Posted: 8/8/2024 12:03 PM



COUNTY LEGISLATURE

MARY JO SPINO

415 East 12th Street Kansas City, MO 64106

JACKSON COUNTY, MISSOURI

CLERK OF THE COUNTY LEGISLATURE

201 West Lexington, 2nd Floor Independence, MO 64050

August 9, 2024 – August 15, 2024

NO MEETINGS -

8-12-2024 Monday

8-09-2024 Friday

NO ANTI-CRIME, DIVERSITY, EQUITY, & INCLUSION, HOUSING & HOMELESSNESS, INTER-GOVERNMENTAL AFFAIRS, LAND USE, PUBLIC WORKS, VETERANS, OR 911 **OVERSIGHT MEETINGS**

Health & Environment Committee Meeting -10:30 A.M. Jackson County Courthouse, 415 East 12th Street, 2nd Floor, Kansas City Legislative Assembly Area

The Health & Environment Committee will have a public hearing.

- Finance & Audit Committee Meeting -2:00 P.M. Jackson County Courthouse, 415 East 12th Street, 2nd Floor, Kansas City Legislative Assembly Area
- 2:15 P.M. Justice & Law Enforcement Committee Meeting -Jackson County Courthouse, 415 East 12th Street, 2nd Floor, Kansas City Legislative Assembly Area

The Justice & Law Enforcement Committee will have a public hearing on Ordinance #5868.

- 2:30 P.M. Rules Committee Meeting -Jackson County Courthouse, 415 East 12th Street, 2nd Floor, Kansas City Legislative Assembly Area
- 2:45 P.M. Budget Committee Meeting -Jackson County Courthouse, 415 East 12th Street, 2nd Floor, Kansas City Legislative Assembly Area

8-12-2024 Monday	3:00 P.M.	LEGISLATIVE MEETING – Jackson County Courthouse, 415 East 12 th Street, 2 nd Floor, Kansas City Legislative Assembly Area Closed meeting per Resolution #21695
8-13-2024 Tuesday		NO MEETINGS –
8-14-2024 Wednesday		NO MEETINGS –
8-15-2024 Thursday		NO MEETINGS –

Persons with disabilities wishing to participate in the above meetings and who require reasonable accommodation may call the County Clerk's Office at 881-3242 or 1-800-735-2466 (Missouri Relay). Forty-eight (48) hours' notice is required. To put information on the Activity Calendar, please contact the County Clerk's Office by NOON Wednesday of each week.

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE appropriating \$185,600.00 from the undesignated fund balance of the 2024 Grant Fund, in acceptance of the Family Court Division's Juvenile Court Diversion Program grant received from the State of Missouri, Division of Youth Services.

ORDINANCE NO. 5869, August 12, 2024

INTRODUCED BY Venessa Huskey, County Legislator

WHEREAS, the Family Court Division has been awarded a grant by State of Missouri,

Division of Youth Services in the amount of \$185,600.00 for the Juvenile Court Diversion

Program for the period of July 1, 2024, through June 30, 2025; and,

WHEREAS, the grant funds will be used to fund community-based services to assist in

diverting youth from commitment to the Division of Youth Services; and,

WHEREAS, the grant does not require local matching funds; and,

WHEREAS, an appropriation is necessary in order to place the grant funds in the proper spending accounts; now therefore,

BE IT ORDAINED by the County Legislature of Jackson County, Missouri, that the following appropriation be made from the undesignated fund balance of the 2024 Grant Fund:

DEPARTMENT/DIVISION CHARACTER/DESCRIPTION FROM то Grant Fund 9999 32810 Undesignated Fund Balance \$185,600 Family Court 010-2101 55010 Regular Salaries \$28,060 010-2101 55040 FICA Taxes \$2.146 010-2101 55060 Insurance Benefits \$9,190 \$9,200 010-2101 56620 Rent-Buildings 010-2101 56860 Restitution \$10,000 010-2101 56790 Other Contractual Svcs \$94,879 010-2101 57230 Other Operating Supplies \$29,082 58170 Other Equipment 010-2101 \$3,043

and,

BE IT FURTHER ORDAINED that all County officials be and hereby are authorized to

execute any and all documents necessary to give effect to said grant.

Effective Date: This ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Tryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5869 introduced on August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5869.

Date

Frank White, Jr., County Executive

Funds sufficient for this appropriation are available from the source indicated below.

ACCOUNT NUMBER: ACCOUNT TITLE:

010 9999 32810 Grant Fund Undesignated Fund Balance \$185,600.00

08/08/2024

NOT TO EXCEED:

Sylvya Steven on (Aug 8, 2024 12:10 CDT)

Chief Administrative Officer

Date



Request for Legislative Action

File #: 24-109, Version: 1

REQUESTED MEETING DATE: 7/29/2024

SPONSORS:

Ordinance No. 5869 Sponsor: Venessa Huskey Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Carl Bayless PHONE: 816 435 4775

EMAIL: carl.bayless@courts.mo.gov

DEPARTMENT: Circuit Court

TITLE: Juvenile Court Diversion Program

SUMMARY: This is a request to appropriate \$185,600 from the 2024 undesignated fund balance in acceptance of funds awarded to the Family Court Division by Missouri Department of Social Services. The project is named "Juvenile Court Diversion Program". The purpose of this program is to encourage community-based services which assist in diverting youth from commitment to Division of Youth Services. The period covered by the grant is July 1, 2024 through June 30, 2025. Please appropriate \$185,600 into the accounts listed in supplemental attachment :

FINANCIAL IMPACT:

NO 🗆

File #: 24-109, Version: 1

Amount	Fund	Department	Line-Item Detail
\$185,600.00	010		
		•	,

YES 🖂

ACTION NEEDED: APPROPRIATE FUNDS

ATTACHMENTS:

Award, Budget, Prior Ord 5773 (07/31/23) and Ord 5784 (8/21/23)

Supplemental Appropriation Request Jackson County, Missouri

Funds sufficient for this appropriation are available from the source indicated below.

