>Install | Plumbing<br>Contractor<br>Furnish | Plumbing<br>Contractor<br>Install | Module<br>Supplier<br>Furnish | Module<br>Supplier<br>Furnish | Detention<br>Contractor<br>Furnish | Detention<br>Contractor<br>Install | Comm. HM<br>Contractor<br>Furnish | Comm. HM<br>Contractor<br>Install | Rough<br>Carp F&I |
|-----------------------------------------------------------------------------------------------------|------------------|------------------|-------------------------------------|-------------------------------------|--------------------------------------------------|--------------------------------------------------|-----------------------------------|-----------------------------------|-------------------------------|-------------------------------|------------------------------------|------------------------------------|-----------------------------------|-----------------------------------|-------------------|
| End User Equipment AV                                                                               |                  |                  |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| Telephones including licensing and cabling from wall outlet/jack                                    | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| Computers/Workstations for Non-Building Systems-includes software and cabling from wall outlet/jack | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| Surge Protectors At workstations/equipment                                                          | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| TVs                                                                                                 | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| TV Mounting Brackets                                                                                | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| Cables from Wall Outlets/Jacks to Tvs                                                               | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
| Wbex Room Kit -Including cabling from wall outlet/Jack                                              | X                | X                |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |
|                                                                                                     |                  |                  |                                     |                                     |                                                  |                                                  |                                   |                                   |                               |                               |                                    |                                    |                                   |                                   |                   |

End of Exhibit 9

End of Attachment A

## **Guaranteed Maximum Price Contract Modification for**

### **Project No. 7-22**

#### **Jackson County Detention Center Facility**

TO: Jackson County, Missouri

In accordance with Sections 1.1.6, 3.2.2, and 4.1 of the Design/Build Agreement dated May 19, 2022, Project No. 7-22, Jackson County Detention Center Facility the undersigned offers to provide all services, labor and material to perform in accordance with Contract Documents construction of the Project described in the FF&E Design Submittal set forth in Attachment A, Exhibit 3 as further clarified by the terms of this Amendment, including the Exhibits, prepared by DLR Group, inc., the Design Professional, and Design Development Documents and Construction Documents to be hereafter prepared by the Design Professional in accordance the Design/Build Agreement (the "Work"), for a Guaranteed Maximum Price \$ **315,212,760**.

The undersigned guarantees the Substantial Completion of the Work on or before February 12th, 2026.

The undersigned guarantees the Final Completion of the Work on or before March 12<sup>th</sup>, 2026.

The Guaranteed Maximum Price of \$ **315,212,760** is comprised of the following components:

|                                                                                             |                       |
|---------------------------------------------------------------------------------------------|-----------------------|
| 1. Estimated Cost of Work                                                                   | <b>\$ 301,266,750</b> |
| 2. Construction Contingency                                                                 | <b>\$ 5,157,591</b>   |
| 3. Design/Owner Contingency                                                                 | <b>\$ 1,798,243</b>   |
| 4. Design/Builder's Fee                                                                     | <b>\$ 6,990,176</b>   |
| 5. Design/Builder's Maximum General Conditions Costs<br>As a Percentage of the Cost of Work | <b>5.20%</b>          |
| <b>TOTAL (Guaranteed Maximum Price)</b>                                                     | <b>\$315,212,760</b>  |

The estimated Cost of Work includes the values listed in Attachment A, Exhibit 1. The estimated Cost of Work (but not the Design Builder's Contingency or Fee) is subject to increase to the extent Actual Cost for the Work covered by contingencies exceed the amount set forth in Attachment A, Exhibit 1. In addition to the foregoing:

- a. The Guaranteed Maximum Price does not include the trades, Work categories, or other items listed on Attachment A, Exhibit 7 "Exclusions."
- b. The Contract Documents, including the list of Drawings and Specifications upon which the Guaranteed Maximum Price is based, are listed in the attached Attachment A, Exhibit 3.
- c. The Master Schedule upon which the increase of the Guaranteed Maximum Price is based is attached as Attachment A, Exhibit 4. This schedule is in addition to the Attachment A, Exhibit 4 of Component Package 3.
- d. The revised Project Budget, listing the items which comprise the Guaranteed Maximum Price increase, is attached as Attachment A, Exhibit 1.
- e. Attachment A, including Exhibits 1 through 9, are part of this proposed GMP Contract Modification and are incorporated herein by reference.
- f. The Substantial Completion Date, Final Completion Date, and the Guaranteed Maximum Price set forth in this Contract Modification are subject to adjustment in the manner provided by the Design/Build Agreement.

This GMP Proposal is submitted as the proposed GMP Contract Modification pursuant to Article 4 of the Design/Build Agreement. The terms of the Design Build Agreement are incorporated herein by reference.

Upon acceptance of this GMP Proposal, Section 5.11 of Attachment B to the Agreement is modified to state: “The costs charged against the Design/Builder’s contingency in accordance with Sections 8.1 and 8.2 of the Agreement.”

The undersigned agrees that this GMP Proposal, as a Contract Modification, together with the Notice of Acceptance, is the Design/Builder’s proposal for an amendment to the Design/Build Agreement for the performance by the undersigned of the Work for the above-stated compensation in accordance with the Master Schedule and to be completed by the Final Completion Date in accordance with the Contract Documents and shall constitute an amendment to the Design/Build Agreement by Contract Modification, if approved and agreed upon by the Owner.

In preparing the Guaranteed Maximum Price, the undersigned represents that it has visited the Site and familiarized itself with the conditions under which the Work described in the Contract Documents is to be performed and correlated our observations with the requirements of the Contract Documents.

DATED: July 23<sup>rd</sup>, 2024.

J.E. DUNN – AXIOM, A JOINT VENTURE  
Design/Builder

By: Jeff Jenkins

Name: Jeffery Jenkins

Title: Vice President

**Jackson County, Missouri**

\_\_\_\_\_  
**County Executive** (*Signature*)

\_\_\_\_\_  
(*Printed Name*)

\_\_\_\_\_  
**County Counselor** (*Signature*)

\_\_\_\_\_  
(*Printed Name*)

June 28th, 2024

Mr. Troy Schulte  
Jackson County, Missouri  
415 E 12<sup>th</sup> Street  
Kansas City, MO 64106

# Attachment A

Re: Jackson County Detention Center  
Guaranteed Maximum Price (GMP) – Component Packages 4

Dear Troy,

We are pleased to present Jackson County with Component Package 4 that includes the Fixtures, Furniture, Equipment, and Technology scopes of work. Due to the hard work of our teams, we have finalized this work package that will result in a GMP increase of **\$14,050,693 (Fourteen Million, Fifty Thousand, and Six Hundred and Ninety-Three Dollars)**. This equates to almost \$1,000,000 in savings to the previously communicated budget for the work highlighted in Component Package 4, see attached Exhibit 1 – GMP for Component package 4 for a line-by-line accounting of this additional GMP work and the additional supporting documents highlighted below.

The following supporting documents have been reviewed by JCDC, the Owner's Representative, and are attached for your approval.

- Exhibit 1 - (3.2.2.4.3.2) GMP for Component Packages 1, 2A, 2B, 2C, 3 (1 Page)
- Exhibit 2 – Owner Contingency Log (1 page)
- Exhibit 3 – List of Drawings/Contract Documents (1 page)
- Exhibit 4 - (3.2.2.4.3.1) Master Schedule (1 page)
- Exhibit 5 – Sequence Map (1 page)
- Exhibit 6 – Logistics Plan (1 page)
- Exhibit 7 - GMP Clarifications (3 pages)
- Exhibit 8 - (3.2.2.4.6) Contractor Utilization Plan/MWBE Strategy (1 pages)
- Exhibit 9 – JCDC FFE/Technology Matrix (4 pages)

In order to hold trade partner (subcontractor) pricing reflected in this GMP proposal, Jackson County approval is needed no later than August 30<sup>th</sup>, 2024.

Upon receiving written approval of this GMP for Component Package Contract Modification proposal JE Dunn + Axiom will forward the Guaranteed Maximum Price Contract Modification for execution and begin issuing subcontracts to our trade partners.

Sincerely,



Jeff Jenkins  
Project Director, JE Dunn + Axiom  
Cc: Job/File

Jackson County, Missouri

JCDC Partners LLC

Approved: \_\_\_\_\_ Date \_\_\_\_\_

Recommended: \_\_\_\_\_ Date \_\_\_\_\_



# Exhibit 1

## Component Package 4 - FFE and Technology

| Scope of Work                             |                                        | Bids/ Budgets     |
|-------------------------------------------|----------------------------------------|-------------------|
| GCs                                       |                                        | 730,636           |
| Cost of Work                              |                                        | 759,854           |
| Design                                    |                                        | 909,080           |
| Fixtures, Furniture, and Equipment        | Freedom Interiors                      | 3,369,324         |
| DT, MD, SE, and ST Items                  | JED - Purchase Order Procurement       | 1,758,769         |
| Technology Infrastructure                 | Mark One                               | 903,808           |
| Masterclock System                        | Aptitude                               | 89,106            |
| DAS System                                | Aptitude                               | 2,399,013         |
| SEC/IDF Components                        | Aptitude                               | 84,280            |
| Ceiling Projectors                        | Aptitude                               | 108,000           |
|                                           |                                        |                   |
|                                           |                                        |                   |
| <b>Escalation to 2025 Q3</b>              |                                        | <b>160,289</b>    |
| <b>Design Contingency (3%)</b>            |                                        | <b>401,448</b>    |
| <b>Design Builder Contingency (5%)</b>    |                                        | <b>555,593</b>    |
| <b>Bonds and Insurance</b>                |                                        | <b>515,192</b>    |
| <b>Fee</b>                                |                                        | <b>637,220</b>    |
|                                           |                                        |                   |
|                                           | <b>Total without Owner Contingency</b> | <b>13,381,613</b> |
|                                           |                                        |                   |
| <b>Owner Contingency (5%) - \$666,428</b> | <b>Total with Owner contingency</b>    | <b>14,050,693</b> |

# Exhibit 2

## 22026200 - Jackson County Detention Center PCI & Contingency Summary 7/10/24

|                                               | Description                                                                                                                                                    | Design/Owner Contingency | Amount       | Due Date  | Y/N | Comments                                                                                                                                                                                                                                        |
|-----------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------|-----------|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Potential Change Items</b>                 |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | Recreation Yards - Insect Screening SS Wire Cloth                                                                                                              | Owner                    | \$ 463,000   |           | N   | Not desired by client due to costs.                                                                                                                                                                                                             |
| 2                                             | Recreation Yards - 2" square to 1" square                                                                                                                      | Owner                    | \$ 120,000   |           | N   | Per JCDC/JCMO. 07.01.2024                                                                                                                                                                                                                       |
| 3                                             | Added Duress Buttons - 95% Comments                                                                                                                            | Owner                    | \$ 12,150    |           | Y   | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum and final price be reconciled with that Addendum.                                                                                                              |
| 4                                             | Audio Recording at Cameras                                                                                                                                     | Owner                    | \$ 642,600   |           | TBD | JCMO/JCDC confirming intent. Once confirmed JED will price accordingly. Cost prohibitive depending on Scope.                                                                                                                                    |
| 5                                             | Additional WiFi Coverage                                                                                                                                       | Owner                    | \$ 360,000   |           | TBD | Will be priced within Addendum No. 05                                                                                                                                                                                                           |
| 6                                             | Added Cameras at Cash Transactions                                                                                                                             | Owner                    | \$ 12,750    |           | Y   | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.                                                                                                                                                               |
| 7                                             | Added Inmate Phones                                                                                                                                            | Owner                    | \$ 25,000    |           | TBD |                                                                                                                                                                                                                                                 |
| 8                                             | Release Door changed to DEC Doors                                                                                                                              | Owner                    | \$ 2,500     |           | Y   | JCDC/JCMO have given direction to modify the sallyport and door locations in lieu of storefront going to DEC door. Will be priced within Addendum No. 05.                                                                                       |
| 9                                             | CATV Additions - 95% Comments                                                                                                                                  | Owner                    | TBD          |           | Y   | CATV Comments from JCDC/JCMO being reviewed in conjunction with Addendum No. 05. Previous Rough Order of Magnitude locations has changed since the 95% comments.                                                                                |
| 10                                            | Card Readers at Existing Doors                                                                                                                                 | Owner                    | \$ 11,000    |           | TBD | Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.                                                                                                                                                               |
| 11                                            | Carpet in SP401                                                                                                                                                | Owner                    | \$ 5,000     |           | N   | Did not get added in Addendum No. 05                                                                                                                                                                                                            |
| 42                                            | 27" Camera Video Viewing Stations at Work Stations                                                                                                             | Owner                    | \$ 35,000    |           | Y   | CCTV Video Viewing station revisions being reviewed in addition to Addendum No. 05.                                                                                                                                                             |
| 13                                            | Media Outlet in Attorney Rooms                                                                                                                                 | Owner                    |              |           | Y   | Per JCDC/JCMO 07.01.2024, will have Design Team include in forthcoming Addendum.                                                                                                                                                                |
| 44                                            | Video Viewing Stations in Admin Deduct                                                                                                                         | Owner                    |              |           | N   | Awaiting direction from JCDC/JCMO to reconcile deductive costs. This would be to remove video viewing stations from offices located at Admin - 2nd Floor. Line item should be ignored due to line item 17 and comments received from JCDC/JCMO. |
| 16                                            | CATV and HDMI Changes 6/20/24                                                                                                                                  | Owner                    |              |           | TBD |                                                                                                                                                                                                                                                 |
| 17                                            | Video View Station Changes 6/20/2024                                                                                                                           | Owner                    |              |           | Y   | (-20) CCTV Workstations, 11 for sure changed to 27" monitors in lieu of 42. Awaiting final confirmation from JCDC Partners on revisions                                                                                                         |
| 18                                            | Addendum No. 05                                                                                                                                                | Owner/Design             |              |           |     |                                                                                                                                                                                                                                                 |
| 19                                            | Guardian Inmate Storage System and Room Expander 5                                                                                                             | FFE                      | \$ 35,000    | In Design |     | Requested by JCMO, need to confirm infra as the property system is 208V                                                                                                                                                                         |
| 20                                            |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 21                                            |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Owner (Approved) Change Items |                                                                                                                                                                |                          | \$ 73,400    |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Design Change Items           |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| TOTAL Potential Change Items                  |                                                                                                                                                                |                          | \$ 1,101,000 |           |     |                                                                                                                                                                                                                                                 |
| <b>Approved Design Contingency Items</b>      |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | Kissick - Balance of Environmental Oversight T+M                                                                                                               | Design                   | \$ 39,939    |           | Y   | Per 12.07 email on reconciliation of EXT-001                                                                                                                                                                                                    |
| 2                                             | CP 2B/2C Design Contingency Adjustment                                                                                                                         | Design                   | \$ 1,731,535 |           | Y   | Design Contingency credit to Owner Contingency                                                                                                                                                                                                  |
| 3                                             | Parking Gate Adjustments/Loop Detectors                                                                                                                        | Design                   | \$ 82,146    | In Design | Y   | Added gate arm for Fire Truck Access design                                                                                                                                                                                                     |
| 4                                             | Various Camera/SEC Adjustments: Cameras, DEC/SEC design adjustments, etc. (Additional Intercoms, Electric Locks, Call Buttons, and Added DEC/Commercial Doors) | Design                   | \$ 256,232   | In Design | Y   | Cost includes adjustments for approx. 30 additional intercoms, 35 electric locks, 3 duress buttons and 2 call buttons.                                                                                                                          |
| 5                                             | HSS Framing at Rec Yards                                                                                                                                       | Design                   | \$ 154,875   | In Design | Y   | Additional Beams needed for Expanded Mesh spans and structural design. Cost includes 26 added pieces and approximately 34,000 pounds of weight.                                                                                                 |
| 6                                             | Additional Cameras - Design Evolution                                                                                                                          | Design                   | \$ 96,157    | In Design | Y   |                                                                                                                                                                                                                                                 |
| 7                                             | Handrail at Officer Station                                                                                                                                    | Design                   | \$ 50,563    | In Design | Y   |                                                                                                                                                                                                                                                 |
| 8                                             | Vertical Insulation at Parapets                                                                                                                                | Design                   | \$ 111,980   | In Design | Y   | Adding mechanically fastened vertical insulation at                                                                                                                                                                                             |
| 9                                             | Added PC Column in Secure Storage                                                                                                                              | Design                   | \$ 10,721    | In Design | Y   | Reconciled via 100% CDs                                                                                                                                                                                                                         |
| 10                                            | Seismic Requirement for EV 2                                                                                                                                   | Design                   | \$ 35,700    | In Design | Y   | Reconciled via 100% CDs                                                                                                                                                                                                                         |
| 11                                            | Addendum No. 04 - Structural Steel Revisions/Added Trench Drain                                                                                                | Design                   | \$ 64,715    | In Design | Y   | Reconciled via 100% CDs.                                                                                                                                                                                                                        |
| 12                                            | Landscaping Adjustments                                                                                                                                        | Design                   | \$ 29,338    | In Design | Y   | Reconciled via 100% CDs. Adjusted drill seed to hydroseed at slopes, miscellaneous counts adjusted for plantings at signage.                                                                                                                    |
| TOTAL APPROVED Design Contingency Items       |                                                                                                                                                                |                          | \$ 2,663,901 |           |     |                                                                                                                                                                                                                                                 |
| Remaining Design Contingency                  |                                                                                                                                                                |                          | \$ -         |           |     |                                                                                                                                                                                                                                                 |
| <b>Approved Owner Contingency Items</b>       |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 1                                             | EV Charging Stations - (4) Charging Stations - Infrastructure Only                                                                                             | Owner                    | \$ 35,000    |           | Y   |                                                                                                                                                                                                                                                 |
| 2                                             | Kissick T+M NTE for Additional Fill                                                                                                                            | Owner                    | \$ 550,000   |           | Y   | JED released on 07.28                                                                                                                                                                                                                           |
|                                               | Ice Machines                                                                                                                                                   |                          | \$ 140,000   |           | Y   | Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associated power. Does not include BMS integration                                                          |
| 3                                             |                                                                                                                                                                |                          |              |           |     |                                                                                                                                                                                                                                                 |
| 4                                             | CERT Storage - CMU Partitions/Detention Doors                                                                                                                  | Owner                    | \$ 35,000    |           | Y   | Proceeding with changing in design, JED will follow-up with cost adjustments.                                                                                                                                                                   |
| 5                                             | Sallyport Options                                                                                                                                              | Owner                    | \$ 150,000   |           | Y   | Design has been modified for sallyports off the recreation yards.                                                                                                                                                                               |
| 6                                             | AES Boiler Premium                                                                                                                                             | Owner                    | \$ 37,442    |           | Y   |                                                                                                                                                                                                                                                 |
| 7                                             | AES Cooling Tower Premium                                                                                                                                      | Owner                    | \$ 31,943    |           | Y   |                                                                                                                                                                                                                                                 |
| 8                                             | Additional Office at Lobby                                                                                                                                     | Owner                    | \$ 50,000    |           | Y   | Approved on 11.15 per Dan W. Email                                                                                                                                                                                                              |

|    | Description                                                                                                    | Design/Owner Contingency | Amount         | Due Date   | Y/N | Comments                                                                                                                                                                                                                                                                                                                                                                                                 |
|----|----------------------------------------------------------------------------------------------------------------|--------------------------|----------------|------------|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9  | Courts Readjustments - SD and DD Phase                                                                         | Owner                    | \$ 40,000      |            | Y   | Approved on 11.15 per Dan W. Email                                                                                                                                                                                                                                                                                                                                                                       |
|    | Core Ready Mix - Prevailing Wage                                                                               | Owner                    | \$ 127,748     |            | N   | Removed on 03.21 per recent County correspondence and has been absorbed in the GMP.                                                                                                                                                                                                                                                                                                                      |
| 10 |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 11 | CP 2B/2C - Design Contingency Adjustment                                                                       | Owner                    | \$ (1,731,535) |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 13 | Lobby Atrium - Glass Hand Rail Options                                                                         | Owner                    | \$ 74,040      | 2.09.24    | Y   | AGP provided (2) options for increasing the glass railing height to 72". \$74,040 is most expensive option that involves a livers bronze mirage with glass railing system. Requires structural embeds.                                                                                                                                                                                                   |
| 14 | Infrared Heaters at Loading Dock                                                                               | Owner                    | \$ 79,998      | In Design  | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 15 | Snowmelt System Deduct (Transportation Yard)                                                                   | Owner                    | \$ (120,430)   | 2.09.24    | Y   | Need Mark One's pricing for power, currently providing a plug ROM estimate for the IR Heaters at the dock.                                                                                                                                                                                                                                                                                               |
| 16 | License Plate Readers and Added Cameras                                                                        | Owner                    | \$ 39,857      | In Design  | Y   | Costs for (3) license plate readers.                                                                                                                                                                                                                                                                                                                                                                     |
| 17 | Various Camera/SEC Adjustments: Video Viewing Stations in lieu of TSC Stations                                 | Owner                    | \$ 11,712      | In Design  | Y   | Cost to include video viewing stations at locations TSC stations moved.                                                                                                                                                                                                                                                                                                                                  |
| 18 | Every Primary Service - Option #2 (OH Option)                                                                  | Owner                    | \$ 122,700     | 2.16.24    | Y   | reference email on 02.08 for pricing breakdown                                                                                                                                                                                                                                                                                                                                                           |
| 19 | Concrete Batch Plant - Building - Prevailing Wage                                                              | Owner                    | \$ 800,000     | 04.09.2024 | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 20 | Admin Wall Height Screening                                                                                    | Owner                    | \$ 18,108      | In Design  | Y   | Raising Precast at front of Admin 3.5' to screen front equipment                                                                                                                                                                                                                                                                                                                                         |
| 21 | Added Sign for Detention Center                                                                                | Owner                    | \$ 16,374      | In Design  | Y   | Added 50 SF sign for Detention Center Building                                                                                                                                                                                                                                                                                                                                                           |
| 22 | Deduct for all Dayroom Carpets                                                                                 |                          | \$ (72,836)    |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 23 | Deduct all Carpet at stair treads, risers, and nosings from Officer Workstations                               |                          | \$ (10,206)    |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | Remaining Owner Contingency                                                                                    |                          | \$ 599,967     |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | General Construction Contingency Items                                                                         |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 1  | CP 2B/2C - General Contractor Contingency Adjustment                                                           |                          | \$ (1,216,047) |            | Y   |                                                                                                                                                                                                                                                                                                                                                                                                          |
| 24 | Miscellaneous 95%/100% Adjustments - Master Clock Infrastructure                                               | Owner                    | \$ 148,559     | In Design  | Y   | Includes 142 additional CAT 6 Cables and                                                                                                                                                                                                                                                                                                                                                                 |
| 25 | Miscellaneous 95%/100% Adjustments - Printer/Floor Box Communications Cabling/Infrastructure from FFE Meetings | Owner - CP4              | \$ 633,332     | In Design  | Y   | Includes 556 additional CAT 6 Cables and associated jacks/patch panels along with added floor boxes in the multi-purpose/class room areas of the dayrooms and the 2nd level of the Admin building. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package. |
| 26 | Miscellaneous 95%/100% Adjustments - Added Floor Boxes in Multi-Purpose and Admin                              | Owner - CP4              | \$ 121,917     | In Design  | Y   | Added floor boxes for flexible FFE/Classroom Environments in Multi-purpose, classrooms, and training rooms. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package.                                                                                        |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    |                                                                                                                |                          |                |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |
|    | Remaining Construction Contingency                                                                             |                          | \$ 3,537,902   |            |     |                                                                                                                                                                                                                                                                                                                                                                                                          |

# Exhibit 3

## Exhibit A – Documents Incorporated by Reference

JACKSON COUNTY DETENTION CENTER FACILITY  
7000 E. US HIGHWAY 40  
KANSAS CITY, MISSOURI 64129

Project No. 22026200

Subcontractor/Supplier acknowledges that a .pdf copy of the Prime Contract and other documents listed below are available for review and copying through the Project Website established for this Project at the following path:  
Project-22026200-Jackson County Detention Center Replacement Jail – Shared Documents - Construction Documents – Contract Documents.

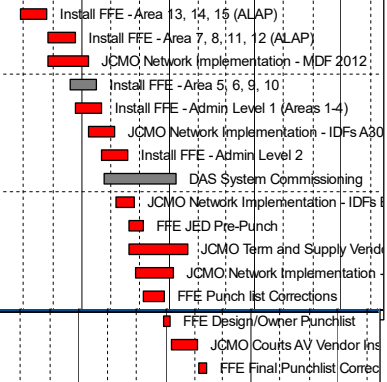
1. Prime Contract dated May 19, 2022, including any General and Supplementary Conditions, and all exhibits and amendments thereto. Contractor is referred to as Design/Builder in the Prime Contract.
2. Contractor's Front End Documents dated October 11th, 2023.
3. Project documents, prepared by DLR Group dated October 10, 2023, including specification sections, in addition to drawings prepared by DLR Group as follows:

| Sheet Number and Title                           | Date       | Drawing Set   |
|--------------------------------------------------|------------|---------------|
| <b>Jackson County Detention Center</b>           |            |               |
| G0.1 Cover Sheet                                 | 06.18.2024 | FF&E Drawings |
| G1.1 General Notes, Symbols and Abbreviations    | 06.18.2024 | FF&E Drawings |
| A13.1.1 Level 01 – Area 1 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.2 Level 01 – Area 2 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.3 Level 01 – Area 3 - FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.4 Level 01 – Area 4 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.5 Level 01 – Area 5 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.6 Level 01 – Area 6 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.7 Level 01 – Area 7 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.8 Level 01 - Area 8 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.9 Level 01 – Area 9 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.1.10 Level 01 – Area 10 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.11 Level 01 – Area 11 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.12 Level 01 – Area 12 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.13 Level 01 – Area 13 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.14 Level 01 – Area 14 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.15 Level 01 – Area 15 – FF&E Plan          | 06.18.2024 | FF&E Drawings |
| A13.1.21 Level 1 Mezzanine – Area 5 – FF&E Plan  | 06.18.2024 | FF&E Drawings |
| A13.1.22 Level 1 Mezzanine – Area 7 – FF&E Plan  | 06.18.2024 | FF&E Drawings |
| A13.1.23 Level 1 Mezzanine – Area 8 – FF&E Plan  | 06.18.2024 | FF&E Drawings |
| A13.1.24 Level 1 Mezzanine – Area 11 – FF&E Plan | 06.18.2024 | FF&E Drawings |
| A13.1.25 Level 1 Mezzanine – Area 12 – FF&E Plan | 06.18.2024 | FF&E Drawings |
| A13.1.26 Level 1 Mezzanine – Area 14 – FF&E Plan | 06.18.2024 | FF&E Drawings |
| A13.1.27 Level 1 Mezzanine – Area 15 – FF&E Plan | 06.18.2024 | FF&E Drawings |
| A13.2.2 Level 02 – Area 2 – FF&E Plan            | 06.18.2024 | FF&E Drawings |
| A13.2.3 Level 02 – Area 3 – FF&E Plan            | 06.18.2024 | FF&E Drawings |

# Exhibit 4

## FFE & Technology

|           |                                                                                                 |    |    |           |           |
|-----------|-------------------------------------------------------------------------------------------------|----|----|-----------|-----------|
| FFE-21170 | Install FFE - Area 13, 14, 15 (ALAP)                                                            | 20 | 20 | 29-Jul-25 | 25-Aug-25 |
| FFE-21110 | Install FFE - Area 7, 8, 11, 12 (ALAP)                                                          | 20 | 20 | 26-Aug-25 | 23-Sep-25 |
| CON-21850 | JCMO Network Implementation - MDF 2012                                                          | 30 | 30 | 26-Aug-25 | 07-Oct-25 |
| FFE-21080 | Install FFE - Area 5, 6, 9, 10                                                                  | 20 | 20 | 18-Sep-25 | 15-Oct-25 |
| FFE-21050 | Install FFE - Admin Level 1 (Areas 1-4)                                                         | 20 | 20 | 24-Sep-25 | 21-Oct-25 |
| CON-22090 | JCMO Network Implementation - IDFs A302, A313, B302, B312                                       | 20 | 20 | 08-Oct-25 | 04-Nov-25 |
| FFE-21190 | Install FFE - Admin Level 2                                                                     | 20 | 20 | 22-Oct-25 | 18-Nov-25 |
| CON-21820 | DAS System Commissioning                                                                        | 50 | 50 | 24-Oct-25 | 07-Jan-26 |
| CON-22100 | JCMO Network Implementation - IDFs E302, E311, UT106                                            | 15 | 15 | 05-Nov-25 | 25-Nov-25 |
| CON-21770 | FFE JED Pre-Punch                                                                               | 10 | 10 | 19-Nov-25 | 04-Dec-25 |
| CON-21830 | JCMO Term and Supply Vendors Install (Bonding Kiosk, Visitation Kiosk, Video Visitation Kiosks) | 40 | 40 | 19-Nov-25 | 20-Jan-26 |
| CON-22110 | JCMO Network Implementation - IDFs G302, F302, SP302, 1601, 2420                                | 25 | 25 | 26-Nov-25 | 05-Jan-26 |
| CON-21780 | FFE Punch list Corrections                                                                      | 15 | 15 | 05-Dec-25 | 26-Dec-25 |
| CON-21790 | FFE Design/Owner Punchlist                                                                      | 5  | 5  | 29-Dec-25 | 05-Jan-26 |
| CON-21840 | JCMO Courts AV Vendor Install                                                                   | 20 | 20 | 06-Jan-26 | 03-Feb-26 |
| CON-21800 | FFE Final Punchlist Corrections                                                                 | 7  | 7  | 04-Feb-26 | 12-Feb-26 |





FFE INSTALL SEQUENCE

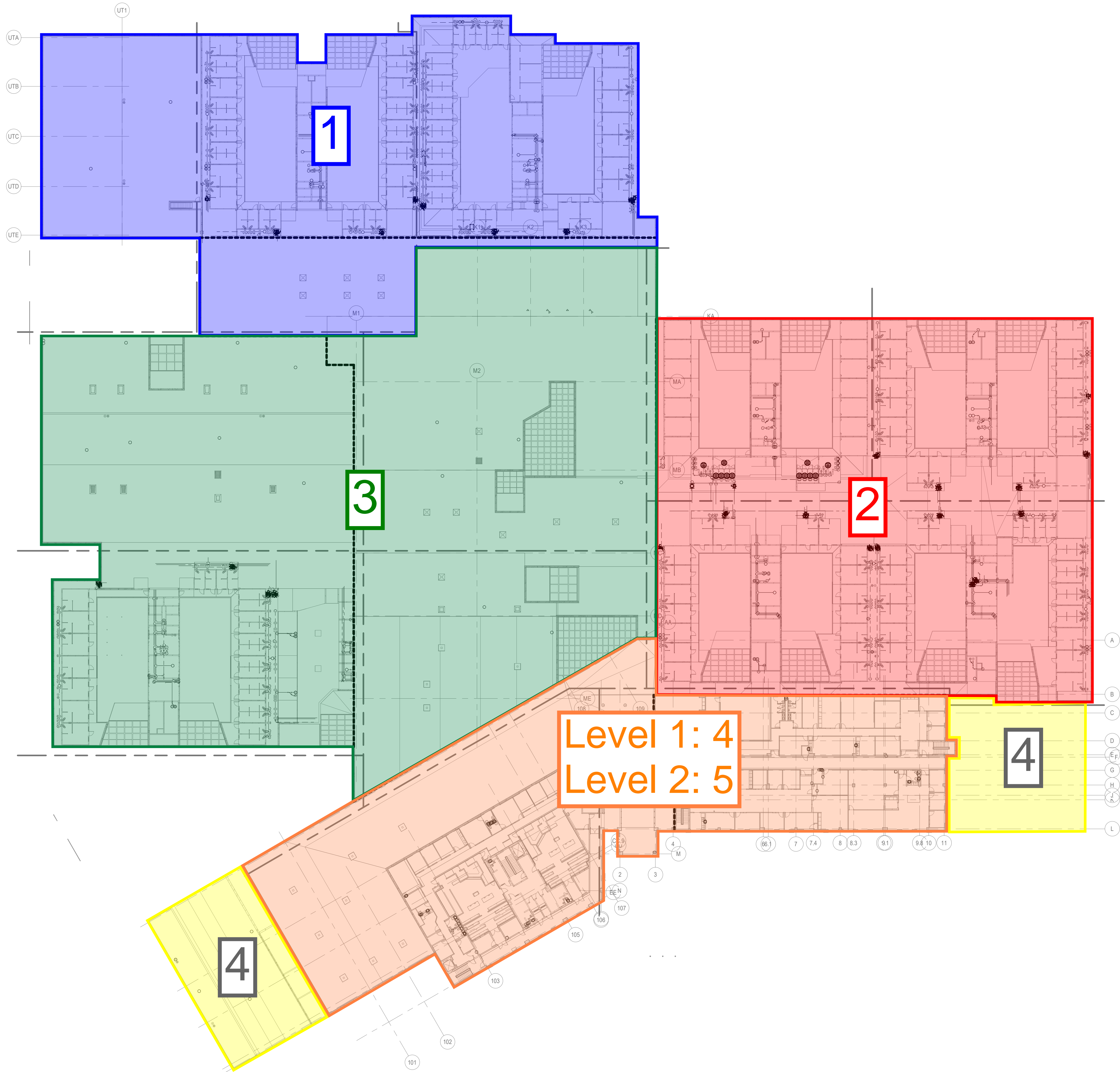
Exhibit 5

GENERAL NOTES (THIS SHEET)

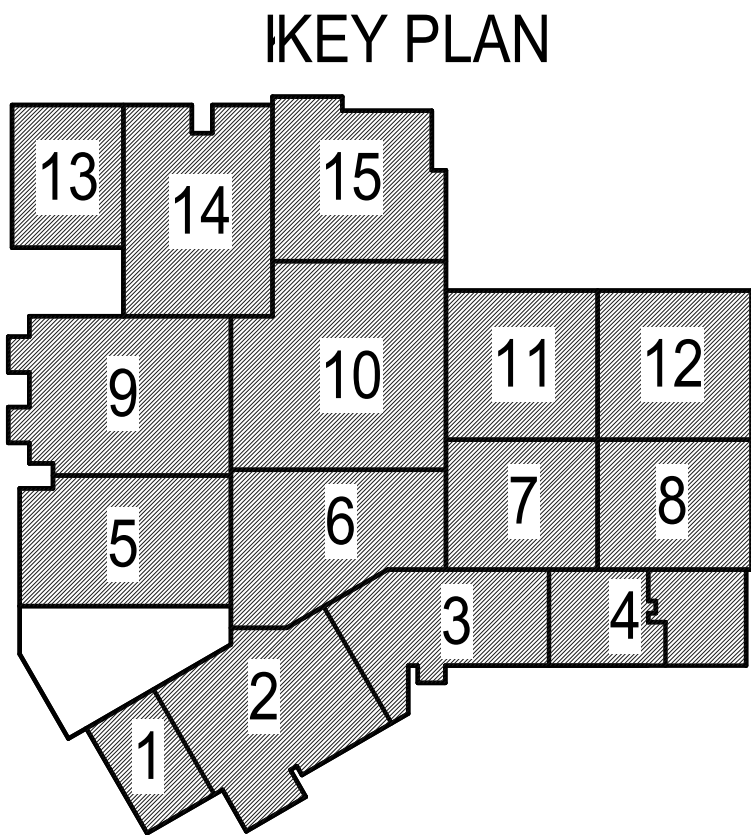
1. THIS LINE INDICATES LOCATIONS OF STRUCTURAL EXPANSION JOINTS. PROVIDE EXPANSION FITTING FOR ANY DUCTWORK, PIPING, OR CONDUIT THAT CROSSES THIS LINE. -----

KEY NOTES (X) (THIS SHEET)

1. XXXXX



1 LEVEL 1 UPPER TIER - OVERALL DRAIN AND VENT PLAN  
SCALE: 1/32" = 1'-0"





K:\NET\03\75-1000\DESIGN\STPSP-C1.00.DWG  
6/20/2024 4:05 PM

1

2

3

4

5

A

B

C

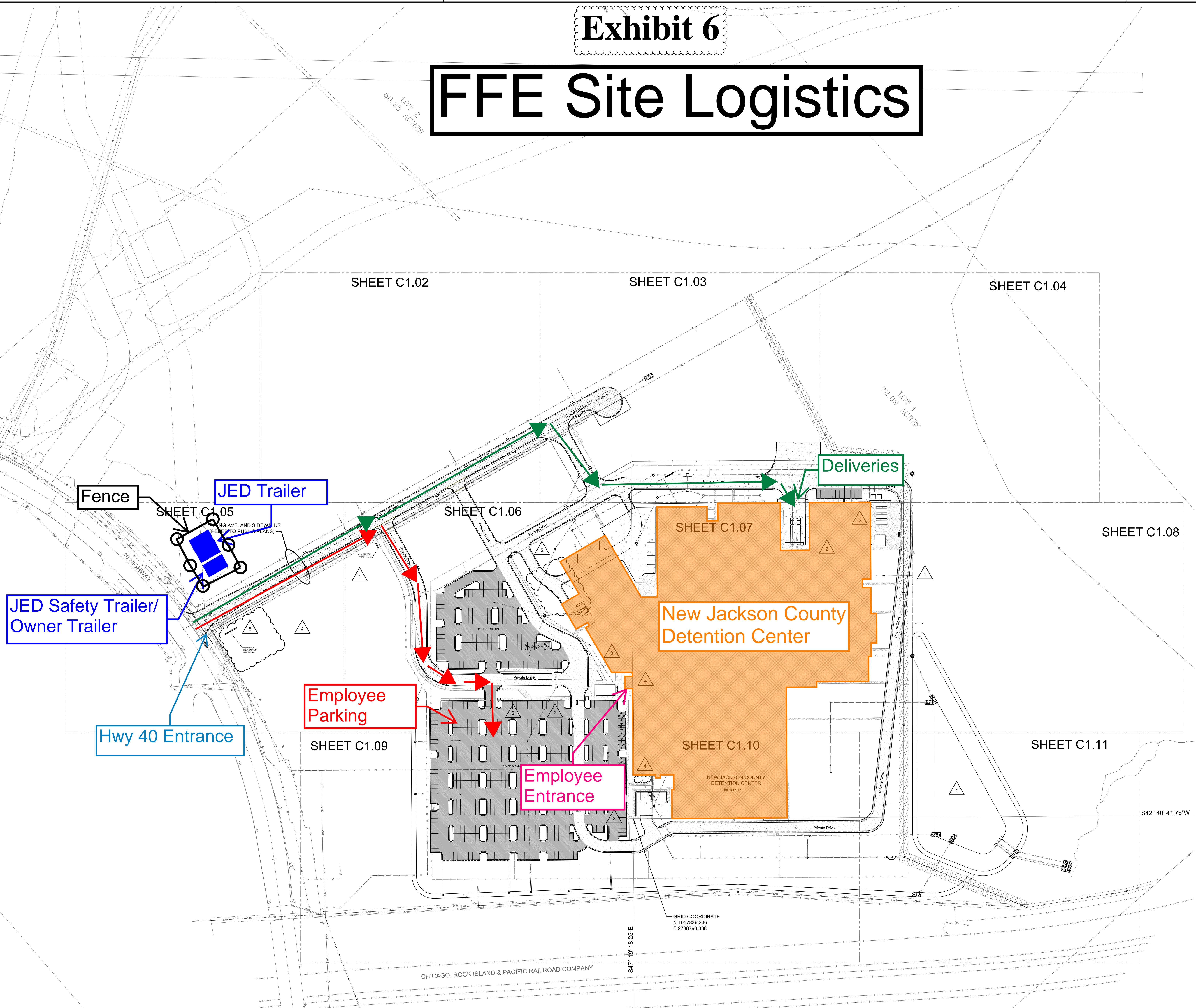
D

E

F

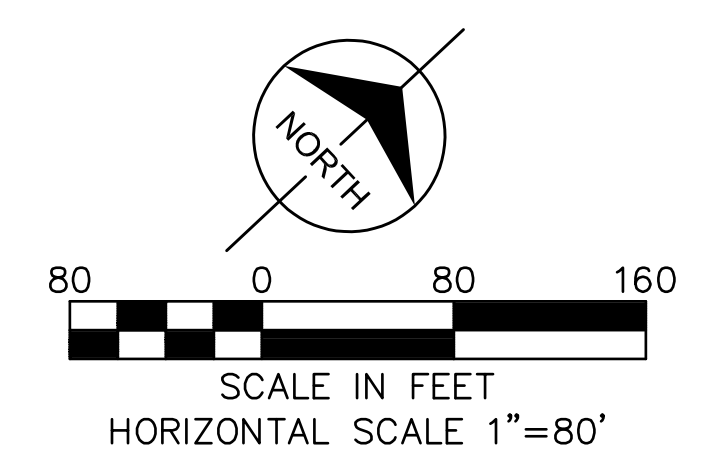
# Exhibit 6

## FFE Site Logistics



| PAVEMENT LEGEND |                                                        |
|-----------------|--------------------------------------------------------|
|                 | 8" PORTLAND CEMENT CONCRETE PAVEMENT                   |
|                 | 2" TYPE 3-01 ASPHALT SURFACE COURSE                    |
|                 | 3" TYPE 1-01 ASPHALT BASE COURSE                       |
|                 | 4" TYPE 1-01 ASPHALT BASE COURSE                       |
|                 | 5" BUILDING SLAB ON GRADE                              |
|                 | 4" CONCRETE SIDEWALK ON 4" MODOT TYPE 5 AGGREGATE BASE |
|                 | STANDARD SIDEWALK                                      |
|                 | 2" TYPE 3-01 ASPHALT SURFACE COURSE                    |
|                 | 4" TYPE 1-01 ASPHALT BASE COURSE                       |
|                 | 8" ASTM C33 SIZE 67 AGGREGATE BASE                     |

| LEGEND:                |                              |
|------------------------|------------------------------|
|                        | EXISTING RIGHT-OF-WAY        |
|                        | PROPOSED RIGHT-OF-WAY        |
|                        | PROPERTY LINE                |
|                        | AREA INLET                   |
|                        | CURB INLET                   |
|                        | MANHOLE                      |
|                        | GRATE INLET                  |
|                        | JUNCTION BOX                 |
|                        | SANITARY SEWER STRUCTURE     |
|                        | STORM SEWER STRUCTURE        |
|                        | FIRE HYDRANT                 |
|                        | LIGHT POLE                   |
| NEW UTILITY LINES      |                              |
|                        | NEW WATER LINE MAIN          |
|                        | NEW WATER SERVICE LINE       |
|                        | NEW WATER FIRE LINE          |
|                        | NEW STORM SEWER LINE         |
|                        | NEW SANITARY SEWER LINE      |
|                        | NEW GAS LINE (BY OTHERS)     |
|                        | NEW GAS SERVICE              |
|                        | NEW ELECTRIC LINE            |
|                        | NEW FIBER OPTIC              |
| EXISTING UTILITY LINES |                              |
|                        | EXISTING WATER LINE          |
|                        | EXISTING ELECTRIC LINE       |
|                        | EXISTING GAS LINE            |
|                        | EXISTING TELEPHONE LINE      |
|                        | EXISTING STORM SEWER LINE    |
|                        | EXISTING SANITARY SEWER LINE |
|                        | EXISTING POWER OVERHEAD      |
|                        | EXISTING OVERHEAD ELECTRIC   |



| KEY PLAN |       |       |       |
|----------|-------|-------|-------|
|          |       |       |       |
| C1.02    |       | C1.03 | C1.04 |
| C1.05    | C1.06 | C1.07 | C1.08 |
| C1.09    |       | C1.10 | C1.11 |

© DLR Group

Talidromo & Rowan, Inc.  
Civil / Structural Engineering,  
Landscape Architecture & Surveying  
1020 E. 8th Street, KCMO 64106  
P: 816.263.2810 F: 816.263.2810

JACKSON COUNTY DETENTION CENTER  
CONSOLIDATED CONSTRUCTION DOCUMENT PACKAGE - PERMIT SET  
7000 East US Highway 40, Kansas City, Missouri 64129

CONSTRUCTION DOCUMENTS  
06/21/2024  
REVISIONS  
ADM-1 11/10/2023  
ADM-2 12/08/2023  
ADM-3 02/06/2024  
ADM-4 04/09/2024  
ADM-5 06/21/2024

13-22116-00  
OVERALL SITE LAYOUT PLAN

C1.01



# Exhibit 7

## Jackson County Detention Center

### Exhibit 7 – FFE and Technology Clarifications (Component Package 4)

06/28/2024

#### General

1. This Guaranteed Maximum Price (GMP) Proposal is based on 100 Percent Construction Documents dated March 25<sup>th</sup>, 2024, the Fixtures, Furniture, and Equipment Drawings dated April 22<sup>nd</sup>, 2024, and The Fixtures, Furniture, and Equipment Technical Specifications dated June 18<sup>th</sup>, 2024, as outlined in the attached Exhibit 3 –Contract Documents including listed Drawings and Specifications. This Guaranteed Maximum Price (GMP) Proposal assumes the approval of Component Package 3.
2. This GMP assumes that components listed in Exhibit 3 – Contract Documents are what will be provided due to the infrastructure and design that has been coordinated in Component Packages 1-3 and included in the 100% CDs.
3. The GMP Proposal is based on all previous approved Component Packages and the assumptions clarified within this Exhibit are in addition to previous assumptions made.
4. This GMP assumes work will be completed per the attached Exhibit 4 – Schedule. Items in asterisks are those activity items not being coordinated by this GMP and are being shown only for coordination purposes.
5. The GMP includes JE Dunn Construction, Axiom JV as a 90%/10% joint venture. Axiom's 10% of the JE Dunn JV for the overall GMP will be counted as MBE participation.
6. This GMP includes a 3% Design Contingency.
7. This GMP includes a 5% General Contractor Contingency.
8. This GMP includes a 5% Owner Contingency
9. This GMP includes 4 quarters of escalation to the end of Q2 of 2025.
10. This GMP includes reconciling the General Contractor Contingency items listed in Exhibit 2 of both Component Package 3 and 4. Upon approval of Component Package 4 Master Clock Infrastructure, Communications/Cabling Infrastructure, and Added Floor Boxes will be reconciled. \$727,715 will be distributed back to General Contractor Contingency and \$176,092 will be distributed to Mark One Electric for the cost of this infrastructure work required for Component Package 4.
11. The GMP is based upon using Freedom Interiors (WBE/MBE) and Aptitude to furnish and install the components clarified in the attached Exhibit 8 – FFE/Technology Matrix.
12. Per Ex. 8 – Contractor Utilization Plan, this Component Package 4 forecasts participation at 22.76%MBE, 16.80% WBE, and 0.50% VBE.
13. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% CDs and is contingent on the approval of Component Package 4 – Furniture, Fixtures, and Equipment/Technology package being approved by the County Legislature and incorporated into the final GMP via Contract Amendment.
14. This GMP assumes that Fixtures, Furniture, Equipment and Technology items can be installed prior to Component Packages 1-3 substantial completion date of December 10<sup>th</sup>, 2025. The substantial completion date of Component Package 4 is February 12<sup>th</sup>, 2026. Items noted with an asterisk in Exhibit 4 – Schedule are items outside of the Design-Builder's control and the schedule assumes these items to fit within the Component Package 4 substantial completion

date noted above. The final completion date of March 12<sup>th</sup>, 2026 for this Component Package 4 is only for FFE/Technology items. This GMP assumes coordination and collaboration to occur between Jackson County and JCDC Partners that the building is operational by the Component Package 3 Final Completion Date of February 12<sup>th</sup>, 2026 and that the additional 30 days will be utilized to finalize punchlist items.