Date: July 10, 2024

010 Grant Fund

9999

2101

2101

2101

Cost Center Program/Grant/Project Spend Category From То 32810 Undesignated Fund Balance 185,600 \$ \$ -2101 Family Court 55010 Regular Salaries GR100165 28,060 2101 Famiy Court 55040 FICA Taxes GR100165 2,146 55060 Insurance Benefits 2101 Famil Court GR100165 9,190 GR100165 9,200 2101 Family Court 56620 Rent-Buildings Family Court 56860 Restitution GR100165 10,000 GR100165 Family Court 56790 Other Contractual Svcs 94,879 57230 Other Operating Supplies Family Court GR100165 29,082 58170 Other Equipment GR100165 2101 Family Court 3,043

APPROVED

By Sarah Matthes at 9:20 am, Jul 30, 2024

185,600 185,600 \$ \$

5869

Ord # eRLA ID #:

Budget Office



State of Missouri Department of Social Services Contract Amendment

Contract Description: **Juvenile Court Diversion** Amendment Description: **FY25 Renewal**

Contract #: **ER172-23012**

Amendment **# 003**

Amendment Date: July 1, 2024

Contractor Information:

Contractor Name:	16 th Judicial Circuit
Mailing Address:	415 East 12 th Street
City, State Zip:	Kansas City, MO 64106

The above referenced contract between **16th Judicial Circuit** and the Department of Social Services is hereby amended as follows:

- 1. The contract is renewed for the period July 1, 2024 through June 30, 2025.
- 2. The renewal amount for the period stated above is based on the revised Attachment 1 Budget page attached below.
- 3. All other terms and conditions shall remain unchanged.

......

In witness thereof, the parties below hereby execute this agreement.

Theresa L. Byrd Authorized Signature for the Contractor

Deputy Court Administrator Title

07-10-2024 Date

Authorized Signature for the Department of Social Services

July 11, 2024

Date

DIVISION OF YOUTH SERVICES

JUVENILE COURT DIVERSION

YOUTH, FAMILY AND COMMUNITY SUPPORT GRANT

APPROVED BUDGET

APPRO	OVED BUDGET	Stat	e Fiscal Year:	2025
Judicia	l Circuit #: 16th Contract N	umber:	ER172-	23012
	Project Title		Current Budget	Approved FY25 Budget
#1	Expressive Arts and Self-Care (General Revenue)	\$	32,529.00	\$ 32,571.00
#2	Day Reporting (Gaming)	\$	14,000.00	\$ 14,000.00
#3	CORPS (Gaming)	\$	28,042.00	\$ 28,042.00
#4	Educational Consulting Services (Gaming)	\$	58,350.00	\$ 58,350.00
#5	Emerging Adults Justice Program (General Revenue)	\$	9,200.00	\$ 9,200.00
<i>"</i> J	Emerging Adults Justice Program (Gaming)	\$	43,437.00	\$ 43,437.00
	TOTAL FUNDS APPROVED) \$	185,558.00	\$ 185,600.00



Jackson County Family Court Grant Program Information

Ordinance Number: #####

Program Name: Juvenile Court Diversion (JCD) Grant

Funding Agency: Missouri Division of Youth Services (DYS)

Funding Arrangements and Use of Funds: \$185,600.00 to continue programming in Jackson County to divert youth from commitment to the Division of Youth Services for treatment.

Funding Period for Grant: The grant period is July 1, 2024 to June 30, 2025

New or Existing Program/Continued Funding Opportunity: Existing program

Program Description : The DYS JCD grant funds treatment programming for Family Court Services. The following program and service activities are funded by this grant:

<u>Residential Expressive Arts & Self Care</u> (\$32,571.00) – trauma-informed programming for youth in out of home placement for support of mind, body and spirit including creative arts, cultural exploration, yoga, meditation, and large-muscle recreation.

<u>Day Reporting Program</u> (\$14,000) – supplies and services for youth attending the Drop In Center to prevent subsequent offending when youth are not in school.

<u>CORP Restitution</u> (\$28,042) – restitution funds for victims to be earned by youth completing community service, includes supplies.

<u>Education Consulting</u> (\$58,350) – provision of services from certified teachers to support educational goals and plans for youth under supervision.

<u>Emerging Adult Justice</u> (\$43,437.00) – personnel (Coordinator) for serving 17 year old youth diverted from formal court services.

Emerging Adult Justice (\$9,200) – lease of community house for programming in a home-like setting.

Theoretical or Practical Basis: For youth at-risk for system involvement and currently justice-involved, the arts provide a means for addressing emotional and/or problem behaviors through opportunities to learn new skills, develop new talents, and express thoughts and ideas in creative and therapeutic ways. Similarly, for youths dealing with trauma or victimization (including exposure to violence), the arts can help them to cope with painful experiences by fostering resiliency. Creating art can strengthen a youth's problem-solving skills, autonomy, sense of purpose, and social competence. Moreover, art encourages positive emotions and strength, allowing youth and families to view themselves as survivors and not as victims.

Under-resourced African American children are at increased risk for school readiness deficits in terms of both cognitive and social development. Urban African American youth are at high risk for violence owing to exposure to violence in their communities. Providing system-involved youth with quality education is essential to keeping them engaged in their education and enabling them to set realistic long-term goals, including a successful return to school and community upon release. The Jackson County Family Court has continued to experience an increase in youth who lack the basic educational skills and competencies necessary to thrive into adulthood. Youth under Court supervision typically have fewer hours of educational instruction than non-Court involved youth. Additionally, these youth are at risk for falling behind educationally due to their involvement in the Justice system. This makes their matriculation problematic, as most of the youth have been underperforming educationally many years prior to their involvement with the Court. Parents and guardians also are in need of assistance for the purpose of helping the youth receive the educational support and assistance they need while court involved as well as in step-down, aftercare and independent living situations.

Many delinquent offenses occur outside of school hours. Day Reporting keep youth occupied during these key hours while providing opportunities for them to engage in the community, build skills, and establish relationships with trustworthy adults. Youth on probation are at risk for further offending and system



Jackson County Family Court Grant Program Information

penetration, and these programs provide opportunities for intervention and treatment while keeping youth occupied, limiting opportunities for new offending.