### **Fixtures, Furniture, and Equipment/Technology**

1. This GMP assumes that all infrastructure required for the components listed in Exhibit 8 – FFE/Technology Matrix have been coordinated in the 100% CDs tied to Component Package 3 of this Design-Build Agreement. Additional infrastructure required by Owner provided items or term and supply contracts would be subject to adjustment of this agreement or reconciled via available contingency.
2. Coordination of Owner provided items and term and supply contracts are assumed to be by Jackson County or JCDC Partners, no licensing or service agreements have been included.
3. Scheduling of Owner provided components to be coordinated with the Design-Builder.
4. This GMP includes costs for the Judges' Chambers based on coordination meetings requesting a single desk, separate ward robe cabinet, couch, and additional worksurface.
5. All Dental Equipment provided by Henry Schein includes shipping, installation and a 2-year warranty.
6. Laundry Floor Scale provided by Mettler-Toledo and includes shipping.
7. Medical Wall Ophthalmoscope is provided by Welch-Allyn and includes shipping.
8. Medical Exam Table provided by Midmark and includes shipping.
9. Mobile High-Density Storage provided by Safco and includes shipping and installation.
10. ADA Walk-thru Metal Detector provided by Compass and Includes Shipping, Installation, Software Licensing, and On-site Training.
11. Package Scanner provided by Securmar and includes shipping, installation, On-site training and a 2-year software subscription.
12. Walk-thru Body Scanner provided by Garrett and includes a 2-year warranty and comes fully assembled for use.
13. Millimeter Wave Scanner provided by Leidos and includes Shipping, Install, a 2-year maintenance contract and On-site training.
14. Pallet Scanner provided by Hi-Scan and includes Shipping, Installation, a 2-year warranty and On-site Training.

### **Exclusions:**

1. Costs associated with delays resulting from adjacent project operations, infrastructure work, or County vendors, which is not a part of, or under control of, this Design/Builder.
2. State, County, and Local Sales or Use Taxes.
3. Costs associated with Owner provided term and supply contract have not been included in this GMP, including costs for construction repairs due to damage or activities outside of the scope of this GMP.
4. Financing Costs.
5. Property acquisition costs and fees.
6. Guard services or security services.

7. Labor to unload or install Owner furnished equipment or Owner vendor equipment.
8. Environmental study of any kind.
9. Hazardous material abatement.
10. Commissioning and specialty consultants.
11. Rental of adjacent property or construction staging/parking.
12. We are not including the traffic signal at US HWY 40 or any modifications of US Highway 40.  
Traffic Study suggests the new Detention Center will not need a traffic light. If there is a new facility built (i.e., Sheriff's Office) on the current development the traffic study will have to be reviewed and mostly likely will require a traffic signal.
13. Medical headwall units at Infirmary Cells. Based upon discussions with JCDC Partners we have excluded headwalls and have provided room for bottle storage near the Infirmary.
14. Wheelchair Lifts.
15. OFOI Fixtures, Furnishings and Equipment/Technology as indicated in Exhibit 8 – FFE-Technology Matrix.
16. Special Inspections. Provided by the Owner
17. Licensing Agreements
18. Term and Supply Contract Coordination
19. Building FAA Permit
20. Conditional Letter of Map Revision Permit (CLOMR-F)
21. Full-Size courtroom mock-ups.

**End of Exhibit 7**



Exhibit 8

| Jackson County MBE/WBE - 06.28.2024 - Component Package 4 |                                  |                                                |                 | MBE/WBE Percentages |       |       | MBE/WBE Percentages on Total Cost (301,162,067) |        |       | MBE/WBE Costs |               |              |
|-----------------------------------------------------------|----------------------------------|------------------------------------------------|-----------------|---------------------|-------|-------|-------------------------------------------------|--------|-------|---------------|---------------|--------------|
| Division Number                                           | Scope                            | Company Name                                   | Estimated Price | MBE                 | WBE   | VBE   | MBE                                             | WBE    | VBE   | MBE           | WBE           | VBE          |
| Misc.                                                     | DLR Group                        | Design (Branch Pattern, T&B, Wellner, KH, FSC) | \$ 18,567,888   | 22%                 | 6%    | 0     | 1.30%                                           | 0.35%  | 0.00% | \$ 4,084,935  | \$ 1,114,073  | \$ -         |
| 1                                                         | Final Clean                      | Woodley Building Maintenance                   | \$ 481,300      | 100%                | 0%    | 0.0%  | 0.15%                                           | 0.00%  | 0.00% | \$ 481,300    | \$ -          | \$ -         |
| 1                                                         | FFE                              | Freedom                                        | \$ 3,369,324    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 1.07%  | 0.00% | \$ -          | \$ 3,369,324  | \$ -         |
| 3                                                         | Design Build Joint Venture       | Axiom Construction                             | \$ 315,212,760  | 10%                 | 0%    | 0.0%  | 10.00%                                          | 0.00%  | 0.00% | \$ 31,521,276 | \$ -          | \$ -         |
| 3                                                         | Precast - Supply                 | Enterprise                                     | \$ 19,442,934   | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 3                                                         | JE Dunn SP                       | Concrete, Precast, Masonry, Misc Steel,        | \$ 41,832,538   | 14.25%              | 11%   | 0.50% | 1.89%                                           | 1.46%  | 0.07% | \$ 5,961,137  | \$ 4,601,579  | \$ 209,163   |
| 5                                                         | Structural Steel                 | Kansas City Structural                         | \$ 2,782,099    | 5.00%               | 11%   | 0.0%  | 0.04%                                           | 0.10%  | 0.00% | \$ 139,105    | \$ 306,031    | \$ -         |
| 6                                                         | Rough & Finish Carpentry         | IBC/RCS                                        | \$ 1,813,021    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.58%  | 0.00% | \$ -          | \$ 1,813,021  | \$ -         |
| 6                                                         | Casework Supply                  | IBC/RCS                                        | \$ 1,482,843    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.47%  | 0.00% | \$ -          | \$ 1,482,843  | \$ -         |
| 7                                                         | Spray Fireproofing               | K Bldg Specialties                             | \$ 592,689      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Metal Wall Panels                | SSM                                            | \$ 688,249      | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Roofing                          | Flynn                                          | \$ 8,889,293    | 28.50%              | 0%    | 0.5%  | 0.80%                                           | 0.00%  | 0.01% | \$ 2,533,449  | \$ -          | \$ 44,446    |
| 7                                                         | Joint Sealant / Firestopping     | Flynn                                          | \$ 1,632,900    | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 7                                                         | Firestopping                     | Flynn                                          | \$ 608,740      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% |               | \$ -          | \$ -         |
| 8                                                         | Commercial Door Supply           | Design Supply Doors                            | \$ 2,712,000    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.86%  | 0.00% | \$ -          | \$ 2,712,000  | \$ -         |
| 8                                                         | Commercial Glass                 | AGP                                            | \$ 1,602,918    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.51%  | 0.00% | \$ -          | \$ 1,602,918  | \$ -         |
| 8                                                         | Hydraulic Fold Doors             | Acme Dock                                      | \$ 477,685      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Drywall                          | E&K                                            | \$ 5,608,269    | 0%                  | 0%    | 9.1%  | 0.00%                                           | 0.00%  | 0.16% | \$ -          | \$ -          | \$ 510,352   |
| 9                                                         | Resinous Flooring                | Musselman and Hall                             | \$ 674,682      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Resilient Floor and Carpet       | Regents Floorings                              | \$ 846,447      | 0%                  | 100%  | 0.0%  | 0.00%                                           | 0.27%  | 0.00% | \$ -          | \$ 846,447    | \$ -         |
| 9                                                         | Tile                             | Metro Tile                                     | \$ 365,067      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 9                                                         | Painting                         | MVP                                            | \$ 2,129,510    | 15.0%               | 0.0%  | 0.0%  | 0.10%                                           | 0.00%  | 0.00% | \$ 319,427    | \$ -          | \$ -         |
| 10                                                        | Miscellaneous Specialties Supply | Design Supply Doors                            | \$ 942,074      | 0.00%               | 90%   | 10.0% | 0.00%                                           | 0.27%  | 0.03% | \$ -          | \$ 847,867    | \$ 94,207    |
| 10                                                        | Specialties                      | Loomis Bros.                                   | \$ 313,413      | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 10                                                        | Athletic Equipment               | JED SP                                         | \$ 225,467      | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 11                                                        | Food Service Equip               | Tri-Mark/Hockenbergs                           | \$ 2,440,990    | 0.0%                | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 11                                                        | Precast Cells                    | Cornerstone (Axiom Construction)               | \$ 19,403,624   | 18.0%               | 0%    | 0.5%  | 1.11%                                           | 0.00%  | 0.03% | \$ 3,492,652  | \$ -          | \$ 97,018    |
| 11                                                        | Detention                        | CML                                            | \$ 16,356,756   | 17.50%              | 0%    | 0.5%  | 0.91%                                           | 0.00%  | 0.03% | \$ 2,862,432  | \$ -          | \$ 81,784    |
| 12                                                        | Operable Partitions              | Facilities Specialties                         | \$ 76,652       | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 14                                                        | Elevators                        | Otis                                           | \$ 354,400      | 0%                  | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 21                                                        | Fire Sprinkler                   | American Fire Sprinkler                        | \$ 3,456,140    | 0%                  | 100%  | 0.0%  | 0.00%                                           | 1.10%  | 0.00% | \$ -          | \$ 3,456,140  | \$ -         |
| 22                                                        | Mechanical/Plumbing              | USE                                            | \$ 48,747,790   | 26.30%              | 2.2%  | 0.5%  | 4.07%                                           | 0.34%  | 0.08% | \$ 12,820,669 | \$ 1,072,451  | \$ 243,739   |
| 26                                                        | Electrical                       | Mark One                                       | \$ 28,312,024   | 0.00%               | 99.5% | 0.5%  | 0.00%                                           | 8.94%  | 0.04% | \$ -          | \$ 28,170,464 | \$ 141,560   |
| 28                                                        | SEC                              | Cornerstone                                    | \$ 14,955,469   | 29.00%              | 0%    | 0.5%  | 1.38%                                           | 0.00%  | 0.02% | \$ 4,337,086  | \$ -          | \$ 74,777    |
| 28                                                        | DAS/Masterclock                  | Aptitude                                       | \$ 2,680,399    | 0.00%               | 0.0%  | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 31                                                        | Mass Ex.                         | Kissick Con.                                   | \$ 10,841,365   | 24.00%              | 4.5%  | 0.5%  | 0.83%                                           | 0.15%  | 0.02% | \$ 2,601,928  | \$ 487,861    | \$ 54,207    |
| 32                                                        | Landscaping and Irrigation       | Blue Cedar                                     | \$ 741,340      | 0.00%               | 100%  | 0.0%  | 0.00%                                           | 0.24%  | 0.00% | \$ -          | \$ 741,340    | \$ -         |
| 32                                                        | Fence                            | Collins & Hermann                              | \$ 677,750      | 0.00%               | 0%    | 0.0%  | 0.00%                                           | 0.00%  | 0.00% | \$ -          | \$ -          | \$ -         |
| 32                                                        | Asphalt                          | Superior Bowen                                 | \$ 1,453,510    | 0.00%               | 15%   | 0.0%  | 0.00%                                           | 0.07%  | 0.00% | \$ -          | \$ 218,027    | \$ -         |
| 33                                                        | Utilities                        | Kissick                                        | \$ 2,485,522    | 24.00%              | 4.5%  | 0.50% | 0.19%                                           | 0.04%  | 0.00% | \$ 596,525    | \$ 111,848    | \$ 12,428    |
| Misc.                                                     | JE Dunn Estimate's               | Misc. (Unit Price/ Estimate)                   | \$ 531,693      |                     |       |       | 0.00%                                           | 0.00%  | 0.00% |               |               |              |
|                                                           |                                  | Subtotal                                       | \$ 271,596,774  |                     |       |       | 22.76%                                          | 16.80% | 0.50% | \$ 71,751,920 | \$ 52,954,235 | \$ 1,563,682 |

MBE = 22.76%; WBE = 16.80%; VBE = 0.50%

# Exhibit 9

## Jackson County Detention Center - FFE/Technology Matrix

### Fixtures, Furniture, and Equipment

| Tag Mark  | Item Description                                                                                                | Approximate Count | Item Responsibility |
|-----------|-----------------------------------------------------------------------------------------------------------------|-------------------|---------------------|
| AC1       | OFFICE - MONITOR ARM, HUMANSIZE - CLAMP MOUNTED                                                                 | 61                | Freedom Interiors   |
| AC1.G     | OFFICE - MONITOR ARM, HUMANSIZE - GROMMET MOUNTED                                                               | 80                | Freedom Interiors   |
| AC2       | OFFICE - SURFACE MTD. ELECTRICAL, BYRNE - DEAM EDGE - CLAMP MOUNTED                                             | 67                | Freedom Interiors   |
| AC2.G     | OFFICE - SURFACE MTD. ELECTRICAL, BYRNE - MhoB SURFACE MOUNTED                                                  | 73                | Freedom Interiors   |
| AC3       | OFFICE - CABLE MANAGEMENT TRAY, 4.5"H X 24"W X 4"D, HUMANSIZE NEATTECH - MINI                                   | 46                | Freedom Interiors   |
| AC4       | OFFICE - CABLE MANAGEMENT TRAY, 4.5"H X 38"W X 4"D, HUMANSIZE NEATTECH - SMALL                                  | 64                | Freedom Interiors   |
| AC5       | LOBBY/VISITATION - HABA PRO SENSORY LEARNING WALL 3-PIECE SET                                                   | 2                 | Freedom Interiors   |
| AP-1R     | APPLIANCE REFRIGERATOR 24" X 25" RH DOOR                                                                        | 1                 | Freedom Interiors   |
| AP-2L     | APPLIANCE REFRIGERATOR 30" X 32" LH DOOR                                                                        | 6                 | Freedom Interiors   |
| AP-2R     | APPLIANCE REFRIGERATOR 30" X 32" RH DOOR                                                                        | 7                 | Freedom Interiors   |
| AP-3      | APPLIANCE MICROWAVE COUNTERTOP                                                                                  | 57                | Freedom Interiors   |
| AP-3L     | APPLIANCE REFRIGERATOR 35" X 32" LH DOOR                                                                        | 3                 | Freedom Interiors   |
| AP-3R     | APPLIANCE REFRIGERATOR 35" X 32" RH DOOR                                                                        | 2                 | Freedom Interiors   |
| AP-4R     | APPLIANCE REFRIGERATOR 32" UNDER-COUNTER                                                                        | 3                 | Freedom Interiors   |
| AP-5      | APPLIANCE MICROWAVE BUILT-IN                                                                                    | 2                 | Freedom Interiors   |
| AP-11     | APPLIANCE WASHING MACHINE                                                                                       | 1                 | Freedom Interiors   |
| AP-12     | APPLIANCE DRYER                                                                                                 | 1                 | Freedom Interiors   |
| AP-13     | APPLIANCE STACKED WASHER/DRYER                                                                                  | 2                 | Freedom Interiors   |
| AP-T2     | BREAKROOM TOASTER                                                                                               | 15                | Freedom Interiors   |
| AP-T4     | BREAKROOM TOASTER                                                                                               | 1                 | Freedom Interiors   |
| B5        | BENCH - PUBLIC SEATING 17"H X 64.5"W X 21.5"D, CITI SQUARE 3-SEAT UPHOLSTERED BENCH                             | 4                 | Freedom Interiors   |
| C1        | CHAIR - LAW ENFORCEMENT TASK CHAIR, ERGOCENTRIC                                                                 | 39                | Freedom Interiors   |
| C2        | CHAIR - OFFICE DECK ERGONOMIC TASK W/ ADJ. ARMS - NEW AREON, B-SIZE                                             | 152               | Freedom Interiors   |
| C3        | CHAIR - OFFICE, 32.875"H X 24.75"W X 16.25"D, 4-LEGS W/GLIDES, FIXED ARMS - HERMAN MILLER VERSUS                | 130               | Freedom Interiors   |
| C4        | CHAIR - OFFICE, 32.875"H X 24.75"W X 16.25"D, 4-LEGS W/GLIDES, NO ARMS - HERMAN MILLER VERSUS SIDE CHAIR        | 137               | Freedom Interiors   |
| C5        | CHAIR - OFFICE DESK, HT. ADJ. 5-STAR CASTER BASE - HERMAN MILLER VERUS                                          | 10                | Freedom Interiors   |
| C6        | CHAIR - OFFICE CONFERENCE, 5-STAR CASTER, FIXED ARMS, ADJ. HEIGHT - HERMAN MILLER SETU                          | 54                | Freedom Interiors   |
| C7        | CHAIR - STACKING, ARMLESS, W/GLIDES - KNOLL MULTIGENERATION                                                     | 152               | Freedom Interiors   |
| C7.S      | CHAIR - COUNTER-HEIGHT, ARMLESS, W/GLIDES - KNOLL MULTIGENERATION                                               | 7                 | Freedom Interiors   |
| C8        | CHAIR - WAITING AREA, 33.6"H X 25.6"W X 21.4"D, STACKABLE, FIXED ARMS, UPHOLSTERED SEAT - KNOLL MULTIGENERATION | 18                | Freedom Interiors   |
| C9        | CHAIR - INMATE PROGRAMS STACKING, NO ARMS - 32"H X 19.7"W X 23.2D, NORIX PROGRESS STACK CHAIR                   | 501               | Freedom Interiors   |
| C10       | CHAIR - VISITATION / MTG. ROOM CHAIRS, NO ARMS, STACKABLE, 32.5"H X 20.3"W X 22.8"D, NORIX AFFINITY CHAIR       | 88                | Freedom Interiors   |
| C11       | CHAIR - INMATE LOUNGE CHAIR, BALLASTED, 32"H X 30"W X 31"D, NORIX NUEVO ARM CHAIR - MOLDED PLINTH BASE          | 16                | Freedom Interiors   |
| C12       | CHAIR - INMATE HOUSING LOOSE CHAIR / MEDICAL SIDE CHAIR, BALLASTABLE, NORIX VESTA ARMLESS CHAIR                 | 121               | Freedom Interiors   |
| C14       | CHAIR - COURTROOM JUDGES CHAIR, 50"H X 28.5"W X 27"D, GLOBAL FURNITURE GROUP - CONCORDE HIGH BACK               | 2                 | Freedom Interiors   |
| C15       | CHAIR - COURTROOM FIXED JURY CHAIR, 34.5"-36.5"H X 25"W X 25"D, GLOBAL FURNITURE GROUP - GLOBAL ACCORD          | 13                | Freedom Interiors   |
| C16       | CHAIR - COURTROOM REPORTER/CLERK/COUNSEL/WITNESS, GLOBAL FURNITURE GROUP - GLOBAL ACCORD                        | 20                | Freedom Interiors   |
| C17       | CHAIR - STAFF LOUNGE, 31"D X 30.375"W X 30"H, GLOBAL FURNITURE GROUP - CITI SQUARE LOUNGE CHAIR                 | 3                 | Freedom Interiors   |
| C17T      | CHAIR - STAFF LOUNGE, 31"D X 30.375"W X 30"H, GLOBAL FURNITURE GROUP - CITI SQUARE LOUNGE CHAIR W/TRAY          | 11                | Freedom Interiors   |
| C18       | SOFA - STAFF LOUNGE, 31"D X 73.125"W X 30"H, GLOBAL FURNITURE GROUP - CITI SQUARE LOUNGE SOFA                   | 2                 | Freedom Interiors   |
| C19       | MEDICAL ROOM SWIVEL STOOL, 18.5"H X 20"W X 20"D, GLOBAL FURNITURE GROUP - DOCTOR BUDDY                          | 12                | Freedom Interiors   |
| C21       | CHAIR - OFFICE CONFERENCE, BARIATRIC EXTRA CHAIRS FOR JURY --- PLACE HOLDER ITEM ---                            | 2                 | Freedom Interiors   |
| CT2       | CHAIR - 2-SEAT BENCH SEATING, 34.8"H X 50.5"W X 26"D, NORIX - TERRA CHAIR DOUBLE SEAT                           | 7                 | Freedom Interiors   |
| CT3       | CHAIR - 3-SEAT BENCH SEATING, 34.8"H X 74.5"W X 26"D, NORIX - TERRA CHAIR TRIPLE SEAT                           | 12                | Freedom Interiors   |
| DT-8      | DENTAL DOCTOR STOOL --- PLACE HOLDER ITEM ---                                                                   | 2                 | Freedom Interiors   |
| DT-9      | DENTAL ASSISTANT STOOL --- PLACE HOLDER ITEM ---                                                                | 4                 | Freedom Interiors   |
| EE-50H56  | FLAT-PANEL TV 50" HORIZONTAL MOUNT 56" AFF AT CL - MOTHERS ROOM                                                 | 1                 | Freedom Interiors   |
| EE-50H72  | FLAT-PANEL TV 50" HORIZONTAL MOUNT 72" AFF AT CL                                                                | 24                | Freedom Interiors   |
| EE-50H80  | FLAT-PANEL TV 50" HORIZONTAL MOUNT 80" AFF AT CL                                                                | 3                 | Freedom Interiors   |
| EE-50H104 | FLAT-PANEL TV 50" HORIZONTAL MOUNT 104" AFF AT CL                                                               | 6                 | Freedom Interiors   |
| EE-50H108 | FLAT-PANEL TV 50" HORIZONTAL MOUNT 108" AFF AT CL                                                               | 2                 | Freedom Interiors   |
| EE-50H120 | FLAT-PANEL TV 50" HORIZONTAL MOUNT 120" AFF AT CL                                                               | 8                 | Freedom Interiors   |
| EE-50H144 | FLAT-PANEL TV 50" HORIZONTAL MOUNT 144" AFF AT CL                                                               | 30                | Freedom Interiors   |
| EE-50H156 | FLAT-PANEL TV 50" HORIZONTAL MOUNT 156" AFF AT CL                                                               | 14                | Freedom Interiors   |