Older youth who have committed delinquent offenses experience similar benefits from juvenile-court intervention as younger youth. However, older youth have specific needs and circumstances that make standard probation less practical and standard probation orders less relevant to their lives and circumstances. These youth are nearing adulthood and are approaching the end of the period where they can reasonably remain under the supervision of parents and in a structured classroom setting. These older youth often need to finish or continue their education, find employment, access mental health services, stable housing and to develop the life skills including budgeting and financial education. Youth in college, young parents, young adults with disabilities or medical needs, or those who identify as LGBTQ may need different or additional resources.

In the 16th Circuit, we developed an innovative strategy heavily reliant on diversion to keep 17-year-old youth out of the juvenile-justice system and connect them with the resources they need to successfully transition into adulthood.

In the 2024-25 grant year, we plan to lease a single-family home in the urban core as a meeting place for staff and EAJ youth. We envision discussing life skills and vocational plans at a dining room table as family would when a child, niece or nephew, or grandson is transitioning from childhood to adulthood. We will cook food and eat together, modeling good communication and life skills while communicating encouragement and support.

Expected Impact: All programs and services in Family Court Services are subject to evaluation. Logic models are constructed for all programs drawing the line between risk factors, inputs, outputs and outcomes. All programs are designed to address one or more intermediate factors such as competence building, mental health treatment, educational intervention, and prosocial activity involvement. All programs are designed to decrease subsequent delinquent offending behaviors, increase educational engagement and strengthen relationships within the family and with peers.

Evaluation Plan and/or Demonstrated Efficacy: We will measure successful program completion rates, rates of probation violations and recidivism at 12 months following release from jurisdiction. *For more information, contact the Office of the Jackson County Deputy Court Administrator at 435-4850 Program Directors: Pamela Behle, Adrianne Guillen, and Tyra Sanders*

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 5.04± acre tract from District AG (Agricultural) to District RE (Residential Estates).

ORDINANCE NO. 5870, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which

are a part thereof, are amended by changing the boundaries of the "AG" (Agricultural)

and "RE" (Residential Estates) Districts, so that there will be transferred from District AG

to District RE 5.04± tract of land located at 34405 E. Pink Hill Road in Jackson County,

MO, legally described as follows:

Description: All of Tract B, Certificate of Survey recorded as Document 199111043766, being situated in the East 1/2, Northwest Quarter of Section 24 Township 49 Range 30, Jackson County, Missouri, being also described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence North 88 degrees 44 minutes 10 seconds West, along the North line of said Northwest Quarter, 1334.93 feet to the Northwest corner of the Northeast Quarter, said Northwest Quarter; thence South 01 degrees 31 minutes 50 seconds West, along the West line of said Northeast Quarter, Northwest Quarter, 58.00 feet to the Northwest corner of said Tract B of Document 1991I1043766, said corner also being the Point of Beginning of the tract to be described herein; thence South 88 degrees 44 seconds East, along the North line of said Tract B and parallel with the North line of said Northwest Quarter, 317.96 feet (survey = 317.98') to the Northeast corner of said Tract B; thence South 00 degrees 01 minutes 37 seconds West, along the East line of said Tract B, said line also being the East line of a 60 foot private drive shown on document 2017E0084669, 1305.36 feet (survey=1305.00' and 1305.48') to the Southeast corner of said Tract B; thence North 88 degrees 51 minutes 42 seconds West, along the South line of said Tract B, said line also being the North line of Tract 5 of said Document 2017E0084669, 352.21 feet (survey=353.84' and 352.24') to the Southwest corner of said Tract B; thence North 01 degrees 31 minutes 50 seconds West, along the West line of said Tract B, said line also being the West line of said Northeast Quarter, Northwest Quarter, 1305.84 feet (survey=1305.00') to the Point of Beginning. Except the South 633.84 feet (as measured along the west line).

<u>Section 2</u>. The Legislature, pursuant to the application of Amie Weiland, (RZ-2024-680), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5870 introduced on August 12, 2024, was duly passed on _____, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____ Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5870.

Date

Frank White, Jr., County Executive



Request for Legislative Action

File #: 24-124, Version: 1

REQUESTED MEETING DATE: Select Date

SPONSORS:

Ordinance No. 5870 Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Randy Diehl PHONE: 816-881-4577

EMAIL: rdiehl@jacksongov.org

DEPARTMENT: Public Works

TITLE: RZ-2024-680 - Amie Weiland

SUMMARY: Requesting a change of zoning from District AG (Agricultural) on 5.04 ± acres to District RE (Residential Estates) The purpose is to create a single-family residential lot at 34405 E. Pink Hill Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request. The Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> to the County Legislature.

FINANCIAL IMPACT:

 $NO \boxtimes$

File #: 24-124, Version: 1

Amount	Fund	Department	Line-Item Detail
YES 🗆			

ACTION NEEDED: Choose an item.

ATTACHMENTS:

Click or tap here to enter text.

RZ-2024-680

ATTACHMENT 1: PROPERTY DESCRIPTION

Description:

All of Tract B, Certificate of Survey recorded as Document 199111043766, being situated in the East 1/2, Northwest Quarter of Section 24 Township 49 Range 30, Jackson County, Missouri, being also described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence North 88 degrees 44 minutes 10 seconds West, along the North line of said Northwest Quarter, 1334.93 feet to the Northwest corner of the Northeast Quarter, said Northwest Quarter; thence South 01 degrees 31 minutes 50 seconds West, along the West line of said Northeast Quarter, Northwest Quarter, 58.00 feet to the Northwest corner of said Tract B of Document 1991/1043766, said corner also being the Point of Beginning of the tract to be described herein; thence South 88 degrees 44 seconds East, along the North line of said Tract B and parallel with the North line of said Northwest Quarter, 317.96 feet (survey = 317.98') to the Northeast corner of said Tract B; thence South 00 degrees 01 minutes 37 seconds West, along the East line of said Tract B, said line also being the East line of a 60 foot private drive shown on document 2017E0084669, 1305.36 feet (survey=1305.00' and 1305.48') to the Southeast corner of said Tract B; thence North 88 degrees 51 minutes 42 seconds West, along the South line of said Tract B, said line also being the North line of Tract 5 of said Document 2017E0084669, 352.21 feet (survey=353.84' and 352.24') to the Southwest corner of said Tract B; thence North 01 degrees 31 minutes 50 seconds West, along the West line of said Tract B, said line also being the West line of said Northeast Quarter, Northwest Quarter, 1305.84 feet (survey=1305.00') to the Point of Beainnina.