| Tag Mark  | Item Description                                                                                             | Approximate Count | Item Responsibility |
|-----------|--------------------------------------------------------------------------------------------------------------|-------------------|---------------------|
| EE-72V80  | FLAT-PANEL TV 72" VERTICAL MOUNT 80" AFF AT CL                                                               | 1                 | Freedom Interiors   |
| EE-75H72  | FLAT-PANEL TV 75" HORIZONTAL MOUNT 72" AFF AT CL                                                             | 33                | Freedom Interiors   |
| EE-75H84  | FLAT-PANEL TV 75" HORIZONTAL MOUNT 104" AFF AT CL                                                            | 7                 | Freedom Interiors   |
| EE-75H95  | FLAT-PANEL TV 75" HORIZONTAL MOUNT 95" AFF AT CL                                                             | 4                 | Freedom Interiors   |
| EE-75H104 | FLAT-PANEL TV 75" HORIZONTAL MOUNT 104" AFF AT CL                                                            | 1                 | Freedom Interiors   |
| EE-75H144 | FLAT-PANEL TV 75" HORIZONTAL MOUNT 144" AFF AT CL                                                            | 1                 | Freedom Interiors   |
| EX-1      | EXERCISE WEIGHT RACK CAGE                                                                                    | 1                 | Freedom Interiors   |
| EX-2      | EXERCISE BIKE                                                                                                | 2                 | Freedom Interiors   |
| EX-3      | EXERCISE LIFTING BENCH                                                                                       | 3                 | Freedom Interiors   |
| EX-4      | EXERCISE TREADMILL                                                                                           | 3                 | Freedom Interiors   |
| FRN-1     | COUCH - LEATHER, JUDGES OFFICE (NO BLACK COLOR) --- PLACE HOLDER ITEM ---                                    | 2                 | Freedom Interiors   |
| IP-1      | INMATE PROPERTY - CPI /GUARDIAN PRE5 CLOTHING SEALER - 39.5"W X 35.875"L X 64"H, ON CASTERS                  | 1                 | Freedom Interiors   |
| JN-1      | JANITOR SHELIVING, 20"W x 24"D x 72"H                                                                        | 13                | Freedom Interiors   |
| JN-2      | JANITOR SHELIVING, 36"W x 24"D x 72"H                                                                        | 11                | Freedom Interiors   |
| L1        | LOCKER - WEAPONS LOCKER                                                                                      | 24                | Freedom Interiors   |
| L3        | LOCKER - STAFF/PERSONAL, 52.5"H X 36"W, 3-LOCKER PER 36" UNIT, HERMAN MILLER MERIDIAN LOCKER                 | 24                | Freedom Interiors   |
| LD-3      | LAUNDRY CART                                                                                                 | 26                | Freedom Interiors   |
| M1.A      | MATTRESS - INMATE, TRANSLUCENT, TENSATOR TENSABARRIER                                                        | 994               | Freedom Interiors   |
| MB-24     | MEETING MARKER BOARD                                                                                         | 1                 | Freedom Interiors   |
| MB-72     | MEETING MARKER BOARD                                                                                         | 6                 | Freedom Interiors   |
| MB-96     | MEETING MARKER BOARD                                                                                         | 10                | Freedom Interiors   |
| MB-120    | MEETING MARKER BOARD                                                                                         | 5                 | Freedom Interiors   |
| MB-144    | MEETING MARKER BOARD                                                                                         | 15                | Freedom Interiors   |
| MD-3      | MEDICAL - HOSPITAL BED                                                                                       | 7                 | Freedom Interiors   |
| MD-4      | MEDICAL - LINEN HAMPER                                                                                       | 2                 | Freedom Interiors   |
| MD-5      | MEDICAL - SOILED LINEN HAMPER                                                                                | 2                 | Freedom Interiors   |
| OF-1      | OFFICE LATERAL FILE 2-DRAWER 18"D x 36"L x 28"H                                                              | 19                | Freedom Interiors   |
| OF-2      | OFFICE - LATERAL FILE 5-DRAWER, 18"D X 36"W X 65"H --- PLACE HOLDER ITEM ---                                 | 7                 | Freedom Interiors   |
| OF-3      | OFFICE - LATERAL FILE 5-DRAWER, 18"D X 48"W X 65"H --- PLACE HOLDER ITEM ---                                 | 11                | Freedom Interiors   |
| OF-4      | OFFICE VERTICAL FILE CABINET, LOCKABLE 15"W X 18"D X 52"H                                                    | 16                | Freedom Interiors   |
| OF-5      | OFFICE BOOKCASE MTL 6-SHELF 34.5"W x 12.625"D x 81"H                                                         | 22                | Freedom Interiors   |
| PO1.L     | WORKSTATION - 29"H X 6"W X 8"D, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                   | 21                | Freedom Interiors   |
| PO1.R     | WORKSTATION - 29"H X 6"W X 8"D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                  | 20                | Freedom Interiors   |
| PO2.L     | WORKSTATION - 29"H X 6"W X 7"D, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                   | 2                 | Freedom Interiors   |
| PO2.R     | WORKSTATION - 29"H X 6"W X 7"D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                  | 1                 | Freedom Interiors   |
| PO3.L     | WORKSTATION - 29"H X 6"W X 8"D, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                   | 6                 | Freedom Interiors   |
| PO3.R     | WORKSTATION - 29"H X 6"W X 8"D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                  | 3                 | Freedom Interiors   |
| PO4       | WORKSTATION - 29"H X 66"W X 30"D, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS                       | 4                 | Freedom Interiors   |
| PO5.L     | WORKSTATION - 29"H X 6"W X 8"D, W/O HUTCH, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS        | 4                 | Freedom Interiors   |
| PO5.R     | WORKSTATION - 29"H X 6"W X 8"D, W/O HUTCH RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS        | 3                 | Freedom Interiors   |
| PO6.R     | WORKSTATION - 29"H X 6"W X 66"D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS, SMALL OFFICE   | 1                 | Freedom Interiors   |
| PO8.L     | WORKSTATION - 29"H X 6"W X 8"D, LEFT, W/O HUTCH, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS        | 1                 | Freedom Interiors   |
| PO8.R     | WORKSTATION - 29"H X 6"W X 8"D, RIGHT, W/O HUTCH, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS       | 1                 | Freedom Interiors   |
| RR-1      | WASTE RECEPTACLE - 7-GALLON RECYCLING CAN --- PLACE HOLDER ITEM ---                                          | 5                 | Freedom Interiors   |
| S1        | STORAGE - SHELIVING, 72"H X 48"W X 24"D, 5-SHELF, METAL, SAFCO - BOLTLESS SHELIVING                          | 96                | Freedom Interiors   |
| S2        | STORAGE - SHELIVING, 72"H X 36"W X 24"D, 5-SHELF, METAL, SAFCO - BOLTLESS SHELIVING                          | 12                | Freedom Interiors   |
| S4        | STOARGE - BOOKCASE STAFF LIBRARY, 42"H X 36"W X 16.5"D, HERMAN MILLER - LAMINIATE BOOKCASE                   | 5                 | Freedom Interiors   |
| S5        | STORAGE - DESK MOBILE BBF - METAL - 27.5"H X 20/24/28D X 14.5"W - HERMAN MILLER TU METAL                     | 31                | Freedom Interiors   |
| S6.L      | OFFICE - COURTS, CORNER COMBO BOOKCASE, DRAWERS, WARDROBE - LEFT                                             | 3                 | Freedom Interiors   |
| S6.R      | OFFICE - COURTS, CORNER COMBO BOOKCASE, DRAWERS, WARDROBE - RIGHT                                            | 7                 | Freedom Interiors   |
| ST-2      | STORAGE PALLET RACK STARTER                                                                                  | 7                 | Freedom Interiors   |
| ST-3      | STORAGE PALLET RACK ADD-ON                                                                                   | 10                | Freedom Interiors   |
| ST-4      | STORAGE SHELIVING 54"W x 24"D x 72"H                                                                         | 39                | Freedom Interiors   |
| ST-5      | STORAGE SHELIVING 54"W x 30"D x 72"H                                                                         | 16                | Freedom Interiors   |
| ST-6      | STORAGE SHELIVING 60"W x 24"D x 72"H                                                                         | 29                | Freedom Interiors   |
| ST-7      | STORAGE SHELIVING 60"W x 30"D x 72"H                                                                         | 26                | Freedom Interiors   |
| ST-8      | STORAGE SHELIVING 72"W x 24"D x 72"H                                                                         | 26                | Freedom Interiors   |
| ST-9      | STORAGE SHELIVING 72"W x 30"D x 72"H                                                                         | 47                | Freedom Interiors   |
| ST-10     | STOARGE INMATE PROPERTY 4-ROD HANING RACK (FOR 1,440 INMATES AT 3-BAGS PER LINEAR FT WITH RANGE OF 2-5 BAGS) | 26                | Freedom Interiors   |
| ST-11     | STORAGE CABINETS - RESTRAINTS                                                                                | 20                | Freedom Interiors   |

| Tag Mark | Item Description                                                                                             | Approximate Count | Item Responsibility                |
|----------|--------------------------------------------------------------------------------------------------------------|-------------------|------------------------------------|
| T1       | TABLE - ROUND, 29"H X 36"DIA., NORIX X-BASE SERIES TABLE (INMATE SMALL MTG. ROOMS)                           | 29                | Freedom Interiors                  |
| T2       | TABLE - RECTANGLE, 29"H X 48"W X 18"D, NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS, 2-SEAT)                | 5                 | Freedom Interiors                  |
| T3       | TABLE - RECTANGLE, 29"H X 60"W X 18"D, NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS)                        | 119               | Freedom Interiors                  |
| T4       | TABLE - RECTANGLE, 29"H X 72"W X 18"D, NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS)                        | 49                | Freedom Interiors                  |
| T5       | TABLE - ROUND, 29"H X 48"DIA., NORIX X-BASE GAME TABLE (INMATE MEDICAL & JUV. DAYROOM)                       | 7                 | Freedom Interiors                  |
| T6       | TABLE - CUBE 18", CONTRABAND RESISTANT - NORIX B-SIDE SIDE TABLE (INMATE HOUSING, PUBLIC WAITING)            | 15                | Freedom Interiors                  |
| T8       | TABLE - ROUND, 28.5"H X 36"DIA., HERMAN MILLER EVERYWHERE TABLE (MTG. ROOMS)                                 | 20                | Freedom Interiors                  |
| T9       | TABLE - ROUND, 28.5"H X 48"DIA., HERMAN MILLER EVERYWHERE TABLE (MTG. ROOMS)                                 | 8                 | Freedom Interiors                  |
| T10      | TABLE - SQUARE 28.5"H X 42"W X 42"D., HERMAN MILLER EVERYWHERE TABLE (MTG. ROOMS)                            | 14                | Freedom Interiors                  |
| T11      | TABLE - ROUND, 28.5"H X 36"DIA., HERMAN MILLER EVERYWHERE TABLE (PRIVATE OFFICES)                            | 2                 | Freedom Interiors                  |
| T12      | TABLE - CONFERENCE ROOM, 28.5"H X 144" W X 48"D, 12-SEAT, HERMAN MILLER HEADWAY TABLE                        | 3                 | Freedom Interiors                  |
| T13      | TABLE - CONFERENCE ROOM, 28.5"H X 120" W X 48"D, 10-SEAT, HERMAN MILLER HEADWAY TABLE                        | 1                 | Freedom Interiors                  |
| T14      | TABLE - CONFERENCE ROOM, 28.5"H X 72" W X 36"D, 6-SEAT, HERMAN MILLER EVERYWHERE TABLE                       | 7                 | Freedom Interiors                  |
| T15      | TABLE - STAFF TRAINING, 28.5"H X 60"W X 18"D, 2-SEAT, HERMAN MILLER EVERYWHERE TABLE                         | 77                | Freedom Interiors                  |
| T17      | TABLE - OFFICE, SIT-STAND DESK, VARIABLE HEIGHT X 72"W X 30"D, HERMAN MILLER HEIGHT ADJUSTABLE RECTANGULAR T | 36                | Freedom Interiors                  |
| T18      | TABLE - CONFERENCE ROOM, 29"H X 192" W X 60"D, 18-SEAT, GLOBAL FURNITURE GROUP - KADIN TABLE SERIES          | 1                 | Freedom Interiors                  |
| T19      | SIDE TABLE - 20"H X 24"W X 20"D, GLOBAL FURNITURE GROUP - CITI TABLES                                        | 1                 | Freedom Interiors                  |
| T20      | COFFEE TABLE - 15"H X 40"W X 20"D, GLOBAL FURNITURE GROUP - CITI TABLES                                      | 2                 | Freedom Interiors                  |
| T21      | LAUNDRY WORK TABLE - 40.38"H X 30"W X 96"D, ADVANCETABCO                                                     | 7                 | Freedom Interiors                  |
| T-13     | TABLE - CHILDRENS LOBBY                                                                                      | 1                 | Freedom Interiors                  |
| T-14     | CHAIR - CHILDRENS LOBBY                                                                                      | 2                 | Freedom Interiors                  |
| WR-1     | WASTE RECEPTACLE - 7-GALLON WASTE CAN --- PLACE HOLDER ITEM ---                                              | 29                | Freedom Interiors                  |
| WR-2     | WASTE RECEPTACLE - 7-QUART WASTE CAN --- PLACE HOLDER ITEM ---                                               | 90                | Freedom Interiors                  |
| WR-3     | WASTE RECEPTACLE - INMATE HOUSING, 39.5"H X 18.25"W X 18.25"D, 38-GALLON CAPACITY                            | 51                | Freedom Interiors                  |
| WR-4     | MEDICAL WASTE RECEPTACLE, 8 GALLON, BEIGE                                                                    | 13                | Freedom Interiors                  |
| WS1.A    | WORKSTATION - 4-PERSON, INFORMATION MGMT. 1200                                                               | 1                 | Freedom Interiors                  |
| WS2      | WORKSTATION - 46"H X 8"W X 6'6"D, OPEN WORKSTATION, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE            | 2                 | Freedom Interiors                  |
| WS3.R    | WORKSTATION - 46"H X 7"W X 5'6"D, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE                              | 6                 | Freedom Interiors                  |
| WS4.B    | WORKSTATION - 4-PERSON, SAFETY, SECURITY, AND TECHNOLOGY 2200                                                | 1                 | Freedom Interiors                  |
| WS4.C    | WORKSTATION - 5-PERSON, FACILITY ADMINISTRATION 2100                                                         | 1                 | Freedom Interiors                  |
| WS5      | WORKSTATION - 46"H X 7"W X 6'6"D, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE                              | 1                 | Freedom Interiors                  |
| WS9      | WORKSTATION - 29"H X 6"W X 8'D, L&R OPEN WORKSTATION, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOO     | 1                 | Freedom Interiors                  |
| DT-1     | DENTAL PATIENT CHAIR - DCI - Series 4                                                                        | 2                 | JE Dunn Purchase Order Procurement |
| DT-2     | DENTAL ISLAND CONSOLE CABINETRY - DCI - Central Cabinet                                                      | 1                 | JE Dunn Purchase Order Procurement |
| DT-3     | DENTAL AIR COMPRESSOR - Airtec - Airstar                                                                     | 1                 | JE Dunn Purchase Order Procurement |
| DT-4     | DENTAL X-RAY (MOUNTED IN CENTER ISLAND CABINET) - Midmark - Preva DC                                         | 1                 | JE Dunn Purchase Order Procurement |
| DT-5     | DENTAL AUTOCLAVE - Midmark - M11                                                                             | 1                 | JE Dunn Purchase Order Procurement |
| DT-6     | DENTAL ULTRASONIC CLEANER - Maxisweep - S310                                                                 | 1                 | JE Dunn Purchase Order Procurement |
| DT-7     | DENTAL VACUUM PUMP - Airtec - Vacstar                                                                        | 1                 | JE Dunn Purchase Order Procurement |
| LD-1     | LAUNDRY FLOOR SCALE - Mettler Toledo - PTA664S                                                               | 1                 | JE Dunn Purchase Order Procurement |
| MD-1     | MEDICAL WALL MTD OPHTHALMOSCOPE, OTOSCOPE, EAR/NOSE TIP DISPENSER, THERMOMETER, AND SPHYGMOMANOMET           | 11                | JE Dunn Purchase Order Procurement |
| MD-2     | MEDICAL EXAMINATION TABLE - Midmark - 604                                                                    | 11                | JE Dunn Purchase Order Procurement |
| S3       | STORAGE HIGH-DENSITY STORAGE SYSTEM, (LIST DIMENSIONS), SAFCO                                                | 1                 | Freedom Interiors                  |
| SE-1     | SECURITY ADA WALK-THRU METAL DETECTOR 32" - Compass - 48"                                                    | 3                 | JE Dunn Purchase Order Procurement |
| SE-2     | SECURITY PACKAGE SCANNER - Securmar - 6040c                                                                  | 2                 | JE Dunn Purchase Order Procurement |
| SE-3     | SECURITY WALK-THRU BODY SCANNER - Garrett - PD6500i                                                          | 2                 | JE Dunn Purchase Order Procurement |
| SE-4     | SECURITY MM WAVE STAFF SCANNER - Leidos                                                                      | 1                 | JE Dunn Purchase Order Procurement |
| SE-5     | SECURITY - HI-SCAN 145180-2IS PALLET SCANNER - Hi-Scan 145180                                                | 1                 | JE Dunn Purchase Order Procurement |
| AP-11    | APPLIANCE ICE MACHINE BIN AT HOUSING UNITS                                                                   | 7                 | NIC - Owner Provided (JCMO)        |
| AP-9     | APPLIANCE - PER CUP COFFEE MAKER                                                                             | 2                 | NIC - Owner Provided (JCMO)        |
| AP-10    | APPLIANCE - 3-BURNER COFFEE MAKER                                                                            | 19                | NIC - Owner Provided (JCMO)        |
| EE-1     | DESKTOP COMPUTER, KEYBOARD AND MOUSE                                                                         | 193               | NIC - Owner Provided (JCMO)        |
| EE-2     | OFFICE DESKTOP PRINTERS                                                                                      | 63                | NIC - Owner Provided (JCMO)        |
| EE-3     | COPIER / PRINTER / FAX MACHINE                                                                               | 9                 | NIC - Owner Provided (JCMO)        |
| EK-1     | KIOSK BONDING SERVICES                                                                                       | 2                 | NIC - Owner Provided (JCMO)        |
| EK-2     | KIOSK VISITATION SERVICES                                                                                    | 1                 | NIC - Owner Provided (JCMO)        |
| JN-3     | JANITOR CHEMICAL DISPENSOR                                                                                   | 36                | NIC - Owner Provided (JCMO)        |

| Tag Mark | Item Description                                               | Approximate Count | Item Responsibility                |
|----------|----------------------------------------------------------------|-------------------|------------------------------------|
| LD-2     | LAUNDRY CHEMICAL DISPENSING PUMP                               | 1                 | NIC - Owner Provided (JCMO)        |
| LD-3     | LAUNDRY CHEMICAL, 55 GALLON DRUM                               | 5                 | NIC - Owner Provided (JCMO)        |
| MD-6     | COMBINATION - GLOVE DISPENSER & LOCKED MEDICAL SHARPS DISPOSAL | 13                | NIC - Owner Provided (JCMO)        |
| MDEE-1   | MEDICAL TELEHEALTH INTERFACE ROLLING STATION                   | 11                | NIC - Owner Provided (JCMO)        |
| SD-2     | DISPENSER HAND SANITIZER                                       | 10                | NIC - Owner Provided (JCMO)        |
| SD-V     | DISPENSER SOAP                                                 | 170               | NIC - Owner Provided (JCMO)        |
| SE-1     | SECURITY ADA WALK-THRU METAL DETECTOR 32"                      | 1                 | JE Dunn Purchase Order Procurement |
| TR1      | TRASH ROLLING DUMPSTER                                         | 3                 | NIC - Owner Provided (JCMO)        |
| VM-1     | VENDING MACHINE CANDY                                          | 11                | NIC - Owner Provided (JCMO)        |
| VM-2     | VENDING MACHINE SODA                                           | 9                 | NIC - Owner Provided (JCMO)        |

## Technology

|      |                                                                               |     |                             |
|------|-------------------------------------------------------------------------------|-----|-----------------------------|
|      | Patch Cables (to switches)                                                    |     | Aptitude                    |
|      | Fiber Patch Cables M-Mode                                                     |     | Aptitude                    |
|      | Fiber Patch Cables S-Mode                                                     |     | Aptitude                    |
|      | POE Masterclock System                                                        |     | Aptitude                    |
|      | DAS Staff Radio (Includes Cabinet, antennas, repeaters, radio units)          |     | Aptitude                    |
|      | Emergency Call Boxes                                                          |     | Aptitude                    |
|      | Ceiling Projectors                                                            |     | Aptitude                    |
|      | Additional Infrastructure for Printers/Wireless Access Points and Floor Boxes |     | Mark One Electric           |
|      | POE Masterclock System - Infrastructure (conduit/cabling)                     |     | Mark One Electric           |
| EE-1 | DESKTOP COMPUTER, KEYBOARD AND MOUSE                                          | 193 | NIC - Owner Provided (JCMO) |
| EE-2 | OFFICE DESKTOP PRINTERS                                                       | 63  | NIC - Owner Provided (JCMO) |
| EE-3 | COPIER / PRINTER / FAX MACHINE                                                | 9   | NIC - Owner Provided (JCMO) |
| EK-1 | KIOSK BONDING SERVICES                                                        | 2   | NIC - Owner Provided (JCMO) |
| EK-2 | KIOSK VISITATION SERVICES                                                     | 1   | NIC - Owner Provided (JCMO) |
|      | VOIP Phone System                                                             |     | NIC - Owner Provided (JCMO) |
|      | Data Network Switches                                                         |     | NIC - Owner Provided (JCMO) |
|      | ELAN                                                                          |     | NIC - Owner Provided (JCMO) |
|      | Firewall                                                                      |     | NIC - Owner Provided (JCMO) |
|      | Data Network Servers                                                          |     | NIC - Owner Provided (JCMO) |
|      | Wireless Access Points                                                        |     | NIC - Owner Provided (JCMO) |
|      | Courtroom AV                                                                  |     | NIC - Owner Provided (JCMO) |
|      | Courtroom Speakers                                                            |     | NIC - Owner Provided (JCMO) |
|      | Video Conference Room AV Cart                                                 |     | NIC - Owner Provided (JCMO) |
|      | VR Training Equipment                                                         |     | NIC - Owner Provided (JCMO) |
|      | Inmate Management System                                                      |     | NIC - Owner Provided (JCMO) |
|      | Inmate Phone Systems                                                          |     | NIC - Owner Provided (JCMO) |
|      | Video Arraignment                                                             |     | NIC - Owner Provided (JCMO) |
|      | Tele Med Monitors                                                             |     | NIC - Owner Provided (JCMO) |
|      | Inmate Tablets                                                                |     | NIC - Owner Provided (JCMO) |
|      | Guard Tour System                                                             |     | NIC - Owner Provided (JCMO) |
|      | Courts Presentation System                                                    |     | NIC - Owner Provided (JCMO) |
|      | Electronic Docket System                                                      |     | NIC - Owner Provided (JCMO) |
|      | Courtroom Cabling -                                                           |     | NIC - Owner Provided (JCMO) |
|      | Evidence Presentation System                                                  |     | NIC - Owner Provided (JCMO) |
|      | Court Recording System                                                        |     | NIC - Owner Provided (JCMO) |
|      | Inventory Tracking System                                                     |     | NIC - Owner Provided (JCMO) |

**End of Exhibit 9**

**End of Attachment A**



**IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**A RESOLUTION** authorizing the County Executive to execute a Letter of Agreement with the Communications Workers of America, Local 6360, regarding the terms and conditions of the employment of members of its bargaining unit.

**RESOLUTION NO. 21692**, August 12, 2024

**INTRODUCED BY** Venessa Huskey, County Legislator

WHEREAS, by Resolution 21155, dated February 14, 2023, the Legislature did authorize the execution of a successor Memorandum of Understanding (MOU) with the Communications Workers of America, Local 6360 (CWA) to govern working conditions for a bargaining unit consisting of certain employees within the Jackson County Sheriff's Office in the position of dispatcher (communications specialist); and,

WHEREAS, that MOU expires on December 31, 2026, after a four year term; and,

WHEREAS, the parties have bargained in good-faith and come to an agreement as to the current wages for the bargaining unit members; and,

WHEREAS, in order to formalize this agreement, a Letter of Agreement outlining the bargained agreement has been drafted; and,

WHEREAS, the Letter of Agreement will be effective upon execution and will remain in effect until June 30, 2026; and,

WHEREAS, the attached Letter of Agreement reflects the understanding of the parties;  
now therefore,

BE IT RESOLVED by the County Legislature of Jackson County, Missouri, that the County Executive be and hereby is authorized to execute the attached Letter of Agreement with the Communications Workers of America, Local 6360.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

#### Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21692 of August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature

RES. \_\_\_\_\_

**LETTER OF AGREEMENT**

This Letter of Agreement is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2024, between Jackson County, Missouri (“County”), the Jackson County Sheriff’s Office (“Sheriff”), and the Communications Workers of America, AFL-CIO, Local 6360 (“CWA”).

**WHEREAS**, the County, the Sheriff, and the CWA entered into a Memorandum of Understanding (“MOU”) dated March 20, 2023, regarding the terms and conditions of certain employees within the Jackson County Sheriff’s Office in the position of dispatcher (Communications Specialist); and,

**WHEREAS**, the parties now desire to enter into this Letter of Agreement regarding the wages provide by the County to members of the bargaining unit; and,

**WHEREAS**, the parties agree as follows:

1. This agreement would be effective upon signing until June 30, 2026.
2. The CWA pay scale will be updated to reflect the 2023 and 2024 negotiated changes
3. Wages for Probationary Communications Specialists shall be updated to reflect the increases in the Memorandum of Understanding dated August 2023. Increases shall be prospective after date of signature of agreement.
4. 2024:
  - a. 7% increase to each bargaining unit member whose 2024 evaluation is “meets expectations” or better, effective as of the member’s anniversary date.