Except the South 633.84 feet (as measured along the west line).

RZ-2024-680

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2023 Staff Report Zoning map of surrounding area Names and addresses of surrounding property owners Letter to surrounding property owners Application Aerial of location Copy of plat

Randy Diehl gave the staff report:

RE: RZ-2024-680

Applicant: Amie Weiland

Location: 34405 E. Pink Hill Road

Area: 5.04 ± acres

- **Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)
- **Purpose:** The purpose is to create a single-family residence.

Current Land Use and Zoning in the Area:

The zoning in the area is Agricultural and Residential.

The applicant wishes to divide off the North 5.04 acres that contains the existing dwelling.

The remaining 5.00 will remain within District AG. This tract will be unbuildable unless is it absorbed into an adjacent property.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends <u>APPROVAL</u> of RZ-2024-680.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator

Mr. Antey: Are there any questions for Randy?

Mr. Horn: (asking for clarification) Where is the dividing line?

Mr. Diehl: The Orange ring is the notification area around the property indicating the adjacent property owners who received a certified letter regarding the zoning request. The blue line that is highlighted is the area being considered for rezoning.

Mr. Antey: Is the applicant here?

Steve Gillotti, 34405 E Pink Hill Road, Grain Valley, MO

Mr. Antey: Do you have anything to add to the report?

Mr. Gillotti: No, I don't.

Mr. Antey: Is there anyone else who is in favor of this application?

Dennis Vanarsdall, 34501 E. Pink Hill Road, Grain Valley, MO. I am buying the other piece of this property which is adjacent to me. I'll use it for farmland.

Mr. Antey: Is there anyone who is opposed or has questions regarding this application?

There were none.

Motion to take under advisement.

Mr. Lake moved to take under advisement. Mr. Horn seconded.

Discussion under advisement

Mr. Crawford moved to approve. Mr. Lake seconded.

Mr. Lake	Approve
Mr. Farrar	Approve
Me. Smead	Approve
Mr. Monaco	Approve
Mr. Horn	Approve
Mr. Crawford	Approve
Ms. Ryerkerk	Approve
Chairman Antey	Approve

Motion Carried 8-0

STAFF REPORT

PLAN COMMISSION July 18, 2024

RE: RZ-2024-680

- Applicant: Amie Weiland
- Location: 34405 E. Pink Hill Road
- Area: 5.04 ± acres
- **Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)
- Purpose: The purpose is to create a single-family residence.

Current Land Use and Zoning in the Area:

The zoning in the area is Agricultural and Residential.

The applicant wishes to divide off the North 5.04 acres that contains the existing dwelling.

The remaining 5.00 will remain within District AG. This tract will be unbuildable unless is it absorbed into an adjacent property.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-680.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator



RZ-2024-680 Property Owners Within 185 feet

22-700-03-22-00-0-000	2-700-03-03-00-00-000	7-100-02-10-00-0-000	7-100-02-11-00-0-000	7-100-02-03-00-0-000	2-700-03-21-00-0-000	7-100-02-14-00-0-000	
77-1	22-7	37-1	37-1	37-1	22-7	37-1	
	000-00-0-0-0-77-00-000	22-700-03-22-00-0-000 22-700-03-03-00-0-00-000	22-700-03-22-00-0-000 22-700-03-03-00-00-000 37-100-02-10-00-0-0000	22-700-03-22-00-0000 22-700-03-03-00-00-000 37-100-02-11-00-0-0000 37-100-02-11-00-0-00000	22-700-03-22-00-0-000 22-700-03-03-00-0-00-000 37-100-02-10-00-0-00-000 37-100-02-11-00-0-000 37-100-02-03-00-0-000	22-700-03-22-00-0-000 22-700-03-03-00-00-000 37-100-02-110-00-0-000 37-100-02-11-00-0-000 37-100-02-03-00-0000 22-700-03-21-00-0-000	22-700-03-22-00-0-000 22-700-03-03-00-0-00-000 37-100-02-11-00-0-00-000 37-100-02-11-00-0-000 37-100-03-21-00-0-000 22-700-03-21-00-0-000 37-100-02-14-00-0-000

37-100-02-12-00-0-000

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GRAIN VALLEY

34405 E PINK HILL RD

GILLOTTI STEVE

VALRICO



JACKSON COUNTY Public Works Department

Jackson County Technology Center 303 West Walnut Street Independence, Missouri 64050 jacksongov.org

(816) 881-4530 Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-680 Amie M Wieland

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Amie M Wieland for a change of zoning from District AG (Agricultural) on 5.04 ± acres to District Re (Residential Estates). The purpose is to create a single-family residential lot at 34405 E. Pink Hill Road.

Please note that this request for a change of zoning <u>affects only the property mentioned above</u>. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on <u>Thursday</u>, July 18, 2024, at 8:30 a.m. in the Large Conference Room, 2nd Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works Development Division Randy Diehl, Administrator

JACKSON COUNTY, MISSOURI APPLICATION FOR CHANGE OF ZONING

APPLICANT INFORMATION:

- Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
- 2. Application must be typed or printed in a legible manner.
- All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
- 4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
- The filing fee (non-refundable) must accompany application. (Check payable to: Manager of Finance) \$350.00 - Change of Zoning to Residential \$500.00 - Change of Zoning to Commercial or Industrial

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Rezoning Ca	se Number I	12- 2024-68	0	
Date filed		Date of hear	ing	
Date advertise	ed	Date proper	ty owners notified	
Date signs po	sted			
Hearings:	Heard by	Date	Decision	
	Heard by	Date	Decision	
	Heard by	Date	Decision	

BEGIN APPLICATION HERE:

1.	Da	ta on Applicant(s) and Qwner(s):
	a.	Applicant(s) Name: Amie M Wieland
		Current Mailing Address: 2120 Valrico Hieghs blud Valrico Fl.
		Phone: <u>816.606-9721</u> email: Amie Wielard Comal. with
+	b.	Iseal Owner of Property
		Current Mailing Address: 34405 E Pink Hill Rd Grain Valley No 64029
		Phone: £16 489 1033 email: Exile Joker72 Comail.com
	b.	Eegal Owner of Property:
		Current Mailing Address:
		Phone: email :
Revised	11/1	/12

	neral location (Road Name) South Side E Pinli Hill Rouch
	Ju mile west of Howell Read
	sent Zoning AC Requested Zoning RE
AR	REA (sq. ft. / acres) 437,436 Ac / 10.0422 Ac 5.
Leg	al Description of Property: (Write Below or provide copy of deed and survey) See a Hachel.
Pres	posed Use of Property: AG & Roy dentral
Prop	posed Use of Property: AG & Rogidential
Prop	posed Time Schedule for Development: / media ty
-	
Wha	at effect will your proposed development have on the surrounding properties?
	None
Is ar	ny portion of the property within the established flood plain as shown on the FEMA Flo
	ndary Map? N 0
	o, will any improvements be made to the property which will increase or decrease
	ation?
Desc	cribe the source/method which provides the following services, and what effect
	lopment will have on same:
a.	Water Provider Dist 17
b.	Sewage disposal: Onsite Waste Water Y Public Sewer
c.	Electricity West Contral Elec
d.	Fire and Police protection Fire - Givain Valley - Pulice - Co. Shor
Daga	ribe existing road width and condition:

14.	Are any state, federal, or other public agencies approvals or permits required for the proposed
	development?
	If so, describe giving dates of application and status (include permit numbers and copies of same,
	if issued):

The LEGAL OWNER(s) of the property must be signatory to this application. If the owner is also the applicant then only the Property Owner portion needs to be filled out. Applications will not be accepted to move forward without the proper signatories.

Verification of ownership will be made using the Tax Rolls and the Recorder of Deeds database.

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature	Date
Property Owner(s) Amulla Cere	l dine 4 2024
FIMIC M Wielan	el
STATE OF FLORIDIA	
COUNTY OF PACO	
On this	_, in the year of 2024, before me
game, personany appeared	me n weenvo

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal.

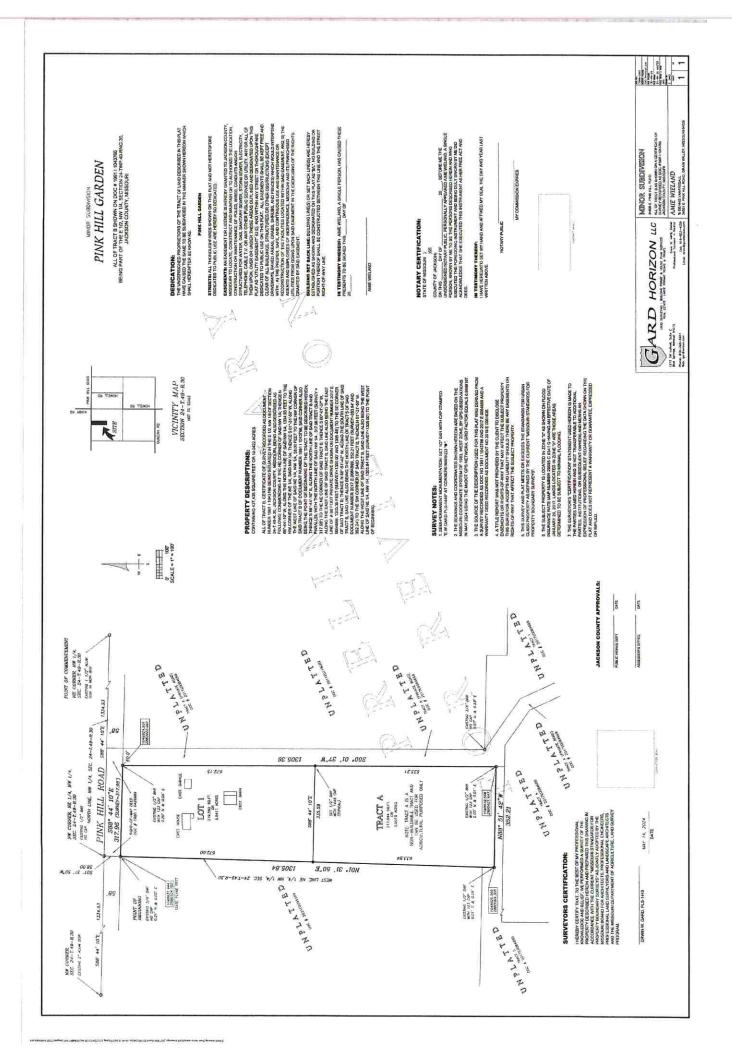
Notary Public Juny J. Junk

Commission Expires July 12, 2027



EVAMY A. GUSK Notary Public State of Florida Comm# HH420894 Expires 7/12/2027





IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE renewing a conditional use permit (CUP) in District HI (Heavy Industrial) for continuous operation of a 147-foot monopole of wireless communications, subject to specified conditions, as to a 2,500 square foot tract.

ORDINANCE NO. 5871, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. A conditional use permit is hereby renewed for continuous operation of a 147-

foot monopole of wireless communications, as to a 2,500 square foot tract, commonly

known as 1320 Blue Ridge Boulevard, and legally described as follows:

Description: An easement area being a portion of that certain tract of land as described in Document Number 2011E0070865, as recorded in the office of the Recorder of Deeds for Jackson County, Missouri, lying in the Southeast Quarter of Section 6, Township 49 North, Range 32 West and being more particularly described as follows:

Commence at a T-post found marking the Northwest corner of said tract described in Document Number 2011E0070865, thence run South 01 degrees 50 minutes 51 Seconds West for a distance of 878.89 feet to a T-post found marking the Southwesterly most corner of said tract; thence run North 88 degrees 37 minutes 30 seconds East for a distance of 1113.10 feet to the Southwest corner of an existing 6-foot chain link fence with barbed wire and the Point of Beginning; thence run North 01 degrees 48 minutes 00 seconds East for a distance of 30.24 feet to a 5/8" rebar set; thence South 87 degrees 50 minutes 25 seconds East for a distance of 68.42 feet to a 5/8" rebar set; thence run South 01 degrees 34 minutes 11 seconds West for a distance of 29.17 feet to the Southeast corner of said fence; thence run North 88 degrees 43 minutes 51 seconds West along said fence for a distance of 68.54 feet to the Point of Beginning. The above-described easement contains 0.04 acres (2034.1 square feet), more or less. <u>Section 2</u>. The conditional use permit granted by this Ordinance is subject to the following conditions:

- 1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
- 2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
- 3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
- 4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

<u>Section 3</u>. The Legislature, pursuant to the application of American Tower Asset Sub, LLC, (CU-2024-250), requesting approval embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> of this application in a public hearing on July 18, 2024, does adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM: Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5871 introduced on August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5871.