- b. The TWO associates who have already received a 4% merit increase will receive an additional 3% increase back-dated to their anniversary date
  - c. The THREE associates whose anniversaries have passed and have yet to receive any increase will receive a 7% increase backdated to their anniversary date.
  - d. All remaining associates will receive a 7% increase on the pay period following their anniversary date.
- 5. 2025: Subject to appropriation.\*
  - a. 6% increase to each bargaining unit member whose 2025 evaluation is “meets expectations” or better, effective as of the member’s anniversary date
- 6. 2026: Subject to appropriation.\*
  - a. 5% increase to each bargaining unit member whose 2026 evaluation is “meets expectations” or better, effective as of the member’s anniversary date.
- 7. \$1500 retention bonus for all associates employed on July 1<sup>st</sup>, 2024 who are still employed on June 30<sup>th</sup>, 2026 to be paid on the first pay period following June 30, 2026.
  - a. Any associate who retires during the period of this contract will still qualify for the \$1500 bonus.
- 8. This provides a potential for an 18% increase across three years, plus \$1500.
- 9. This would be a three-year agreement and would not allow for annual wage re-openers, unless future appropriations are not approved by the Legislature.
- 10. This Letter of Agreement will be effective upon its execution and remain in effect, together with the MOU, as provided in Article 21 of the MOU.password



11.

**IN WITNESS WHEREOF, THE PARTIES HAVE EXECUTED THIS LETTER  
OF AGREEMENT ON THE DATE WRITTEN BELOW.**

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Mary Jo Spino  
Clerk of Legislature

\_\_\_\_\_  
Bryan Covinsky  
County Counselor

**Jackson County, Missouri**

By: \_\_\_\_\_  
Frank White, Jr.  
County Executive

Date: \_\_\_\_\_

**Jackson County, Missouri Sheriff's Office**

By: \_\_\_\_\_  
Darryl L. Forté, Sheriff

Date: \_\_\_\_\_

**Communication Workers of America, AFL-CIO Local 6360**

By: \_\_\_\_\_  
President

Date: \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #:** 24-180, **Version:** 0

---

**REQUESTED MEETING DATE:** Select Date

Resolution No. 21692  
Sponsor: Venessa Huskey  
Date: August 12, 2024

**SPONSORS:**

**Venessa Huskey**

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Whitney Miller      **PHONE:** 816-881-3150

**EMAIL:** WMiller2@jacksongov.org

**DEPARTMENT:** County Counselors Office

**TITLE: A RESOLUTION** authorizing the County Executive to execute a Letter of Agreement with the Communications Workers of America, Local 6360, regarding the terms and conditions of the employment of members of its bargaining unit

**SUMMARY:** WHEREAS, by Resolution 21155, dated February 14, 2023, the Legislature did authorize the execution of a successor Memorandum of Understanding (MOU) with the Communications Workers of America, Local 6360 (CWA) to govern working conditions for a bargaining unit consisting of certain employees within the Jackson County Sheriff's Office in the position of dispatcher (communications specialist); and, WHEREAS, that MOU expires on December 31, 2026, and will be effective for a four year term; and, WHEREAS, the parties bargained in good-faith and came to an agreement as to the current wages for the bargaining unit members and as such, drafted a Letter of Agreement that outlines this agreement; and, WHEREAS, the Letter of Agreement will be effective upon execution and will remain in effect together with the current MOU;

and,

**FINANCIAL IMPACT:**

**NO** ☐

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐

**ACTION NEEDED: AUTHORIZE****ATTACHMENTS:**

Click or tap here to enter text.

**IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**A RESOLUTION** expressing the support of the Jackson County Legislature for a contribution to the City of Raymore, Missouri to offset the cost of settling the dispute regarding a landfill to be built in south Kansas City.

**RESOLUTION NO. 21693**, August 12, 2024

**INTRODUCED BY** Sean E. Smith, County Legislator

WHEREAS, by Resolution 21148 dated February 28, 2023, and Resolution 21518 dated February 5, 2024, the Legislature did adopt resolutions expressing its opposition to a proposed landfill in the southeastern portion of the City of Kansas City, Missouri, near the city limits of the City of Lee's Summit, Missouri; and,

WHEREAS, the City of Raymore, Missouri approved a settlement agreement with the landfill developer to halt the construction of the landfill in exchange for a payment of \$3.73 million; and,

WHEREAS, the Missouri Legislature approved, and the governor signed Senate Bills 739, 769, and 1751 restricting the construction of a landfill within one mile of its border; and,

WHEREAS, the City of Raymore has requested contributions from area municipalities, including Jackson County, to offset these costs; now therefore,

BE IT RESOLVED by the Legislature of Jackson County, Missouri, that the Legislature supports an appropriation of \$100,000.00 to offset this expense; and,

BE IT FURTHER RESOLVED that the Legislature of Jackson County, Missouri shall hold a public hearing regarding the appropriation of these funds, to be scheduled at a later date.



Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21693 of August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #: 24-155, Version: 0**

---

**REQUESTED MEETING DATE:** 8/5/2024

Resolution No. 21693  
Sponsor: Sean E. Smith  
Date: August 12, 2024

**SPONSORS:**

**Sean E. Smith**

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Ashley Al-Shawish **PHONE:** 913-827-8028

**EMAIL:** aal-shawish@jacksongov.org

**DEPARTMENT:** County Legislature - Sean Smith

**TITLE:** Intent for Jackson County to submit monetary reimbursement to the City of Raymore regarding the landfill settlement.

**SUMMARY:** The Jackson County Legislature intends to approve a reimbursement fee to the City of Raymore in contribution toward the recent landfill settlement, a request submitted to Jackson County by the City of Raymore. The elimination of this landfill proposal successfully protects the integrity of Jackson County's Longview Lake as well as Summit Pointe Elementary School and Jackson County sees a mutual benefit in contributing to this settlement.

**FINANCIAL IMPACT:****NO** ☒

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐**ACTION NEEDED:** COURTESY (NO LEGAL IMPACT)**ATTACHMENTS:**

Legislation Request

Raymore Landfill Resolution

Raymore Letter to County Executive Frank White

Recommendations from Administration



June 20, 2024

Dear County Executive White,

As you are aware, the landfill threat was finally eliminated when Gov. Parson signed HB 1751 into law on May 6. Our communities are now protected from the inevitable negative impacts a nearby landfill would have on our health, environment, economic vitality and quality of life, on top of the millions of dollars that would have been lost in home values.

The passage of the landfill legislation was made possible by the settlement agreement the City of Raymore entered into with the landfill developer, as multiple legislators would not allow the legislation to move forward unless we “made the developers whole.” After a year and a half of efforts, the legislation moved through both the Missouri Senate and House within eight days of our City Council’s approval of the agreement.

The settlement negotiations were incredibly difficult, with the starting point being more than four times the final agreed upon amount of \$3.2 million.

While we were the tip of the spear in the fight, we are thankful for you, as we knew we could count on your support with resolutions, testimonies in Jefferson City and letters, emails and calls to legislators from your constituents. Now, we’re asking you to consider one last thing – assisting us to offset some of the significant costs incurred by our municipality due to the settlement and nearly two years of lobbying and legal fees and related expenses.

Please give me a call at your convenience to discuss this request.

Sincerely,

Mayor Kris Turnbow  
City of Raymore  
Office: 816-892-3003  
Cell: 816-935-5519

## **AGENDA**

Raymore City Council Special Meeting  
City Hall – 100 Municipal Circle  
Monday, April 15, 2024  
6:00 p.m.

### **1. Call to Order**

### **2. Roll Call**

### **3. Pledge of Allegiance**

### **4. New Business - First Reading**

#### **A. Settlement Agreement - South KC Acquisitions et al. (Emergency Reading)**

Reference: - Agenda Item Information Sheet (pg 3)  
- Bill 3894 (pg 5)  
- Settlement Agreement (pg 7)

Staff is recommending approval of Bill 3894 which provides for a settlement agreement with South KC Acquisitions et al. calling for purchase of real property and settlement payments to establish restrictive covenants on future property use and mutual support for legislative amendments to RSMo 260.205 (9). This is the local step necessary to advance legislative action in Jefferson City to end the threat of a landfill on Raymore's northern border.

### **5. Public Comments**

Please identify yourself for the record and keep comments to a maximum of five minutes.

### **6. Mayor/Council Communication**

### **7. Adjournment**

---

## **EXECUTIVE SESSION (CLOSED MEETING)**

The Raymore City Council may enter an executive session before or during this meeting, if such action is approved by a majority of Council present, with a quorum, to discuss:



- Litigation matters as authorized by § 610.021 (1),
- Real Estate acquisition matters as authorized by § 610.021 (2),
- Personnel matters as authorized by § 610.021 (3),
- Other matters as authorized by § 610.021 (4-21) as may be applicable.

*Any person requiring special accommodation (i.e., qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify this office at (816) 331-3324 no later than forty eight (48) hours prior to the scheduled commencement of the meeting.*

*Hearing aids are available for this meeting for the hearing impaired. Inquire with the City Clerk, who sits immediately left of the podium as one faces the dais.*



**CITY OF RAYMORE**  
**AGENDA ITEM INFORMATION FORM**

DATE: April 15, 2024

SUBMITTED BY: Jonathan Zerr

DEPARTMENT: Legal

|                                               |                                     |                                       |                                         |
|-----------------------------------------------|-------------------------------------|---------------------------------------|-----------------------------------------|
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Resolution | <input type="checkbox"/> Presentation | <input type="checkbox"/> Public Hearing |
| <input checked="" type="checkbox"/> Agreement | <input type="checkbox"/> Discussion | <input type="checkbox"/> Other        |                                         |

**TITLE / ISSUE / REQUEST**

Bill 3894: Authorizing Settlement Agreement with South KC Acquisitions, et al.

**STRATEGIC PLAN GOAL/STRATEGY**

3.1.2: Focus development strategies on opportunities aligned with comm. priorities

**FINANCIAL IMPACT**

|                             |                                                 |
|-----------------------------|-------------------------------------------------|
| Award To:                   | \$3,730,000.00                                  |
| Amount of Request/Contract: | N/A                                             |
| Amount Budgeted:            | N/A                                             |
| Funding Source/Account#:    | General Fund, Capital Fund, and Excise Tax Fund |

**PROJECT TIMELINE**

Estimated Start Date

Estimated End Date

N/A

N/A

**STAFF RECOMMENDATION**

Staff recommends approval of Bill 3894 Authorizing Settlement Agreement

**OTHER BOARDS & COMMISSIONS ASSIGNED**

|                              |     |
|------------------------------|-----|
| Name of Board or Commission: | N/A |
| Date:                        | N/A |
| Action/Vote:                 | N/A |

**LIST OF REFERENCE DOCUMENTS ATTACHED**

Bill 3894  
Settlement Agreement (with Exhibits A - D).

**REVIEWED BY:**

Jim Feuerborn

## BACKGROUND / JUSTIFICATION

The Agreement for consideration by the City Council under Bill 3894 will allow for resolution of disputes between the City of Raymore, and both South KC Acquisition, LLC and Kansas City Recycle & Waste Solutions, LLC (the "Developers") to effectively end the threat of a landfill development ("Landfill") along the northern boundaries of Raymore. The Agreement contemplates payment of funds totaling \$3,290,000.00 from Raymore to the Developers. In exchange for the payment by Raymore, the Developers are agreeing to the following:

- (i) Discontinuation of the Developers' efforts to develop the Landfill,
- (ii) The imposition of restrictive covenants ("Restrictions") limiting the development of the property that the Developers have acquired in their efforts to complete the Landfill to certain agricultural, residential and light commercial uses, and
- (iii) Discontinue their opposition to certain a proposed amendment of Section 260.204.9 RSMo ("Amendment") currently being sought by Raymore in the Missouri Legislature.

In addition, the Agreement contemplates payment of \$440,000.00 by Raymore to the Developers for acquisition of a 12 +/- acre parcel of real estate ("Madison Property") south of M-150 highway in Kansas City, Missouri for the future development of Madison Ave.

The Agreement incorporates Exhibits A through D which include legal descriptions for the affected properties, as well as the Vacant Land Real Estate Contract ("Real Estate Contract") for the Madison Property and the contemplated Restrictions.

Under the terms of the Settlement Agreement, all involved parties will be released of any liability upon payment which is contingent upon the approval of the Amendment by the Missouri Legislature.

Staff requests approval of Bill 3894 approving and authorizing the execution of the Settlement Agreement, the Real Estate Contract, and the Restrictions, and authorizing the payments contemplated by each.

**BILL 3894****ORDINANCE**

**"AN ORDINANCE OF THE CITY OF RAYMORE, MISSOURI, AUTHORIZING THE MAYOR AND CITY MANAGER TO ENTER INTO AN AGREEMENT WITH SOUTH KC ACQUISITIONS, LLC, AND KANSAS CITY RECYCLE & WASTE SOLUTIONS, LLC, TERMINATING THE THREATENED LANDFILL; AND AUTHORIZING THE MAYOR TO DECLARE THIS AS AN EMERGENCY."**

**WHEREAS**, the South KC Acquisitions, LLC and Kansas City Recycle & Waste Solutions, LLC ("Developers") are the owners of certain property north of the current municipal boundaries of Raymore; and,

**WHEREAS**, the Developers have been seeking for more than a year to develop their property and surrounding properties into a solid waste landfill ("Landfill"); and,

**WHEREAS**, the City has actively opposed the development of the Landfill by the Developers due to the potential health, economic, and other negative effects that operation of the Landfill in close proximity to the City would have on the residents and community; and

**WHEREAS**, the City and the Developers now wish to fully and finally settle any and all disputes, which will include; (a) termination of efforts by the Developers to complete the Landfill, (b) the imposition of certain restrictive covenants on the properties owned by the Developers, (c) joint efforts between the City and the Developers to amend Section 260.205.9 RSMo, and (d) the sale of certain property by the Developers to the City.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RAYMORE, MISSOURI, AS FOLLOWS:**

Section 1 Settlement. The Mayor and City Manager are authorized to execute the Agreement with the Developers (as attached) for settlement of the disputes, and to take all reasonable and required steps included therein for implementation of the Agreement.

Section 2 Restrictions. The Mayor and City Manager are further authorized to execute the Restrictive Covenants on the Developers' properties as proposed within the Agreement, and to take all reasonable and required steps included therein for recordation of the same.

Section 3 Acquisition. The Mayor and City Manager are further authorized to execute the Real Estate Contract as proposed within the Agreement, and to take all reasonable and required steps included therein for implementation of the Contract.

Section 4 Payments. The Mayor and City Manager are further authorized to arrange for payment of all amounts contemplated by the Agreement (totaling \$3,290,000.00) and by the Contract (totaling \$440,000.00).

Section 5. Effective Date. The effective date of approval of this Ordinance shall be coincidental with the Mayor's signature and attestation by the City Clerk.

Section 6. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

Section 7. Emergency Reading. In order to assure timely completion of this project, the Mayor hereby authorizes the passage of this Ordinance as an emergency.

**DULY READ THE FIRST TIME THIS 15TH DAY OF APRIL, 2024.**

**BE IT REMEMBERED THAT THE ABOVE ORDINANCE WAS APPROVED AND ADOPTED THIS 15TH DAY OF APRIL, 2024, BY THE FOLLOWING VOTE:**

Councilmember Abdelgawad  
Councilmember Baker  
Councilmember Barber  
Councilmember Burke III  
Councilmember Circo  
Councilmember Engert  
Councilmember Holman  
Councilmember Mills

ATTEST:

APPROVE:

\_\_\_\_\_  
Erica Hill, City Clerk

\_\_\_\_\_  
Kristofer P. Turnbow, Mayor

\_\_\_\_\_  
Date of Signature



## AGREEMENT

This Agreement is entered into by and between South KC Acquisitions, LLC, a Missouri limited liability company, and Kansas City Recycle & Waste Solutions, LLC, a Missouri limited liability company (hereinafter “Developers”) and the City of Raymore, Missouri (hereinafter “City”), collectively known as “the Parties,” or individually as a “Party”, for the express purposes set forth herein.

WHEREAS, Developers own certain parcels of real property (the “Properties”) situated in Jackson County, Missouri;

WHEREAS, Developers have incurred costs and expenses in connection with the potential development of a solid waste landfill (the “Landfill”) on such properties;

WHEREAS, the City has concerns regarding the potential public health, economic, and other effects of an operational solid waste landfill in close proximity to the City; and

WHEREAS, the Parties now wish to fully and finally settle and compromise any and all disputes and avoid further controversy, cost, expense, and potential litigation.

WHEREAS, the City on April 15, 2024, adopted Ordinance No. 2024-022 approving this Agreement, the Contract (as defined herein), and other documents related or pertaining to the nature of this Agreement, and authorized the execution thereof.

NOW THEREFORE, in consideration of the mutual promises set forth herein, the Parties mutually agree as follows:

### **I - General Provisions**

1. Parties Bound. The provisions of this Agreement jointly and severally bind all the Parties to the Agreement as well as their respective agents, servants, employees, heirs, successors, assigns, and successors in elected or appointed office. Additionally, these provisions bind all persons, firms, corporations, and other entities who are, or who will be, acting in concert or privity with, or on behalf of, the Parties to this action or their agents, servants, employees,

heirs, successors, assigns, and successors in elected or appointed office. The Parties consent to this Agreement through their duly authorized representatives.

2. Effective Date. This Agreement shall have an effective date (the “Effective Date”) commencing on the earlier to occur of: (i) the date the Governor signs legislation containing the Proposed Amendment (as described in Section III.1 of this Agreement); (ii) the date that the Governor’s power to veto the legislation containing the Proposed Amendment expires, which date may be 15 days after being presented with a bill during the regular legislative session or 45 days if the legislature has adjourned; (iii) the date the legislature overrides the Governor’s veto of legislation containing the Proposed Amendment; or (iv) the actual effective date of the legislation containing the Proposed Amendment.

3. Non-admission of Liability. This Agreement does not constitute any admission or acknowledgment of any fact, conclusion of law, or liability or wrongdoing by any Party to this Agreement.

4. Attorneys’ Fees. Each Party shall bear its own attorney’s fees, costs, and expenses incurred as a result of the negotiation of this Agreement.

5. Amendment and Assignment. This Agreement shall not be orally assigned or modified in any respect and may only be assigned, amended, or modified by the written agreement of all the Parties hereto. No waiver of any provision in this Agreement shall be effective unless the waiver is in writing and signed by the waiving Party. The waiver by any Party of a breach of any term or provision of this Agreement shall not operate or be construed as a waiver of a subsequent breach of the same provision by any Party or of the breach of any other term or provision of this Agreement.

6. Governing Law, Jurisdiction and Attorneys’ Fees. All disputes concerning the validity, interpretation and application of this Agreement, and all actual, threatened or alleged breaches of this Agreement, shall be determined in accordance with the laws of the State of Missouri, without regard to conflict of law principles. The Parties agree and consent to

jurisdiction and venue for any dispute related to this Agreement or its breach, waiving any objection to venue laid herein, being proper only in the Circuit Court for Jackson County, Missouri. The Parties further agree that in the event of such a dispute and/or breach, the substantially prevailing Party shall be entitled to its reasonable attorneys' fees and costs, including costs of appeal, and any other relief that a court of competent jurisdiction deems appropriate.

7. Headings. The headings contained in this Agreement are for reference only and are not intended to and shall not affect, alter or vary the construction and meaning of any portion of this Agreement.

## **II - Settlement and Acquisition**

1. Settlement Payment. Subject to compliance with all of the terms, conditions, obligations, requirements and promises contained herein, the City has agreed to pay to the Developers' the amount of Three Million Two Hundred Ninety Thousand and 00/100 Dollars (\$3,290,000.00) ("Settlement Funds"). The Settlement Funds represent an agreed upon amount reflective of, (i) the approximate costs expended by Developers' in the acquisition of the Properties contemplated for the Landfill as of January 3, 2024, and (ii) (without admission of any liability by the City) a settlement of any and all threatened, contemplated, or potential claims, litigation, or causes of action, which may have been asserted by the Developers' in pursuit of developing the Landfill. By receipt of the Settlement Funds, the Developers are and shall hereby waive any rights to pursue the development of the threatened Landfill on the Properties.

2. Due Date & Manner of Payment. The Settlement Payment shall be due and owing in wire transferred funds from the City to the Developers within ten (10) business days of the Effective Date of this Agreement.

3. Acquisition. In addition to the Settlement Funds provided for hereinabove, the Parties have agreed that the Developers shall sell, and the City shall purchase a portion of the Properties ("Madison Property") as identified pictorially and by metes and bounds description on Exhibit "A" attached hereto and incorporated by reference herein. City contemplates the acquisition of the

Madison Property for construction, maintenance, operation and development of Madison Avenue from its current northern terminus in the City jurisdictional boundaries to M-150 Highway.

4. Acquisition Costs. The Parties have agreed that the Madison Property shall be sold and conveyed from the Developers in fee simple to the City pursuant to a Real Estate Purchase Contract (“Contract”). Attached hereto and incorporated by reference herein as Exhibit “B” is a copy of the Contract.

5. Closing on Acquisition. Closing on the Contract shall occur within four (4) weeks of the Effective Date, unless an alternative date is mutually agreed to between the Parties.

6. Acquisition Purchase Price. The purchase price for the acquisition of the Madison Property shall be Four Hundred Forty Thousand and 00/100 Dollars (\$440,000.00) the full amount of which shall be deposited by City in escrow with Coffelt Land Title in Harrisonville, Missouri within ten (10) business days of the effective date of the Contract.

7. Use of Madison Property. Prior to developing the Madison Property, and simultaneous with the City’s acquisition of the Madison Property, the City shall agree to lease the Madison Property to Developers or Developers’ designee solely for the agricultural use of grazing. The Parties may enter into an agricultural lease for such purpose, and the rent charged under such lease shall not exceed forty dollars (\$40.00) per acre per year, with at least twelve (12) months written notice of termination by the City.

### **III - Requirement for Passage of Amendments to Section 260.205(9) RSMo**

1. Section 260.205, RSMo. The Parties shall seek to amend Section 260.205(9), RSMo. during the current 2024 Legislative Session, to state as follows (the “Proposed Amendment”):

260.205.9. The department shall not issue a permit for the operation of a solid waste disposal area, solid waste processing facility, demolition landfill, or sanitary landfill designed to serve a city with a population of greater than four hundred thousand located in more than one county, if the site is located within [~~one-half~~] one mile of an adjoining municipality, without the approval of the governing body

of ~~[such]~~ the adjoining municipality. The governing body shall conduct a public hearing within fifteen days of notice, shall publicize the hearing in at least one newspaper having general circulation in the municipality, and shall vote to approve or disapprove the land disposal facility within thirty days after the close of the hearing.

2. The Parties shall not propose any other amendments to Section 260.205, RSMo. or to propose any other amendments related to the issues and subject matter of this Agreement without the prior written consent of the other Party.

#### **IV - Restrictions on Developers' Use of Properties**

1. Retained Properties. The Developers intend to retain portions of the Properties ("Retained Properties") following the sale of the Madison Property to the City. The Retained Properties are identified pictorially and by metes and bounds description on Exhibit "C" attached hereto and incorporated by reference herein.

2. Restricted Uses. The Parties have agreed that the Retained Properties shall be subjected to restrictive covenants ("Restrictive Covenants") limiting the Retained Properties to the following zoned uses, (i) agricultural (including the zoning classification corresponding to District AG-R identified in the current Kansas City Code of Ordinances with the exception of mining and quarrying uses), (ii) residential (including the zoning classifications corresponding to Districts R-2.5, R-5, R-6, R-7.5, R-10, and R-80 as identified in the current Kansas City Code of Ordinances), (iii) commercial (including the zoning classifications corresponding to Districts B-3, B-2, B-1, and O as identified in the current Kansas City Code of Ordinance, with the exception of adult business, pawn shops, and/or short-term loan establishments). Attached hereto and incorporated by reference herein as Exhibit "D" is a copy of the Restrictive Covenants.

3. Recordation of Restrictions. The Restrictive Covenants shall be recorded with the Office of the Director of Records for Jackson County, Missouri so that the Retained Properties shall encumber the same in perpetuity.



4. Amendment of Restrictive Covenants. The Parties agree that the Restrictive Covenants placed upon the Retained Properties may be amended, released, modified, or terminated, only upon the written agreement of the Parties.

#### **V - Requirement for Approval of Proposed Amendment**

1. If the Proposed Amendment as outlined in Section III of this Agreement is not adopted pursuant to Article I, Section 2, then all the terms, obligations, provisions, and requirements set forth in this Agreement shall be void and unenforceable.

#### **VI - Mutuality of Releases**

1. In consideration of the promises, releases and provisions set forth herein, the sufficiency and receipt of which are hereby expressly acknowledged, each Party (and all its officers, members, owners, directors, employees, attorneys, agents, predecessors, assigns, affiliates, parent companies, subsidiaries, officials, managers, councils, and successors) hereby fully and unconditionally forever waives, releases and discharges the other Party from and against any and all causes of action, claims, costs, demands, and liabilities of any kind or nature whatsoever, at law or in equity, whether accrued, known or unknown, suspected or unsuspected, or otherwise, which a Party has, had, or may have against the other Party, including, but not limited to, those arising out of or in any way relating to the subject matter of this Agreement.

#### **VII - Severability**

1. The Parties expressly acknowledge and agree that if any provision of this Agreement or the application thereof to any Party, other person, or to any circumstance is held unconstitutional or invalid by any court of competent jurisdiction, unless performance or condition is waived by the Party entitled thereto, this entire Agreement shall terminate except for the Parties obligations in Section VII.2, which obligations shall survive termination together with each Parties' rights and remedies to enforce such obligations.

2. The Parties agree that in the event this Agreement is terminated as described in Section VII.1, each Party shall take any and all necessary steps to restore the other Party's

position prior to the execution of this Agreement, including the return and/or release of any and all payments, proceeds, conveyances, easements, licenses, restrictive covenants, and any other consideration.

### **VIII - Signatures**

By their signatures below, the Parties hereby acknowledge their consent, personally or through their duly authorized representatives as indicated below, to enter into this Agreement.

**[REMAINDER LEFT BLANK – SIGNATURE PAGES TO FOLLOW]**

**DEVELOPERS**

SOUTH KC ACQUISITIONS, LLC

\_\_\_\_\_  
By: JENNIFER MONHEISER, MANAGER

Date: \_\_\_\_\_

KANSAS CITY RECYCLE & WASTE SOLUTIONS, LLC

\_\_\_\_\_  
By: JENNIFER MONHEISER, MANAGER

Date: \_\_\_\_\_

**CITY OF RAYMORE, MISSOURI**

\_\_\_\_\_  
KRISTOPHER TURNBOW, MAYOR

Date: \_\_\_\_\_

\_\_\_\_\_  
JAMES FEUERBORN, CITY MANAGER

Date: \_\_\_\_\_

APPROVAL AS TO FORM:

\_\_\_\_\_  
JONATHAN ZERR, CITY ATTORNEY

Date: \_\_\_\_\_

ATTEST:

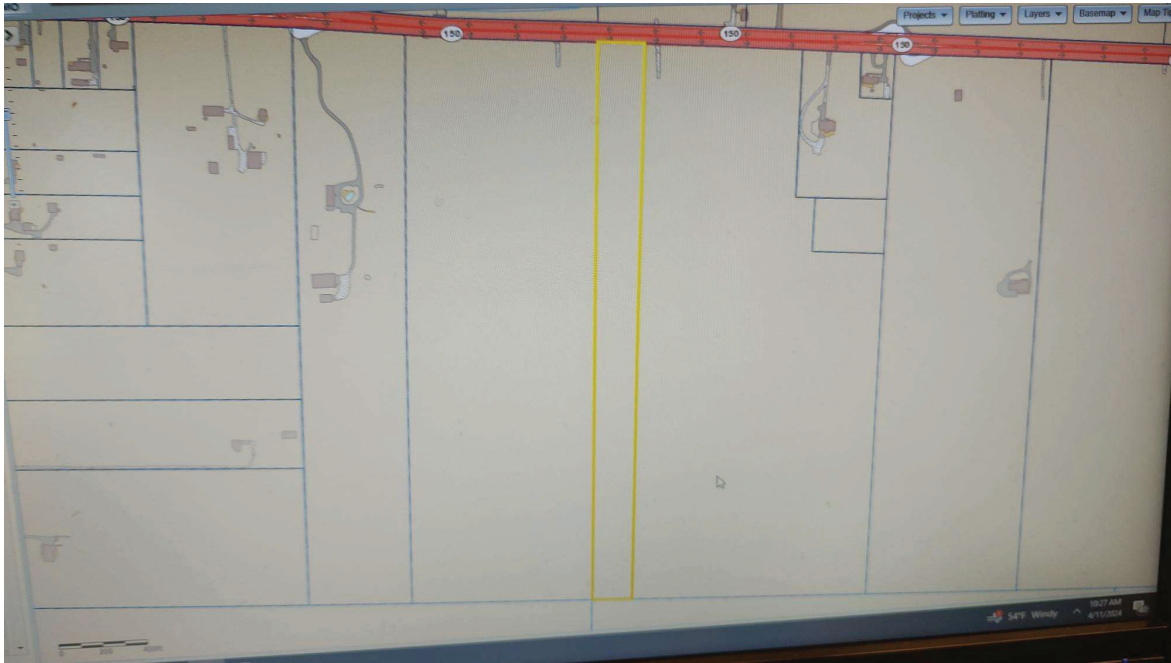
\_\_\_\_\_  
CITY CLERK

Date: \_\_\_\_\_

## Exhibit A

### Madison Property

The Madison Property is approximately twelve (12) acres of land identified as Jackson County APN JA69900020503000000, Parcel 69-900-02-05-03-0-00-000 with an address of 11701 East 147<sup>th</sup> Street, Kansas City in Jackson County, Missouri, which is described pictorially and by partial metes and bounds legal description below:



PRT W 1/2 NW 1/4 SEC 34 47 32DAF BEG NW COR SD 1/2 1/4 TH ELY 173.91 FT TH SLY 2654.03 FT TH WLY 173.90 FT PT W LI SDSEC TH NLY TO BEG EXC PRT IN STS & HWYS

The full true and correct legal description of the Madison Property will be provided in the Title Commitment referenced in the Contract, at which time the legal description for the Madison Property under this Agreement shall be supplemented with the legal description for the Madison Property under the Contract.



**Exhibit B**  
**Real Estate Purchase Contract**

**[SEE ATTACHED]**

## **REAL ESTATE PURCHASE AND SALE AGREEMENT**

THIS REAL ESTATE PURCHASE AND SALE AGREEMENT (this “Agreement”) is entered into as of the Effective Date by and between the Parties hereto: The City of Raymore, Missouri, a Missouri municipal corporation (“Buyer” or the “City”), whose address is: 100 Municipal Circle, Raymore, Missouri; and South KC Acquisitions, LLC, a Missouri limited liability company (“Seller” or the “Monheisers”), whose address is: 2580 SE Ransom Road, Lee’s Summit, Missouri 64082.

WHEREAS, Buyer desires to purchase, and Seller desires to sell, the Property, upon the terms and conditions set forth in this Agreement.

Effective Date                      The first date on which both parties have fully executed and delivered this Agreement, which is: \_\_\_\_\_, 2024.

Property:                              The property located at approximately twelve (12) acres of land identified as Jackson County APN JA69900020503000000, Parcel 69-900-02-05-03-0-00-000 with an address of 11701 East 147<sup>th</sup> Street, Kansas City in Jackson County, Missouri, which is described pictorially and by metes and bounds legally description on Exhibit A hereto (if no legal description on Exhibit A, to be provided in Title Commitment), including as well as the other items described in Section 2.

Purchase Price:                      \$440,000.00, subject to adjustments described in Section 3.

Earnest Money:                      The Earnest Money in the amount of \$440,000.00, including interest thereon, if any, to be deposited and held as described in Section 4.

Title Company:                      Coffelt Land Title, whose address is 401 S. Lexington Street, Harrisonville, Missouri 64701.

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which the parties acknowledge by their execution and delivery hereof, the parties agree as follows:

1.     ADDITIONAL DEFINITIONS. Except as otherwise specified herein, shall have the meanings specified above and below:

          “Agreement” means this Agreement, including all exhibits, attachments, supplements, and amendments hereto.

          “Business Day” means any day that is not a Saturday, Sunday, or federal or state holiday.

“Closing” means the actual closing and consummation of the transactions contemplated hereby.

“Closing Date” means the date scheduled for the Closing, which shall be designated by the Buyer but which shall occur not later than twenty-eight (28) days after the Effective Date as said term is defined in that certain Agreement between Seller, Buyer and other parties dated \_\_\_\_\_, 2024 (the “Settlement Agreement”). Seller and Buyer agree Buyer shall have no obligation to close if there is no Effective Date under the Settlement Agreement.

“Contracts” means any leases or occupancy agreements, management, service, operating, listing, brokerage, supply or maintenance, or construction agreements, equipment leases, or other contracts, agreements, or transactions with any third party with respect to or affecting the Property, which may remain in effect and to which Buyer or the Property may be subject after the Closing.

“Due Diligence Documents” means the documents and information listed on Exhibit B hereto.

“Permitted Exceptions” means (a) real estate taxes for the year of Closing and thereafter; (b) all applicable zoning and other ordinances, regulations, and laws; and (c) all covenants, easements, conditions, restrictions, and other exceptions disclosed on the Title Commitment and/or Survey, which are not objected to by Buyer, subject to Section 5.3; provided, however, that the obligation for Seller to pay off any indebtedness or other obligations secured by any Seller's Liens and discharge, terminate, and release all such Liens by Closing shall in no event constitute Permitted Exceptions.

“Seller's Liens” means any deeds of trust, mortgages, or mechanics', judgment, tax, or other monetary liens encumbering the Property, any title exceptions arising after the Effective Date as a result of a violation by Seller of this Agreement, and any obligations of Seller under any Contracts (other than Assigned Contracts, if any).

“Title Policy” means an ALTA Owner's Policy of Title Insurance, in an amount equal to the Purchase Price, insuring title to the Land and Improvements in Buyer in fee simple absolute, free and clear of all liens and encumbrances other than Permitted Exceptions, together with such endorsements as may be requested by Buyer.

This Agreement shall be construed, in all cases, according to its fair meaning. The parties acknowledge that they and their respective counsel have had the opportunity to review and give input with respect to this Agreement and that any rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement. The headings contained herein are for convenience only and shall not affect in any way the meaning or interpretation of this Agreement, the term “including” and terms of similar import shall be deemed to mean “including without limitation,” and, as the context so requires, terms defined or used in the singular shall have a comparable meaning when used in the plural, and vice versa, and the use of the neuter shall also refer to the masculine or feminine, and vice versa.

2. PURCHASE AND SALE OF THE PROPERTY. Subject to the terms and conditions herein, Buyer agrees to purchase and acquire from Seller, and Seller agrees to sell and convey to Buyer, the Property at Closing, free and clear of all liens and encumbrances other than Permitted Exceptions. The Property shall be deemed to include: (a) the land described on Exhibit A hereto and all rights, title, interest, benefits, and income appurtenant or attributable thereto, including all Seller's rights and interest, if any, to roads, rights of way, and easements adjacent or belonging thereto ("Land"), the exact size and legal description of which shall be determined by reference to the Survey, if any, pursuant to Section 5; (b) all buildings, fixtures, and other improvements of every kind and description on or at the Land ("Improvements"), in their present condition; and (c) Seller's rights and interest in any site surveys, studies, or reports, plans and specifications, warranties and contract rights, and permits and licenses with respect to the Land or Improvements ("Plans"). If applicable, the Property also shall be deemed to include: (i) the personal property located and used at the Property to be conveyed to Buyer, which is listed on Exhibit C hereto ("Personal Property"); and (ii) the existing Contracts relating to the lease, occupancy, management, operation, maintenance, or repair of the Property to be assigned to and assumed by Buyer, which are listed on Exhibit D hereto ("Assigned Contracts"), including any security deposits held pursuant to the Assigned Contracts. Notwithstanding the foregoing, Seller and Purchaser agree there are no Improvements, Plans, Personal Property, Contracts or Assigned Contracts other than the Settlement Agreement and the Seller's right to lease the Property on terms set out in the Settlement Agreement. **Buyer acknowledges and agrees that upon Closing, Seller shall sell and convey to Buyer and Buyer shall accept the Property "AS IS, WHERE IS, WITH ALL FAULTS," except to the extent expressly provided otherwise in this Agreement and any document executed by Seller and delivered to Purchaser at Closing. Except as expressly set forth in this Agreement, Buyer has not relied and will not rely on, and neither Seller has made and is not liable for or bound by, any express or implied warranties, guarantees, statements, representations or information pertaining to the Property or relating thereto made or furnished by Seller to whomever made or given, directly or indirectly, orally or in writing. EXCEPT FOR CLAIMS OF FRAUD OR INTENTIONAL MISCONDUCT BY SELLER AND EXCEPT FOR CLAIMS OF BREACH BY SELLER OF A REPRESENTATION, WARRANTY OR COVENANT CONTAINED IN THIS AGREEMENT OR IN THE DEED, Buyer hereby FOREVER RELEASES AND DISCHARGES Seller from all responsibility, obligations, claims, demands and liability, whatsoever regarding the condition, valuation, salability or utility of the Property, or its suitability for any purpose whatsoever (including, but not limited to, with respect to the presence in the soil, air, structures and surface and subsurface waters, of Hazardous Materials or other materials or substances that have been or may in the future be determined to be toxic, hazardous, undesirable or subject to regulation and that may need to be specially treated, handled and/or removed from the Property under current or future federal, state and local laws, regulations or guidelines, and any structural and geologic conditions, subsurface soil and water conditions and solid and hazardous waste and Hazardous Materials on, under, adjacent to or otherwise affecting the Property, and further including, but not limited to liabilities under any applicable laws concerning hazardous substances.**

3. PURCHASE PRICE AND PAYMENT. Subject to the terms and conditions herein, Buyer agrees to pay to Seller the Purchase Price at Closing, by certified or wire-transferred funds, as payment in full for the Property. The Purchase Price shall be adjusted at Closing

for the credits, prorations, and adjustments provided herein, including a credit for any Earnest Money as described in Section 4 and the adjustments described in Section 11.

4. EARNEST MONEY. The following provisions shall apply to the deposit and disbursement of the Earnest Money:

4.1 Deposit. Within two (2) business days after the Effective Date, Buyer shall deposit the Earnest Money with the Title Company; if Buyer fails to do so, then Seller shall have the right to immediately terminate this Agreement. If the Closing occurs, the Earnest Money shall be paid to Seller and credited against the Purchase Price. If the Closing does not occur and the Earnest Money is to be paid to Seller in accordance with the express terms of this Agreement, then the Earnest Money shall be paid to Seller; in all other events, the Earnest Money shall be paid to Buyer.

4.2 Instructions. Within two (2) business days after the Effective Date, the parties shall deposit a fully-executed copy of this Agreement with the Title Company, which shall serve as escrow instructions. The parties agree to execute such additional escrow instructions that the Title Company may reasonably require and are consistent with this Agreement; if any such instructions and this Agreement conflict then this Agreement shall control. The Earnest Money shall be held in a separate, interest bearing account and as otherwise directed by Buyer, in writing. The Earnest Money shall be held by the Title Company, in escrow, until the earliest of (a) the Closing, whereupon the Earnest Money shall be released to Seller and credited against the Purchase Price; (b) its receipt of a joint notice executed by Seller and Buyer, whereupon the Earnest Money shall be released in accordance with the instructions therein; or (c) its receipt of a notice of termination of this Agreement and request to release the Earnest Money executed by one party, provided, that it delivers a copy of such notice and request to the other party and receives no contrary instruction from such other party within ten (10) business days after delivery of such copy to such other party, whereupon the Earnest Money shall be released in accordance with the instructions in such notice and request. In the event of any conflicting notices or contrary instructions, the Title Company may refuse to release the Earnest Money except pursuant to court order, deposit the Earnest Money with a court pursuant to an action in interpleader, and/or take such other actions with respect to the Earnest Money consistent with applicable law and this Agreement, in which case the Title Company shall be released from all liability hereunder except for its willful misconduct, gross negligence, or violation of this Agreement.

5. TITLE AND SURVEY. Within five (5) business days after the Effective Date, Seller shall deliver to Buyer copies of all title policies, title commitments, and existing surveys relating to the Property in Seller's possession or control. Within fifteen (15) days after the Effective Date, Seller shall cause the Title Company to provide a commitment to issue the Title Policy at Closing ("Title Commitment"), together with copies of all exception documents referenced therein. By the later of forty-five (45) days after the Effective Date or thirty (30) days after its receipt of the Title Commitment, Buyer may procure a survey of the Land and Improvements ("Survey"); if Buyer fails to do so, then it shall be deemed to



have waived its right to require a Survey for purposes of this Agreement. Each party shall provide copies of the Title Commitment or Survey to the other party promptly upon request.

5.1 Review. Buyer shall have fifteen (15) days after its receipt of the Title Commitment and the Survey, if any, whichever is received later (“Title Review Period”), to give Seller notice of such objections as Buyer may have to anything contained therein (“Objections”). If Buyer fails to deliver Objections within the Title Review Period, then all title exceptions disclosed on the Title Commitment and Survey shall constitute Permitted Exceptions, subject to Section 5.3.

5.2 Objections and Cure. If Buyer delivers Objections within the Title Review Period, then Seller shall expeditiously and diligently proceed in good faith and a commercially reasonable manner to satisfy such Objections; provided, that this shall not require Seller to cure any objection or to pay any money or incur any fees, costs, or liability whatsoever, other than to pay off any indebtedness or other obligations secured by any Seller's Liens and discharge, terminate, and release all such Liens by Closing. Seller may, but is not required to, cure other Objections requiring it to pay money or incur fees, costs, or liability, in which case it shall use commercially reasonable efforts to cure such other Objections no later than the Closing Date. If Seller fails to cure such other Objections, then Buyer shall have the option to either: (a) terminate this Agreement, in which event Buyer shall receive a full refund of any Earnest Money and the parties shall be relieved of any further obligations hereunder, or (b) elect to close notwithstanding such uncured other Objections, in which event there shall be no adjustment to the Purchase Price and such Objections shall constitute Permitted Exceptions.

5.3 Insured Closing. The Closing shall be an “insured closing” with “gap coverage” as such terms are commonly understood in the title insurance industry, i.e., at Closing, upon request Buyer will be entitled to receive an updated and marked-up Title Commitment or a pro forma Title Policy to insure that Buyer will receive the Title Policy and that no circumstances have arisen since the date of the Title Commitment that would adversely affect title to the Property other than Permitted Exceptions. The Title Policy will provide “extended form coverage,” i.e., without standard or general preprinted exceptions (other than the survey exception unless Buyer procures an appropriate Survey), which shall not constitute Permitted Exceptions.

6. OTHER DUE DILIGENCE AND INSPECTIONS. In addition to its rights to review title to the Property as described in Section 5, Buyer shall have the right to conduct other reviews, inspections, and due diligence with respect to the Property as described herein.

6.1 Seller's Deliveries and Notices. Within five (5) business days after the Effective Date, Seller shall deliver to Buyer true, correct, and complete copies of all Due Diligence Documents described on Exhibit B in Seller's possession or control.

6.2 Inspections. Prior to Closing, Buyer shall have the license and right to enter onto the Property from time to time during normal business hours for the purpose of conducting such surveys, studies, tests, audits, examinations, investigations, and other

inspections of the Property as it deems necessary or desirable; provided, that Buyer shall give Seller reasonable advance notice of and opportunity to be present at such inspections, and Buyer shall not perform any scraping, drilling, boring, or other forms of invasive testing at the Property without Seller's consent. Buyer shall defend, indemnify and hold harmless Seller from and against (but if the City is Buyer, then to the extent permitted by Missouri law and not inconsistent with the doctrine of sovereign immunity it shall be responsible for) any claims, causes of action, damages, liability, or costs or expenses arising or resulting from such inspections. Buyer also agrees to repair and restore any damage to the Property caused by such inspections.

7. REPRESENTATIONS AND WARRANTIES.

7.1 Seller's Representations and Warranties. In order to induce Buyer to enter into this Agreement and to consummate the purchase of the Property, Seller hereby represents and warrants to Buyer as of the Effective Date and as of the Closing as follows:

(a) (i) Seller is the entity specified in the introductory paragraph to this Agreement and is qualified to do business and in good standing under the laws of the State of Missouri; and (ii) Seller has been duly authorized to enter into and perform its obligations under this Agreement, which is valid, binding, and enforceable against Seller in accordance with its terms (subject to general creditor's rights and equitable principles) and does not violate any agreement or judicial order to which Seller is a party or to which it or the Property is subject.

(b) There is not now pending nor, to the best of Seller's knowledge and belief has there been threatened, any investigation, demand, action, suit, or proceeding relating to the Property before or by any agency, court, or other governmental authority. Seller has not received any notice from any federal, state, county or municipal governmental authority alleging any fire, health, safety, building, pollution, environmental, zoning or other legal violation with respect to the Property, which has not been entirely corrected in accordance with applicable law. To the best of Seller's knowledge and belief, the Property is not in violation of any applicable law.

(c) To the best of Seller's knowledge and belief, Seller has received no written notice that hazardous materials have been released at the Property or are being stored and maintained at the Property.

(d) There are no special assessments, takings, or other governmental actions filed, pending or, to the best of Seller's knowledge and belief, proposed, against the Property except as may be included in the annual real estate tax bill issued by Jackson County, Missouri..

(e) There are no option or right-of-first-refusal agreements affecting the Property. There are no Contracts. Seller is not in default of, and to the best of its knowledge and belief no other party is in default of, and no event or circumstance

has occurred which, after notice or opportunity to cure would constitute such a default of, any Assigned Contract.

7.2 Buyer's Representations and Warranties. In order to induce Seller to enter into this Agreement and to consummate the sale of the Property, Buyer hereby represents and warrants to Seller as of the Effective Date and as of the Closing as follows: (i) Buyer is the entity specified in the introductory paragraph to this Agreement; and (ii) Buyer has been duly authorized by applicable City ordinance to enter into and perform its obligations under this Agreement, which is valid, binding, and enforceable against Buyer in accordance with its terms (subject to general creditor's rights and equitable principles) and does not violate any agreement or judicial order to which Buyer is a party or to which it is subject.

8. COVENANTS. From and after the Effective Date and until the Closing or earlier termination of this Agreement:

8.1 Title. Seller shall not convey any right, title, or interest in or to the Property, or create or permit any new title exceptions with respect to the Property without Buyer's consent, other than exceptions to be cured by Closing. If there are any Seller's Liens, Seller shall cause the same to be discharged, terminated, and released as required in order to convey title to the Property in accordance with this Agreement.

8.2 Physical Condition and Operation. Seller will manage, operate, insure, and maintain the Property in the same manner and condition as before the Effective Date, reasonable wear and tear excepted; without limiting the generality of the foregoing, Seller will not alter the Property or commit or permit waste to the Property without Buyer's consent.

8.3 Contracts. There are no Contracts.

8.4 Updates. Seller shall notify Buyer if any of the Due Diligence Documents previously provided to Buyer are amended, supplemented, or updated; or if Seller becomes aware that any information in any Due Diligence Document previously provided to Buyer, or any representation or warranty of Seller herein, is or becomes untrue or incorrect in any material respect.