Date

Frank White, Jr., County Executive



Request for Legislative Action

File #: 24-125, **Version:** 0

REQUESTED MEETING DATE: Select Date

SPONSORS:

Ordinance No. 5871 Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Randy Diehl PHONE: 816-881-4577

EMAIL: rdiehl@jacksongov.org

DEPARTMENT: Public Works

TITLE: CU-2024-250 - American Tower Asset Sub, LLC

SUMMARY: Requesting the renewal of a Conditional Use Permit for the continual operation of a 147foot monopole for wireless communications in District HI (Heavy Industrial) at 1320 Blue Ridge Boulevard.

FINANCIAL IMPACT:

NO 🖂

Amount	Fund	Department	Line-Item Detail
	-	*	-

ACTION NEEDED: Choose an item.

ATTACHMENTS:

Click or tap here to enter text.

CU-2024-250

ATTACHMENT 1: PROPERTY DESCRIPTION

Description:

An easement area being a portion of that certain tract of land as described in Document Number 2011E0070865, as recorded in the office of the Recorder of Deeds for Jackson County, Missouri, lying in the Southeast Quarter of Section 6, Township 49 North, Range 32 West and being more particularly described as follows:

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CU-2024-250

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024 Staff Report Zoning map of surrounding area Names/Addresses of Surrounding Property Owners Copy of letter to said property owners Application Aerial of Property Site Plan Picture of tower

CU-2024-250

ATTACHMENT 3: LIST OF CONDITIONS

Condition Use Permit subject to the following Conditions:

- 1. The commercial communication lattice tower shall not exceed a height of 147 feet as measured from ground level.
- 2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
- 3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
- 4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Randy Diehl gave the staff report:

RE: CU-2024-250

Applicant: American Tower Asset Sub, LLC

Location: 1320 Blue Ridge Boulevard

Area: 2,500 square feet

Request: Renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications.

Zoning Classification: District HI (Heavy Industrial)

Current Land Use and Zoning in the Area:

Comments: This is a renewal of CU-2001-155 (Ordinance 3150) adopted by the Jackson County Legislature, June 11, 2001, which amended Ordinance 2918 approved July 6, 1999. The permit was for a period of 25 years subject to 10 conditions.

Six of those conditions from the original permit have been removed. Three of the conditions were related to the actual construction of the tower. The other three have been eliminated due to changes to the State Statutes in 2016 limiting certain provisions by jurisdictional authorities.

> Requiring screening Providing space to local authorities Limiting the duration of the permit

Sheet Number C-103, Tower Elevation shows the top of the highest antenna at an elevation of 159'. It should be noted that the antenna is not part of the tower structure.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

Staff recommends <u>APPROVAL</u> of CU-2024-250 subject to the following conditions:

Conditions:

- 1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
- 2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
- 3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
- 4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator

Mr. Antey: Are there any other questions for Randy?

Mr. Lake: How many more years are we going to extend this?

Mr. Diehl: State law does not allow us to set term limits on these. The ones that have been renewed are perpetual. Some applications request a term that run with the lease of the property.

Mr. Horn: How many of these do we have in the County, and do they all basically look the same?

Mr. Diehl: We have about 10 or 12 towers in the unincorporated area.

Mr. Horn: I ask because there are some that look like trees.

Mr. Diehl: Those type of stipulations, looking like a tree or if it's at a place of worship to look like a cross, are no longer allowed.

Mr. Lake: Is this over by the substation?

Mr. Diehl: It's across the street from a cemetery. It actually sits of Lincoln Cemetery's property.

Mr. Farrar: I believe one of the previous requirements was to screen it.

Mr. Diehl: Yes, that requirement has been removed as well.

Mr. Antey: Some still have trees around them from the original applications from years ago.

Mr. Antey: Is the applicant here?

Lawrence Fleming: 10 Presidential Way, Woburn, MA 01801. I represent American Tower.

Mr. Antey: do you have anything to add to the report?

Mr. Fleming: No.

Mr. Lake: What type of communications are you doing on the tower?

Mr. Fleming: Wireless communication for Verizon and T-Mobile. Cell service. Wi-Fi as we well.

Mr. Antey: Is there anyone else who is in favor of this application?

There were none.

Mr. Antey: Is there anyone who is opposed or has questions regarding this application?

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Lake seconded.

Discussion under advisement

Mr. Monaco moved to approve. Mr. Lake seconded.

Mr. Lake	Approve
Mr. Farrar	Approve
Me. Smead	Approve
Mr. Monaco	Approve
Mr. Horn	Approve
Mr. Crawford	Approve
Ms. Ryerkerk	Approve
Chairman Antey	Approve

Motion Carried 8-0

STAFF REPORT

PLAN COMMISSION July 18, 2024

RE: CU-2024-250

Applicant: American Tower Asset Sub, LLC

Location: 1320 Blue Ridge Boulevard

Area: 2,500 square feet

Request: Renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications.

Zoning Classification: District HI (Heavy Industrial)

Current Land Use and Zoning in the Area:

Comments: This is a renewal of CU-2001-155 (Ordinance 3150) adopted by the Jackson County Legislature, June 11, 2001, which amended Ordinance 2918 approved July 6, 1999. The permit was for a period of 25 years subject to 10 conditions.