8.5 Exclusivity. Seller agrees not to market or show the Property to any other prospective purchasers or to solicit, entertain, or accept any offers for the Property (whether or not subordinate to this Agreement) from any other prospective purchasers.

9. CONTINGENCIES. The obligations of Buyer under this Agreement are conditioned upon the satisfaction or waiver of all requirements and contingencies set forth in this Section ("Contingencies"). The Contingencies are: (a) Buyer must receive title to the Property, in accordance with Section 5, at Closing; (b) none of the representations and warranties of Seller herein must cease to be true and correct, in all material respects, prior to Closing; and (c) the Effective Date of the Settlement Agreement has occurred. If any Contingency is not

satisfied or waived by Closing, , then Buyer may terminate this Agreement by written notice to Seller at any time prior to such deadline and receive a full refund of any Earnest Money.

In addition, the obligations of the City under this Agreement are conditioned upon the approval of the transactions contemplated hereby by the City of Raymore, Missouri, which approval may be given or withheld in its sole and absolute discretion, no later than the date of execution of the Settlement Agreement by Seller and Buyer (“Approval Contingency”). If the Approval Contingency is not satisfied by such date, then it shall result in an automatic termination of this Agreement as of such date without further action, and Buyer shall receive a full refund of any Earnest Money. The Approval Contingency shall be deemed satisfied if the Seller and Purchaser enter into the Settlement Agreement.

10. CLOSING AND POSSESSION. The Closing shall occur at the offices of the Title Company at 12:00 noon on the Closing Date or such other time as mutually agreed by the parties. A party need not be present at Closing if such party has delivered all of the items it is required to deliver at Closing to the Title Company by the Closing Date with escrow instructions consistent with this Agreement.

10.1 Seller's Deliveries. At Closing, Seller shall deliver possession of the Property. Seller shall deliver the Property “as is” and without any representations or warranties, Seller and Buyer hereby disclaiming any such representations or warranties, in each case except as expressly provided herein. Seller also shall execute and deliver to Buyer the following:

(a) A special warranty deed conveying all right, title, and interest in and to the Land and Improvements, free and clear of all liens and encumbrances, other than Permitted Exceptions.

(b) All affidavits, certificates, closing statements, and other documents reasonably required by the Title Company to insure title to the Property in accordance with this Agreement, or reasonably required by Buyer to the extent not contrary to the terms of this Agreement and otherwise reasonably acceptable to Seller.

10.2 Buyer's Deliveries. At Closing, Buyer shall deliver the Purchase Price, subject to prorations, credits, and adjustments as provided herein. Buyer also shall execute and deliver to Buyer the following:

(a) All affidavits, certificates, closing statements, and other documents reasonably required by the Title Company to insure title to the Property in accordance with this Agreement, or reasonably required by Seller to the extent not contrary to the terms of this Agreement and otherwise reasonably acceptable to Buyer.

11. PURCHASE PRICE ADJUSTMENTS AND EXPENSES.

11.1 Prorations. The following amounts shall be prorated between the parties:

(a) Taxes and Special Assessments. If the City is Buyer, all ad valorem real estate taxes imposed on the Property for the year in which Closing occurs shall be prorated as of the Closing Date; if the City is Seller, it is tax exempt and such taxes shall not be prorated. Special assessments imposed on the Property, if any, shall be the sole responsibility of the owner of the Property as of the date the applicable special assessment becomes due and payable.

(b) Utilities and Assigned Contracts. If applicable: fees and charges for utilities, income and prepaid expenses under Assigned Contracts, and other like items customarily prorated upon the sale of property similar to the Property, in each case for the period in which Closing occurs, shall be prorated as of the Closing Date.

(c) Re-proration. The exact amount of prorated items may not be known and may be based on the latest information available on the Closing Date; if so, the parties agree to re-prorate such items once such amounts are ultimately determined based upon final bills or statements.

11.2 Expenses. The following costs and expenses shall be paid by the parties as described below, including as an appropriate adjustment to the Purchase Price set forth on the closing statement.

(a) Seller shall pay for (i) all costs to discharge, terminate, and release the Seller's Liens; (ii) all costs of examinations, fees, and premiums for the Title Commitment and Title Policy, other than the cost of any requested endorsements to the Title Policy; (iii) one-half of the customary closing or escrow fees of the Title Company; and (iv) the costs to record any documents necessary to remove the Seller's Liens and all other liens or encumbrances other than the Permitted Exceptions.

(b) Buyer shall pay for (i) all costs to conduct its due diligence and inspections of the Property, including the Survey, if any; (ii) the cost of any requested endorsements to the Title Policy; (iii) one-half of the customary closing or escrow fees of the Title Company; and (iv) all costs to record the deed and all other recordable documents at Closing, other than such recording costs to be paid by Seller as specified herein.

11.3 Broker Commissions and Other Expenses. All other costs and expenses paid or incurred in connection with or incident to this Agreement and the performance and consummation of the transactions contemplated hereby shall be borne by the party paying or incurring same. Without limiting the generality of the foregoing, the parties represent and warrant to one another that they have not dealt with any broker with respect to the transactions contemplated hereby. Each party shall defend, indemnify, hold harmless the other party from and against (but for the City, then to the extent permitted by Missouri law and not inconsistent with the doctrine of sovereign immunity it shall be responsible for) any claims, causes of action, damages, liability, or costs or expenses that the other may sustain or incur by reason of its breach of this paragraph.



12. RISK OF LOSS AND CONDEMNATION. Seller has the risk of loss, destruction, or damage to the Property until Closing. If any such event occurs prior to Closing, Seller will promptly notify Buyer. If the cost to repair such damage and restore the Property to its previous condition is estimated by Buyer to be not more than \$10,000 in the aggregate, Seller may complete such repair and restoration by Closing; if Seller does not do so, then Buyer will be entitled to a reduction in the Purchase Price to the extent necessary to cover the remaining cost to complete such repair and restoration estimated by Buyer up to \$10,000 in the aggregate, and Buyer will be responsible for any such repair and restoration. If the cost of such repair and restoration is estimated by Buyer to be more than \$10,000 in the aggregate, Buyer may, at its option, either (a) terminate this Agreement and receive a refund of any Earnest Money, or (b) proceed to Closing without any adjustment to the Purchase Price except Seller will assign and pay to Buyer all associated insurance claims and proceeds plus the amount of any deductible. If all or any part of the Property is condemned or becomes subject to any condemnation action or proceeding prior to Closing, Seller will promptly notify Buyer, and Buyer may, at its option, either (a) terminate this Agreement and receive a refund of any Earnest Money, or (b) proceed to Closing without any adjustment to the Purchase Price except Seller will assign and pay to Buyer all associated claims, awards, and proceeds.

13. DEFAULTS AND REMEDIES.

13.1 Seller Default. If Seller defaults in the performance of any of its covenants under this Agreement and fails to cure such default within ten (10) days after notice thereof from Buyer to Seller, then Buyer may elect to: (a) terminate this Agreement, in which case any Earnest Money shall be paid to Buyer, or (b) obtain specific performance of Seller's obligations under this Agreement plus recovery of all Buyer's costs and expenses in connection with such default.

13.2 Buyer Default. If Buyer defaults in the performance of any of its covenants under this Agreement and fails to cure such default within ten (10) days after notice thereof from Seller to Buyer, then Seller may either (a) terminate this Agreement and recover the Earnest Money as liquidated damages and not as penalty, in full satisfaction of claims against Buyer hereunder or (b) elect to bring an action for specific performance of Buyer's obligations under this Agreement, plus recovery of all Seller's costs and expenses in connection with such default.

14. RESERVED.

15. GENERAL.

15.1 Notices. Any notice or other communication required or permitted hereunder must be in writing and either: hand delivered; or sent overnight via reputable national courier or mailed by U.S. certified mail, fees and postage prepaid, in each case to the relevant party at its address as set forth herein (as the same may be changed by notice given in accordance herewith) and, in the case of the City, with a copy to the General Counsel, 100 Municipal Circle, Raymore, Missouri 64083. Any such communication shall

be deemed given, delivered, and effective: when hand delivered; one (1) business day after deposit with the courier; or three (3) business days after deposit with the U.S. Postal Service.

15.2 Time. Time is of the essence in the performance of and compliance with this Agreement; provided, that if any date or period specified herein falls or expires on a day which is not a business day, then such date or period shall be automatically deemed moved or extended to the next business day.

15.3 Survival. If this Agreement terminates in accordance with its terms, it shall cease to be of any further force or effect and the parties shall be relieved from all obligations hereunder, except for such obligations which are expressed or by their terms are intended to survive.

15.4 Miscellaneous. This Agreement shall be governed by the laws of the State of Missouri, without regard to conflicts of law principles. This Agreement constitutes the complete and integrated agreement of the parties and supersedes all prior and contemporaneous discussions, negotiations, understandings, and agreements relating to the subject matter hereof. This Agreement is binding upon and shall inure to the benefit of Seller and Buyer, their respective heirs, successors, and permitted assigns. This Agreement is intended to be enforceable in all respects, but if any provision hereof is invalid or unenforceable under applicable law, such provision shall be enforced to the fullest extent permitted by law and the validity and enforceability of the other provisions shall be unaffected. This Agreement may not be amended or modified except in a writing signed by all parties, and no term or condition hereof shall be deemed waived by a party except in a writing signed by such party. No failure or delay in exercising any right or remedy hereunder shall operate as a waiver thereof, nor shall any single or partial exercise thereof preclude any other or further exercise thereof or of any other right or privilege. This Agreement may be executed and delivered via facsimile or other electronic transmission, which shall be deemed to be originals.

IN WITNESS WHEREOF, the parties have executed this Agreement on the respective dates set forth below, to be effective as of the Effective Date.

CITY OF RAYMORE, MISSOURI

By: \_\_\_\_\_

Name:

Title:

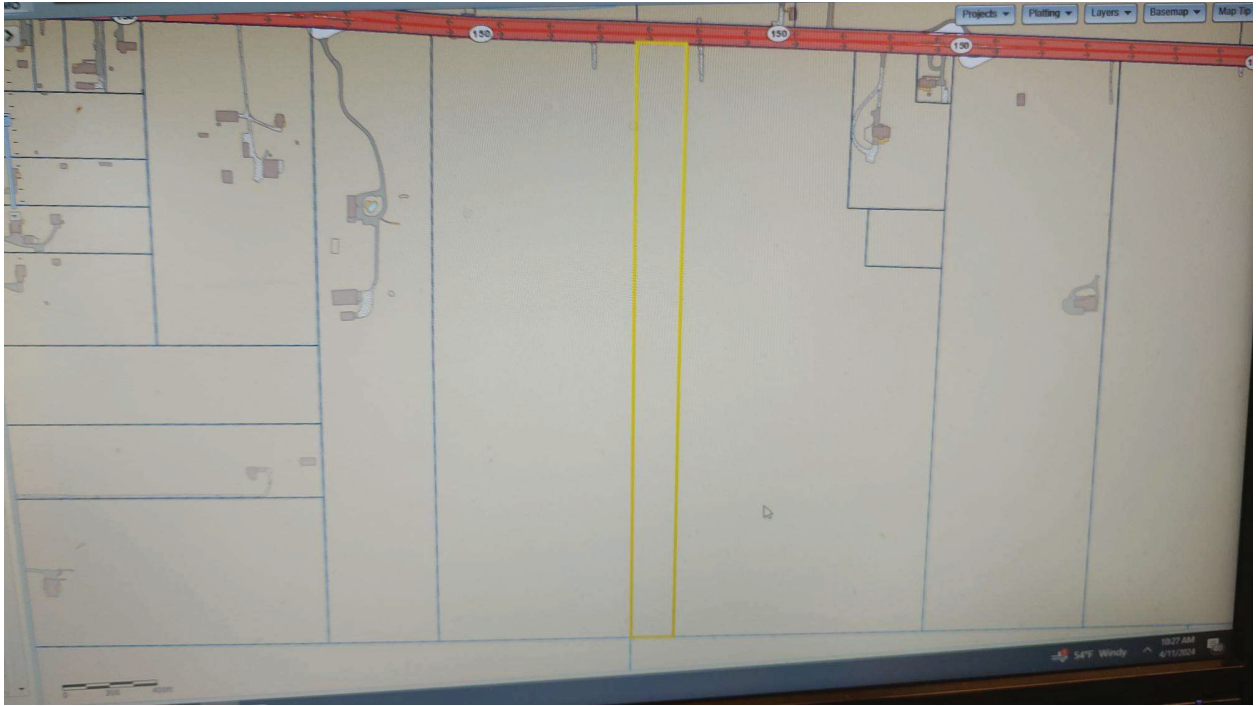
Attest: \_\_\_\_\_

SOUTH KC ACQUISITIONS, LLC

By: \_\_\_\_\_

Name: Jennifer Monheiser, Manager

**EXHIBIT A**  
**Legal Description**



**EXHIBIT B**  
**Due Diligence Documents**

1. Survey dated \_\_\_\_\_, which includes the Property.
2. Title Commitment or title policy that includes the Property (but not cover only the Property).



**EXHIBIT C**

**Personal Property (if applicable)**

**NONE**

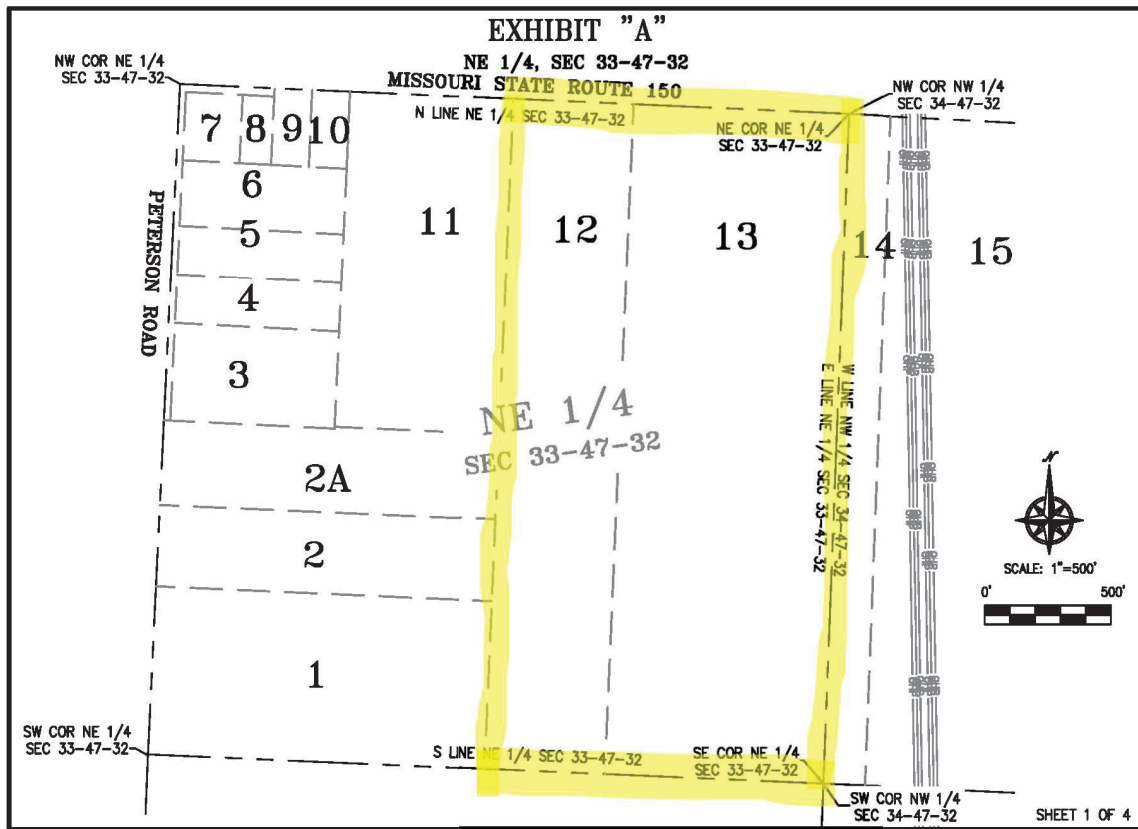
**EXHIBIT D**

**Assigned Contracts (if applicable)**

**NONE**

## Exhibit C

### Retained Property



Parcel #12: Jackson County APN JA68700010200000000, Parcel 68-700-01-02-00-0-00-000. Shorthand Legal Description: W 29 AC OF E 1/2 NE 1/4 SEC 3347 32 EXC PRT IN HWY 150.

Parcel #13: Jackson County APN JA68700010100000000, Parcel 68-700-01-01-00-0-00-000. Shorthand Legal Description: PRT E 1/2 NE 1/4 SEC 33 47 32 ALL SD 1/2 1/4 EXC W 29 AC ALSO EXC PRT IN STS

**Exhibit D**  
**Restrictive Covenants**

**[SEE ATTACHED]**

---

|                     |                                      |
|---------------------|--------------------------------------|
| Document Title:     | Declaration of Restrictive Covenants |
| Document Date:      | _____, 2024                          |
| Grantors' Names:    |                                      |
| Grantee's Name:     |                                      |
| Legal Description:  | See attached <b>Exhibit "1"</b>      |
| Document Reference: |                                      |

---

## DECLARATION OF RESTRICTIVE COVENANTS

**THIS DECLARATION OF RESTRICTIVE COVENANTS ("Restrictive Covenant")** is made and entered into as of the \_\_\_\_\_ day of \_\_\_\_\_, 2024 (the "Effective Date") by and between South KC Acquisitions, LLC, a Missouri limited liability company \_ ("Grantor"), and the City of Raymore, Missouri, a Missouri municipal corporation ("Grantee"). Grantor and Grantee are referred to hereinafter as the "Parties" or as a "Party", when identifying a general singular entity of the Parties.

## RECITALS

These recitals are an integral and material part of this Restrictive Covenant and provide the basis, background, explanation, and intent of the Parties in entering this Restrictive Covenant:

A. Grantors cumulatively currently own certain undeveloped real property (the "Property") located in Kansas City, Jackson County, Missouri legally described on **Exhibit "1"** attached hereto and incorporated by reference herein.

B. Grantee is a Missouri municipal corporation in Cass County, Missouri.

C. Grantors and Grantee have entered into an Agreement dated the 15th day of April, 2024 (the "Agreement") for the resolution of certain disputes surrounding the development of the Property as a solid waste management area and a solid waste management facility ("Landfill") by Grantors. Pursuant to the terms of the Agreement, the Property is to be subjected to perpetual restrictive covenants limiting the use of the Property to residential, agricultural, light commercial and/or mixed use. This Restrictive Covenant is being drafted, executed for purposes of memorializing the ongoing obligations and restrictions of the Grantors as to the Property.



D. The Parties agree and acknowledge that this Restrictive Covenant shall be recorded with the Office of the Director of Records for Jackson County, Missouri.

E. The intent of the Parties under this Restrictive Covenant is to limit the use of the Property by the Grantors their successors, heirs, and assigns as further defined below, subject only to amendment, alteration, or termination by mutual agreement of the Parties, or by a court of competent jurisdiction (if such purposes are found to be unreasonable, unconscionable, or otherwise impracticable).

## **RESTRICTIONS**

It is hereby agreed between the Grantors and the Grantee that the Property shall be subject to limitations on its use in perpetuity (or until this Restrictive Covenant is terminated, amended, or modified by the mutual agreement of the Parties, or by order of a court of competent jurisdiction), with the following conditions, restrictions and covenants.

The Grantee, their successors, heirs, and assigns shall be prohibited from utilizing the Property, or any parts, portions, or parcels of the Property for anything other than those uses identified by the City of Kansas City Zoning Code for the following zoning classifications: (i) agricultural (including the zoning classification corresponding to District AG-R identified in the current Kansas City Code of Ordinances with the exception of mining and quarrying uses), (ii) residential (including the zoning classifications corresponding to Districts R-2.5, R-5, R-6, R-7.5, R-10, and R-80 as identified in the current Kansas City Code of Ordinances), (iii) commercial (including the zoning classifications corresponding to Districts B-3, B-2, B-1, and O as identified in the current Kansas City Code of Ordinance, with the exception of adult business, pawn shops, and/or short-term loan establishments)..

The foregoing and above, covenants, obligations and agreements shall run with the Property and shall be construed as real covenants running with the land and shall bind the successors, heirs, and assigns of the Grantors in perpetuity from the date of execution by both Parties.

Any breach or threatened breach of the covenants herein contained may be enjoined upon petition to the Circuit Court of Jackson County, Missouri. In the event of a dispute concerning the validity, interpretation and application of this Restrictive, the substantially prevailing Party shall be entitled to its reasonable attorneys' fees and costs, including costs of appeal, and any other relief that a court of competent jurisdiction deems appropriate.

This Restrictive Covenant may be amended, modified, altered, or terminated as follows:

a. By mutual agreement in writing executed by the authorized representatives of the Parties, or their successors, heirs, and assigns, which said mutual agreement shall be recorded in the Office of the Director of Records for Jackson County, Missouri, or

b. By a court of competent jurisdiction, if the purposes, affects or identified restrictions are found to be unreasonable, unconscionable, or otherwise



Notary Public

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

33

\_\_\_\_\_, the \_\_\_\_\_, of the City of Raymore, Missouri, to me personally known, who being by me first duly sworn, did affirm that he is the \_\_\_\_\_ of the City of Raymore, Missouri, a Missouri municipal corporation, and that the foregoing Restrictive Covenant was signed and sealed on behalf of said City by authority of its City Council and that said instrument was executed by the free act and deed of said City.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

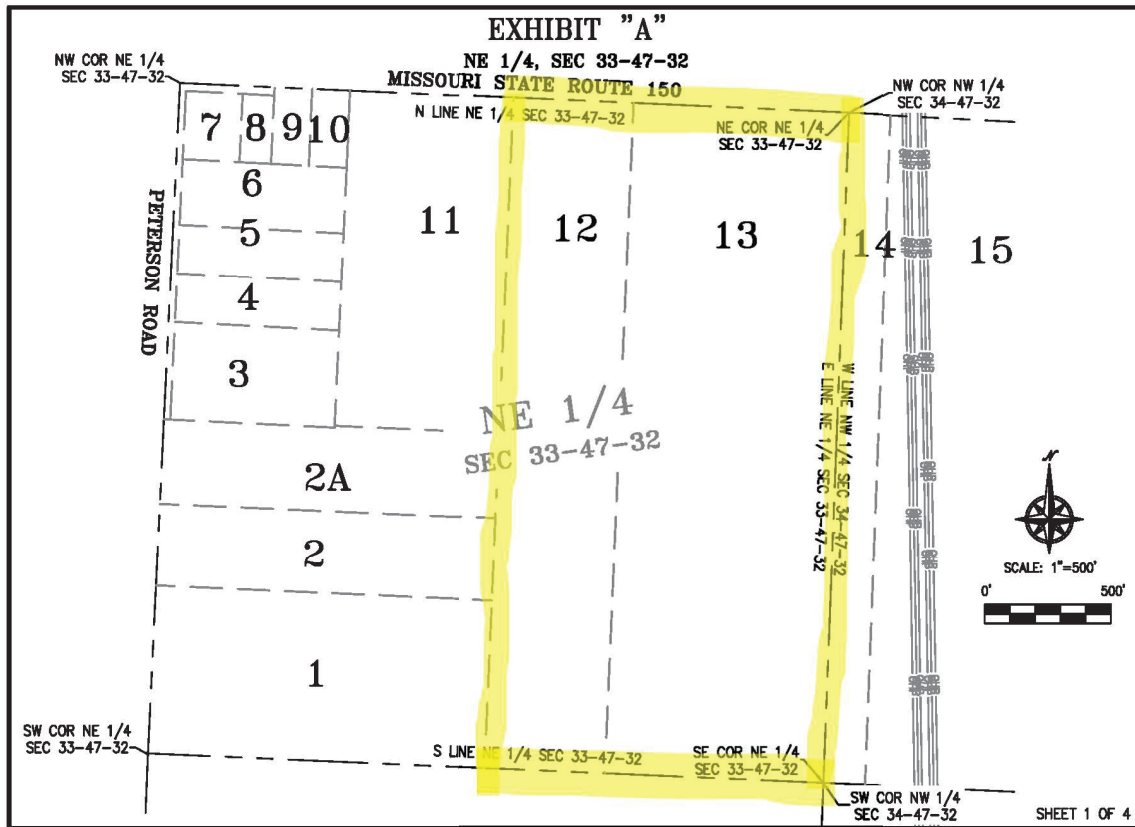
\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Printed Name

My Commission Expires:

\_\_\_\_\_

# **EXHIBIT "1"** **LEGAL DESCRIPTION**



Parcel #12: Jackson County APN JA68700010200000000, Parcel 68-700-01-02-00-0-00-000. Shorthand Legal Description: W 29 AC OF E 1/2 NE 1/4 SEC 3347 32 EXC PRT IN HWY 150.