Six of those conditions from the original permit have been removed. Three of the conditions were related to the actual construction of the tower. The other three have been eliminated due to changes to the State Statutes in 2016 limiting certain provisions by jurisdictional authorities.

Requiring screening Providing space to local authorities Limiting the duration of the permit

Sheet Number C-103, Tower Elevation shows the top of the highest antenna at an elevation of 159'. It should be noted that the antenna is not part of the tower structure.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

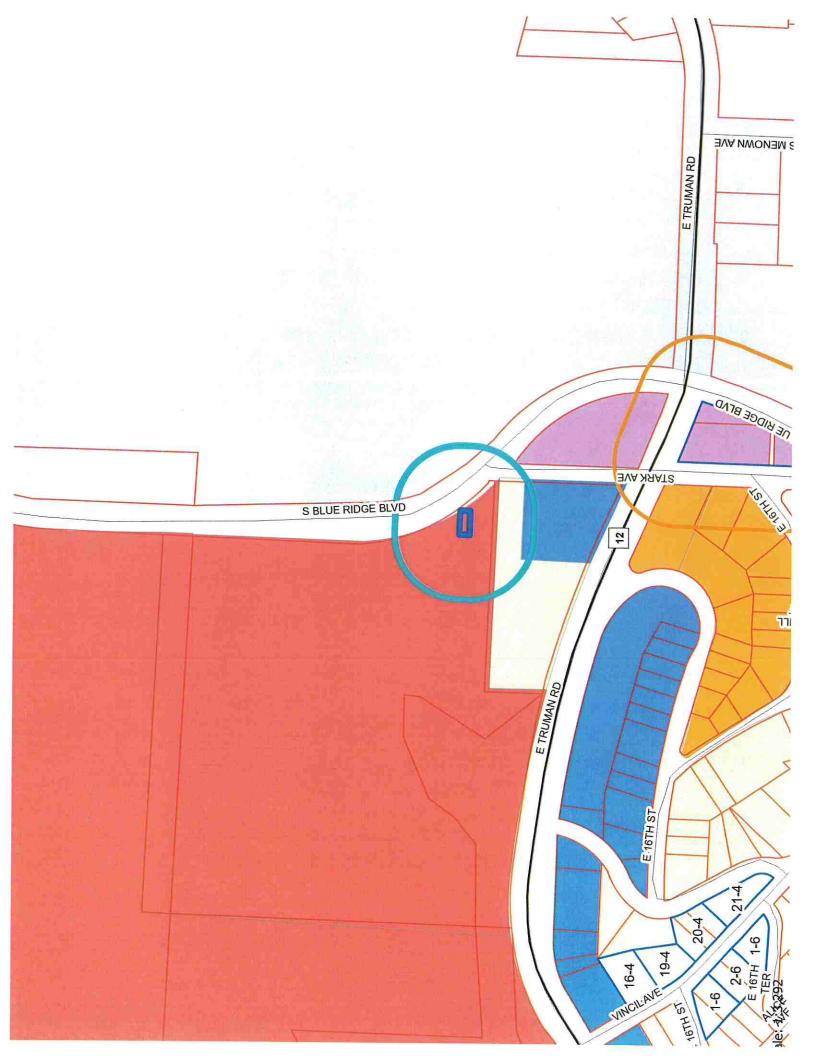
Staff recommends <u>APPROVAL</u> of CU-2024-250 subject to the following conditions:

Conditions:

- 1. The commercial communication lattice tower shall not exceed a height of 150 feet as measured from ground level.
- 2. The lattice tower shall be galvanized finish or painted gray or light blue unless other standards are required by the Federal Aviation Agency.
- 3. The lattice tower shall only be illuminated if required by the Federal Communication Commission and/or the Federal Aviation Agency.
- 4. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned and the owner of such antenna/tower or property owner shall remove the antenna or tower within 90 days.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator



CU-2024-250 Property Owners Within 185 feet

zip 64108 64105 64029	64108-3012 01801
state MO MO MO	MO MA
city KANSAS CITY KANSAS CITY GRAIN VALLEY	KANSAS CITY WOBURN
address 2345 GRAND BLVD STE 2200 300 W 11ST STREET 1101 S SEYMOUR RD	2632 W PASEO 10 PRESIDENTIAL WAY
owner WINNER ROAD PROPERTIES LLC LANDMARK MORTGAGE CO SBKA LLC	DOUGLAS INVESTMENT CO AMERICAN TOWER ASSET SUB, LLC
Parcel 27-230-01-14-01-0-00-000 27-230-06-19-00-0-00-000 27-340-02-05-00-0-000	27-340-02-06-01-0-00-000



JACKSON COUNTY Public Works Department

Jackson County Technology Center 303 West Walnut Street Independence, Missouri 64050 jacksongov.org

(816) 881-4530 Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: CU-2024-250 American Tower Asset Sub LLC

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by American Tower Asset Sub LLC, requesting the renewal of a Conditional Use Permit for the continual operation of a 147-foot monopole for wireless communications in District AG (Agriculture) at 1320 Blue Ridge Boulevard.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on <u>Thursday, July 18, 2024 at</u> 8:30 a.m. in the Large Conference Room, 2nd Floor, Historic Truman Courthouse, 112 W. Lexington, <u>Independence, MO.</u>

3, 2024

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works Development Division Randy Diehl, Administrator

JACKSON COUNTY, MISSOURI CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION:

- Application must be filed with the Jackson County Planning and Development Division, 303 W.
 Walnut, Independence, MO 64050 by the deadline on the Plan Commission Calendar.
- 2. Application must be typed or printed in a legible manner.
- 3. A scaled map of the property, correlating with the legal description, and clearly showing the property's location must accompany application. Refer to Section 24003.22, pertaining to Site Plan Review within the Unified Development Code.
- 4. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
- 5. The filing fee \$350.00 (non-refundable) must accompany application. (Check payable to: Manager of Finance)

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Conditional	Use Permit Number	CU- 2020	- 250	
Date filed		Date of hearin	g	
Date adverti	sed	_ Date property of	owners notified	
Date signs p	osted	_		
Hearings:	Heard by	Date	Decision	
	Heard by	Date	Decision	
	Heard by	Date	Decision	

BEGIN APPLICATION HERE:

1. Data on Applicant(s) and Owner(s):

a. Applicant(s) Name: AMERICAN TOWER ASSET SUB, LLC

Address:	10 Presidential Way, Woburn, MA 01801
Phone:	(781) 926-4500

b. Owner(s) Name: DOUGLAS INVESTMENT CO.