Parcel #13: Jackson County APN JA68700010100000000, Parcel 68-700-01-01-00-0-00-000. Shorthand Legal Description: PRT E 1/2 NE 1/4 SEC 33 47 32 ALL SD 1/2 1/4 EXC W 29 AC ALSO EXC PRT IN STS



# Raymore City Council takes local step to end landfill threat

Post Date: 04/15/2024 7:33 PM

RAYMORE, MO (April 15, 2024) - The Raymore City Council unanimously approved a settlement agreement with landfill developer Jenny Monheiser in a special meeting tonight.

The agreement, contingent upon the passage of landfill legislation in Jefferson City, will eliminate the threat of a landfill in far southeastern Kansas City near Raymore.

Council approval of the agreement is the local step necessary to advance legislation at the state level.

Raymore City Manager Jim Feuerborn outlined the \$3.73 million settlement in detail at the meeting, which includes:

- the purchase of real property;
- settlement payments to establish restrictions on what the developer can and cannot do with the land she will retain;
- mutual support for legislative amendments to Missouri State Statute RSMo 260.205 (9), which would allow a municipality bordering Kansas City to approve or reject a landfill within one mile of its border. The current statute only allows a municipality to approve or reject a landfill within a half mile and the proposed landfill location is entirely within one mile of Raymore's city limits.

"I have seen firsthand the anguish our residents have gone through for more than a year and a half of fighting this battle," Mayor Kris Turnbow said. "There is no price on the long-term health, safety and well-being of our community."

Turnbow and Feuerborn will deliver tonight's council-approved agreement to legislators in Jefferson City on Tuesday, April 16, where two identical landfill bills are on the calendar for debate in the Missouri Senate: Senate Bill 739 sponsored by Sen. Mike Cierpiot and House Bill 1751 sponsored by Rep. Mike Haffner.

[Click here to view the April 15 Raymore City Council Special Meeting](#). Learn more about Raymore's opposition to a landfill at [www.raymore.com/nolandfill](http://www.raymore.com/nolandfill)

###

Follow us on [Twitter/X](#), [Facebook](#), [Instagram](#) and [Threads](#): @CityofRaymoreMO. Learn more about the City of Raymore at [www.raymore.com](http://www.raymore.com)

## **IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**A RESOLUTION** expressing the intent of the Legislature for the County Counselor not to appeal the Missouri State Tax Commission ruling without the authority of the Jackson County Legislature and reserving the Legislature's authority to have final approval of litigation goals in suits filed against the county valued at more than \$5,000.00.

**RESOLUTION NO. 21694**, August 12, 2024

**INTRODUCED BY** Sean E. Smith, County Legislator

WHEREAS, the Jackson County Legislature reserves the legal authority to bring suits filed on behalf of the County or to settle claims made against Jackson County; and,

WHEREAS, the Legislature reserves the right to say nothing of the litigation decisions involving the Legislature itself; and,

WHEREAS, the Jackson County Counselors Office cannot initiate any lawsuit on behalf of the County Legislature without the consent of the Legislature; and,

WHEREAS, the Jackson County Counselors Office cannot enter into legal contracts without consent of the Jackson County Legislature; and,

WHEREAS, the Jackson County Legislature reserves the right to settle suits valued at more than \$5,000 against Jackson County; and,

WHEREAS, the Jackson County Counselor does not have the sole authority to make decisions about the goals of litigation and those final decisions must be made by the County Legislature, with recommendation from the Counselor; now therefore,

BE IT RESOLVED the County Counselors office shall not determine any litigation goals in suits valued at more than \$5,000 without the collaboration of the Jackson County Legislature; and,

BE IT FURTHER RESOLVED the County Counselors office will work collaboratively with The Legislature As A Whole in regard to lawsuits filed against the county and lawsuits filed on behalf of the county; and,

BE IT FURTHER RESOLVED the Counselors Office shall share any legal documents, motions filed and related claims with The County Legislature in a timely manner; and,

BE IT FURTHER RESOVLED that the County Counselors Office will provide any documents pertaining to lawsuits filed against Jackson County to the Jackson County Legislature in accordance with the County Executive; and,

BE IT FURTHER RESOLVED the County Counselor shall not give the County Executive special privilege in information sharing.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 11:31 CDT)

\_\_\_\_\_  
County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21694 of August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature



# Jackson County Missouri

Jackson County Courthouse  
415 E. 12th Street, 2nd floor  
Kansas City, Missouri  
64106  
(816)881-3242

## Request for Legislative Action

---

**File #: 21694, Version: 0**

---

**REQUESTED MEETING DATE:** 8/12/2024

**SPONSORS:**

**Sean E. Smith**

Resolution No. 21694  
Sponsor: Sean E. Smith  
Date: August 12, 2024

*To be confirmed by County Counselor's Office:*

**STAFF CONTACT:** Ashley Al-Shawish **PHONE:** 816-881-3274

**EMAIL:** [aal-shawish@jacksongov.org](mailto:aal-shawish@jacksongov.org)

**DEPARTMENT:** Legislature

**TITLE:** Directing the County Counselor not to appeal the Missouri State Tax Commission's ruling, Order of the State Tax Commission of Missouri regarding 2023 and 2024 Assessments, issued on August 7th 2024 and reserving the Jackson County Legislature's authority to have final approval of litigation goals in suits filed against the county valued at more than \$5,000.00.

**SUMMARY:** The Missouri STC issued statement confirming that the Jackson County 2023 Assessment Cycle was not in compliance with Missouri state law. The Missouri STC concluded that the Jackson County Assessment Department did not adequately conduct physical property inspections necessary for property value increases exceeding 15%. The Jackson County Assessment Department and Jackson County Board of Equalization shall comply with the Order of the STC of Missouri regarding 2023 and 2024 Assessments, issued on August 7th 2024 and roll back any property value that increased more than 15% from the previous year's assessment. the Jackson County Legislature reserves the legal authority to bring suits filed on behalf of the county or to settle claims made against Jackson County. The Legislature reserves the right to say nothing of the litigation decisions involving the Legislature itself. The Jackson County Counselors Office cannot initiate any lawsuit on behalf of the County Legislature without the consent of the Legislature. The



Jackson County Counselors Office cannot enter into legal contracts without consent of the Jackson County Legislature. The Jackson County Legislature reserves the right to settle suits valued at more than \$5,000 against Jackson County. The Jackson County Counselor does not have the sole authority to make decisions about the goals of litigation and those final decisions must be made by the County Legislature, with recommendation from the Counselor. The County Counselors office shall not appeal the Order of the STC of Missouri regarding 2023 and 2024 Property Assessments and The Assessment Department and Board of Equalization shall roll back any property value increased by more than 15% from the previous year. That the Jackson County Counselors office shall not determine any litigation goals in suits valued at more than \$5,000 without the collaboration of the Jackson County Legislature. The County Counselors office will work collaboratively with The Legislature As A Whole in regards to lawsuits filed against the county and lawsuits filed on behalf of the county. The Counselors office shall share any legal documents, motions filed and related claims with The County Legislature in a timely manner. that the County Counselors Office will provide any documents pertaining to lawsuits filed against Jackson County to the Jackson County Legislature in concurrence with the County Executive. The County Counselor shall not give the County Executive special privilege in information sharing.

**FINANCIAL IMPACT:****NO** ☐

| Amount | Fund | Department | Line-Item Detail |
|--------|------|------------|------------------|
|        |      |            |                  |

**YES** ☐**ACTION NEEDED:** Choose an item.**ATTACHMENTS:**

STC Letter and Order; Attorney General Motion

COMMISSIONERS

GARY ROMINE, CHAIRMAN  
DEBBI MCGINNIS, MEMBER  
GREG RAZER, MEMBER



STACEY JACOBS  
ADMINISTRATIVE SECRETARY

GREGORY K. ALLSBERRY  
CHIEF COUNSEL

**STATE TAX COMMISSION  
OF MISSOURI**

421 EAST DUNKLIN STREET  
POST OFFICE BOX 146  
JEFFERSON CITY, MISSOURI 65102-0146  
TELEPHONE: 573-751-2414  
FAX: 573-751-1341  
<https://stc.mo.gov>

August 7, 2024

Frank White, Jackson County Executive

415 E. 12<sup>th</sup> Street, #200

Kansas City, MO 64106

By email: [countyexecutive@jacksongov.org](mailto:countyexecutive@jacksongov.org) and [sjoslin@jacksongov.org](mailto:sjoslin@jacksongov.org)

Board of Equalization

Forestine A. Beasley, Chair

Lauren Allen, Vice-Chair

Nathaniel W. Petty, Member

415 E. 12<sup>th</sup> Street, Room 102, Kansas City, MO 64106

By Email: [boardofequalization@jacksongov.org](mailto:boardofequalization@jacksongov.org)

Gain McCann Beatty, Jackson County Director of Assessment

415 E. 12<sup>th</sup> Street

Kansas City, MO 64106

By email: [Gmbeatty@jacksongov.org](mailto:Gmbeatty@jacksongov.org)

Re: Order of the State Tax Commission of Missouri Regarding 2023 and 2024 Assessments

Dear Jackson County Assessor Officials,

Please find enclosed an Order of the State Tax Commission regarding the 2023 and 2024 assessments. This Order is the same Order as the one we sent earlier today, minus the signature of Commissioner Razer, who recused himself from the vote to issue the Order.

Please disregard the Order which we sent earlier today which bore Commission Razer's signature.

Sincerely,

A handwritten signature in cursive script, reading "Gary Romine".

Gary Romine  
Chairman

A handwritten signature in cursive script, reading "Debbi McGinnis".

Debbi McGinnis  
Commissioner

\_\_\_\_\_  
Greg Razer  
Commissioner

cc:

Jackson County Legislatures, individually and c/o Mary Jo Spino, [MSpino@jacksongov.org](mailto:MSpino@jacksongov.org)

Bryan Covinsky, Jackson County Counselor, [bcovinsky@jacksongov.org](mailto:bcovinsky@jacksongov.org)

# STATE TAX COMMISSION OF MISSOURI

## ORDER

COMES NOW the State Tax Commission of Missouri, pursuant to the powers vested in it by the constitution and statutes of this state, and hereby directs and orders the Jackson County Executive, the Jackson County Board of Equalization, and the Jackson County Assessor (hereafter “Jackson County assessing officials”), as follows:

1. Section 138.410 RSMo. bestows upon this Commission general supervision over all the assessing officers of this state and over county boards of equalization and appeal in the performance of their duties concerning the general property tax. It is the responsibility of the Commission to inquire into the methods of assessment and determine whether the assessing officers and boards of equalization are discharging their duties as required by law. To this end, the Commission has powers commensurate with its responsibility and may issue orders designed to enforce the law and assure uniformity. *Cassily v. Riney*, 576 S.W.2d 325 (Mo. banc 1979); *Cuivre River Electric, Inc. v. State Tax Commission of Missouri*, 769 S.W.2d 432, 435 (Mo. banc 1989).
2. The Jackson County Executive is responsible for the administration of the affairs of Jackson County, has the power to correct mistaken or erroneous assessments and taxes mistakenly or erroneously levied or paid, and shall assign all duties and functions prescribed by law or this charter for the county assessor.
3. The Jackson County Assessor, who is head of the Jackson County Assessment Department, is responsible for assessment of property in Jackson County in a manner that complies with Missouri law.
4. The Jackson County Board of Equalization is responsible for hearing all appeals from the Jackson County Assessment Department and correcting and adjusting property assessments accordingly.
5. Pursuant to Section 137.115.10 RSMo., before an assessor may increase the assessed valuation of any parcel of subclass (1) real property by more than fifteen percent since the last assessment, excluding increases due to new construction or improvements, the assessor shall conduct a physical inspection of such property.
6. Section 137.115.11 RSMo. provides that if a physical inspection is required, the assessor shall notify the property owner of that fact in writing and shall provide the owner clear written notice of the owner’s rights relating to the physical inspection. If a physical inspection is required, the property owner may request that an interior inspection

be performed during the physical inspection. The owner shall have no less than thirty days to notify the assessor of a request for an interior physical inspection.

7. Section 137.115.12 RSMo. provides that in cases of valuation increase by more than fifteen percent, a physical inspection shall include, but not be limited to, an on-site personal observation and review of all exterior portions of the land and any buildings and improvements to which the inspector has or may reasonably and lawfully gain external access, and shall include an observation and review of the interior of any buildings or improvements on the property upon the timely request of the owner. Mere observation of the property via a drive-by inspection or the like shall not be considered sufficient to constitute a physical inspection in these cases.

8. The Commission finds and determines that Sections 137.115.10, 137.115.11 and 137.115.12 RSMo. are mandatory and not merely directory in nature. In the event a property owner appeals an assessment, if the assessor fails to establish that proper notice was given and that a physical inspection was performed in accordance with Section 137.115 RSMo., the property owner shall prevail as a matter of law. Section 138.060.1 RSMo. The Commission has consistently ruled that property assessment increases must not exceed fifteen percent from the last assessment when the assessor fails to comply with the notice and inspection provisions of these statutes. See *Christopher and Sarah Slusser v. Jake Zimmerman, Assessor, St. Louis County, Missouri*, Appeal No. 17-10066; *Cameron Walker v. Gail McCann Beatty, Assessor, Jackson County, Missouri*, Appeal No. 21-30073; *Rusty Parker v. Eric Dugal, Assessor, St. Francois County, Missouri*, Appeal No. 21-84001.

9. The Commission finds and determines that in conducting its biennial reassessment for 2023, Jackson County assessing officials failed to give proper notice to property owners and failed to perform physical inspections as required by Section 137.115 RSMo. where the assessed valuation of residential real property increased by more than fifteen percent since the last assessment, resulting in mistaken or erroneous assessments and taxes that were mistakenly or erroneously levied or paid in 2023, in that:

a. Jackson County assessing officials did not notify, in writing, most property owners whose assessed valuations increased more than fifteen percent from the last assessment that a physical inspection was required.

b. Jackson County assessing officials did not notify most property owners that a physical inspection was required and did not provide the owner clear written notice of the owner's rights relating to the physical inspection, including the property owner's right to an interior inspection *during* the physical inspection.

c. Many notices sent to property owners were undated and, on the face of the notices, did not include the percentage change in assessed valuation, nor did they provide

property owners with no less than thirty days to notify the Assessor of a request for an interior physical inspection.

d. Jackson County assessing officials did not physically inspect many properties in the manner required by Section 137.115 RSMo., but instead, incorrectly determined that its parcel-by-parcel reviews conducted during 2021, 2022, and early 2023 fulfilled the physical inspection requirement.

e. Jackson County assessing officials conducted Board of Equalization appeals in such a manner as to provide taxpayers with insufficient or misleading information as to the Board of Equalization appeal process, insufficient physical accommodations making it extremely difficult, if not impossible, for some taxpayers to pursue their appeal rights, expressly or impliedly telling taxpayers contrary to law that the burden of proof at Board of Equalization hearings is on the taxpayer, refusing to recognize evidence as to valid comparable sales provided by some taxpayers, undue interference by the Jackson County assessor's office in the affairs of the Board of Equalization, and other unfair and improper conduct resulting in an overall denial of due process to Jackson County taxpayers.

10. The failures described herein were widespread and systemic, affecting at least seventy five percent of the parcels to which these requirements applied.

WHEREFORE, as a result of mistaken or erroneous assessments and taxes that were mistakenly or erroneously levied or paid, and in order to ensure compliance with Missouri law, the Commission orders as follows:

1. Jackson County assessing officials shall correct the 2023 Assessment Roll to reflect assessed valuations of all parcels of subclass (1) real property, excluding increases due to new construction or improvements, that equal the valuations determined by Jackson County assessing officials, or valuations that do not exceed fifteen percent since the last assessment, whichever is less.

2. With respect to 2023 appeals that are still pending before the Board of Equalization, the Board of Equalization shall assess all parcels of subclass (1) real property, excluding increases due to new construction or improvements, at their true value in money or at valuations that do not exceed fifteen percent since the last assessment, whichever is less.

3. Within 30 days from the date of this Order, Jackson County assessing officials shall review all 2023 subclass (1) real property stipulations that have been submitted to the State Tax Commission for approval and shall notify the State Tax Commission of all stipulated amounts that exceed the valuation limit described in paragraphs 1 and 2, above.



4. The assessed valuations for 2024 subclass (1) real property shall remain the same as the assessed valuations in the 2023 assessment roll, as corrected by this Order, excluding increases due to new construction or improvements.

5. Jackson County assessing officials shall take all necessary actions to ensure future compliance with Section 137.115 RSMo.


STATE TAX COMMISSION OF MISSOURI



Gary Romine  
Chairman



Debbi McGinnis  
Commissioner



Greg Razer  
Commissioner

Dated at Jefferson City, Missouri  
On this 6<sup>th</sup> day of August, 2024

**IN THE CIRCUIT COURT OF JACKSON COUNTY  
STATE OF MISSOURI**

|                                 |   |                       |
|---------------------------------|---|-----------------------|
| STATE OF MISSOURI, ex rel,      | ) |                       |
| Attorney General Andrew Bailey, | ) |                       |
| et al.,                         | ) |                       |
|                                 | ) |                       |
| Relators/Plaintiffs,            | ) |                       |
|                                 | ) |                       |
| v.                              | ) | Case No. 2316-CV33643 |
|                                 | ) |                       |
| JACKSON COUNTY, MISSOURI,       | ) |                       |
| et al.,                         | ) |                       |
|                                 | ) |                       |
| Respondents/Defendants.         | ) |                       |

**THE STATE OF MISSOURI'S REPLY TO THE JACKSON COUNTY  
COUNSELOR'S OFFICE'S SUGGESTIONS IN OPPOSITION TO THE  
STATE'S PENDING MOTIONS**

In its Suggestions in Opposition to the Relators/Plaintiffs' pending motions, the Jackson County Counselor's Office has explicitly declared authority it has seized in practice since the beginning of this litigation if not sooner: the legal authority to bring suit, settle cases, and otherwise set litigation goals on behalf of the County and its officials. Such authority is specifically denied to the County Counselor in the Jackson County Charter and Jackson County Code.

The Counselor's Office, relying on Comment 18 to Rule 4, compares the County Counselor to the Attorney General, whose broad authority includes some authority that would belong to the client in a private attorney-client relationship, specifically the authority to dictate the goals of the litigation.

The Counselor's Office refers to the County Charter for its alleged authority.

But the limited authority given the County Counselor in the County Charter, compared to the statutory and common law authority given to the attorney general, shows that the comparison is not apt.

The Attorney General, per statute, is given authority to, institute, in the name and on the behalf of the state, all civil suits and other proceedings at law or in equity requisite or necessary to protect the rights and interests of the state, and enforce any and all rights, interests or claims against any and all persons, firms or corporations in whatever court or jurisdiction such action may be necessary; and he may also appear and interplead, answer or defend, in any proceeding or tribunal in which the state's interests are involved.

§ 27.060, RSMo. Further, “[i]t is for the attorney general to decide where and how to litigate issues involving public rights and duties and to prevent injury to the public welfare. . . .” *State ex. rel. Igoe v. Bradford*, 611 S.W.2d 343, 347 (Mo. App. W.D. 1980) (citations omitted) The Attorney General, not other state officials, has the authority to direct the goals of litigation. *See id.* (The commissioner of the office of administration was a nominal party only, and that the attorney general had the authority to appeal an adverse decision against the commissioner notwithstanding the commissioner's objection.)

In contrast, the Jackson County Counselor's authority is limited per that County Charter and County Code in ways that make it clear that the County Legislature has the legal authority to decide whether to bring suits

on behalf of the County or to settle claims against the County, to say nothing of the litigation decisions involving of the County Legislature itself. Per the County Charter the County Counselor cannot institute any lawsuit on behalf of the County Legislature without its consent. Exhibit A, Jackson County Charter p. 17, Section 7. The County Counselor also cannot enter into contracts for legal or other services without the County Legislature's consent, a limitation not placed on the Attorney General. Moreover, per county ordinance, the County Counselor has very limited authority to settle suits, requiring the vote of the County Legislature to settle for more than \$5,000. Ex B. Jackson County Code, Chapter 16, Section 1606.1.

The County Counselor's position that he, and not other county officials, is broadly authorized to make decisions about the goals and ends of litigation is not supported by the County Charter or the County Code. His argument that he is allowed to ignore the litigation goals of a client are without merit and his Office should be prohibited from representing the County Legislature, the litigation goals of which the County Counselor has fought against at every turn.

Respectfully submitted,

**ANDREW BAILEY**  
Attorney General

/s/ John W. Grantham

John W. Grantham, MO 60556

Assistant Attorney General

[John.Grantham@ago.mo.gov](mailto:John.Grantham@ago.mo.gov)

Assistant Attorneys General

Steven Reed, MO 40616

Chief Counsel – Consumer Protection

[Steven.Reed@ago.mo.gov](mailto:Steven.Reed@ago.mo.gov)

P.O. Box 899

Jefferson City, MO 65102

(573) 751-1800; Fax: (573) 751-0774

ATTORNEYS FOR

RELATORS/PLAINTIFFS

**CERTIFICATE OF SERVICE**

The undersigned hereby certifies that on the 25th day of July, 2024, a true and correct copy of the foregoing was electronically filed using the Court's electronic filing system to be served on all parties of record.

/s/ John W. Grantham

Attorney for Relators/Plaintiffs



**IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI**

**A RESOLUTION** authorizing the Jackson County Legislature to hold a closed meeting on Monday, August 12, 2024, for the purpose of conducting privileged and confidential communications between itself and the Jackson County Counselor under section 610.021(1) of the Revised Statutes of Missouri, and closing all records prepared for discussion at said meeting.

**RESOLUTION NO. 21695**, August 12, 2024

**INTRODUCED BY** Jeanie Lauer, County Legislator

WHEREAS, the Jackson County Legislature desires to hold a closed meeting on Monday, August 12, 2024, during the regularly scheduled meeting of the Legislature; and,

WHEREAS, public notice of such closed meeting has been given by inclusion of this Resolution on the published agenda for said meeting; and,

WHEREAS, the purpose of such closed meeting is to conduct privileged and confidential communications between the Legislature and the Jackson County Counselor concerning the status of legal actions, causes of action, and/or litigation; and,

WHEREAS, such closed meeting is allowable under section 610.021(1) of the Revised Statutes of Missouri; now therefore,

BE IT RESOLVED by the County Legislature of Jackson County, Missouri, that the Legislature be authorized to hold a closed meeting during the regularly scheduled meeting of the Legislature on Monday, August 12, 2024, pursuant to section 610.021(1), RSMo, and closing all records prepared in connection therewith.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky  
Bryan Covinsky (Aug 8, 2024 12:51 CDT)  
\_\_\_\_\_  
County Counselor

#### Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21695 of August 12, 2024, was duly passed on \_\_\_\_\_, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas \_\_\_\_\_

Nays \_\_\_\_\_

Abstaining \_\_\_\_\_

Absent \_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mary Jo Spino, Clerk of Legislature