Address: 2632 W Paseo Blvd, Kansas City, MO 64108-3012

Phone: (816) 221-3075

c. Agent(s) Name: Lawrence Fleming

Address:American Tower, 10 Presidential Way, Woburn, MA 01801Phone:(781) 926-7354

d. Applicant's interest in Property: Perpetual Easement Holder

2. A CONDITIONAL USE PERMIT IS HEREBY REQUESTED for the following described

use:Telecommunication Tower and Facilitiesfor
a period of25_ years; property described as follows: a tract of land2,500_ square feet/acres in
size located at1320 S BLUE RIDGE BLVD, KANSAS CITY, MO 64126
Present Zoning District: Heavy Industrial (HI)
3. Legal Description of Property: (Write Below or Attached): Attached.
4. Present Use of Property:Cemetery with Existing Telecommunications Tower and Facilities
5. Proposed Use of Property:Cemetery with Telecommunications Tower and Facilities
6. Estimated Time Schedule for Development:N/A, this is an existing facility where applicant is seeking to renew existing conditional use permit with no new construction
proposed
7. What effect will your proposed development have on the surrounding properties? The
Telecommunications Tower and Facilities provide critical wireless cellular telephone and internet
connectivity to the surrounding community. Proximity to the tower provides enhanced speed and

connectivity, which generates economic advantages for users, and can facilitate emergency services communication. The abutters to the Property consist of a 193 acre cemetery, three undeveloped woodland tracks, and a warehouse. 8. Is any portion of the property within the established flood plain as shown on the FEMA Flood
Boundary Map?_No______ If so, will any improvements
be made to the property which will increase or decrease the elevation? ______ N/A_____
9. Describe the source/method which environments of the source/method which envinonments of the

9. Describe the source/method which provides the following services, and what effect the development will have on same:

a. Water N/A_____

b. Sewage disposal N/A_____

c. Electricity ____KP&L pole within 100' of site, impact negligible _____

d. Heating N/A_____

e. Fire and Police protection__Jackson County_____

10. Describe existing road width and condition: ____12' wide concrete access road off of Blue Ridge Blvd (Public Right-of-Way), 8" thick within right of way and 4" thick within Property, with 16' locked steel access gate. Roadway in good condition.

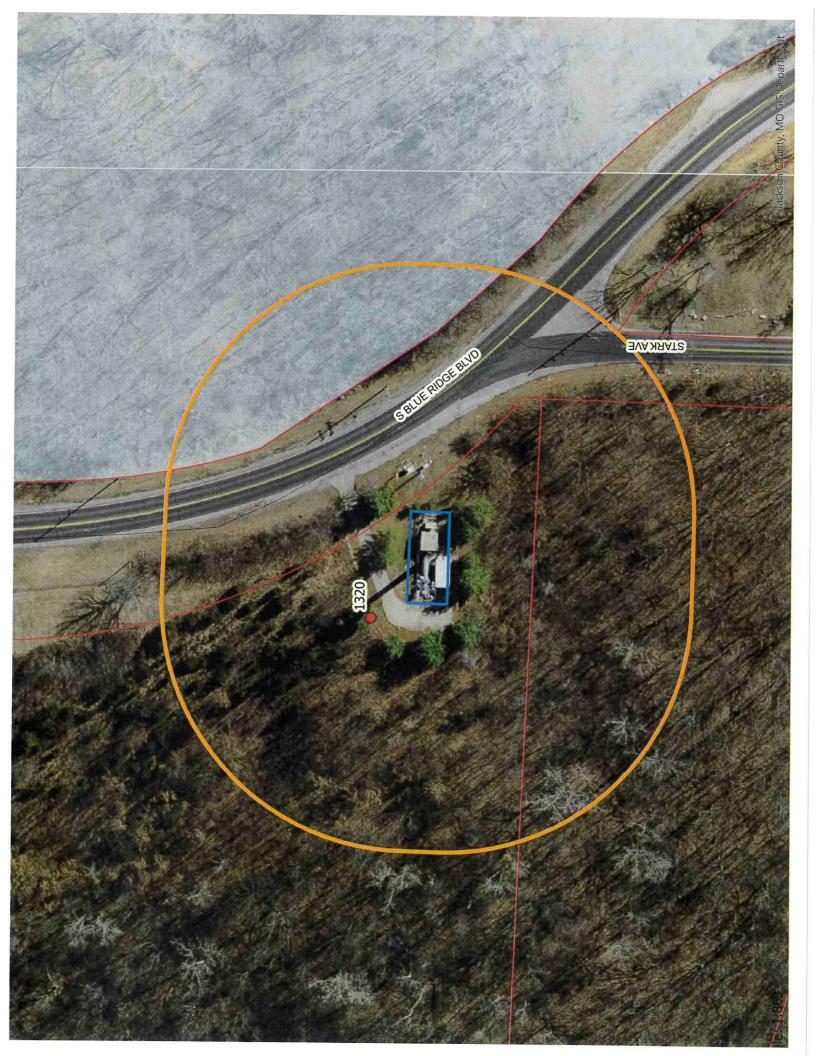
11. What effect will proposed development have on existing road and traffic conditions?__Very little impact on existing road and traffic conditions. The facility is unmanned with periodic maintenance vehicles accessing the site one or twice per year or as needed.

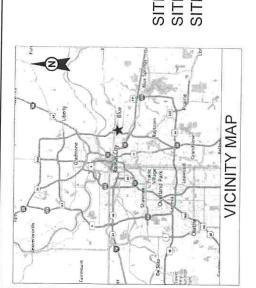
12. Are any state, federal, or other public agencies approvals or permits required for the proposed development? ____No.____

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): _____ N/A_____

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature Date	
Property Owner(s) drack / Ausn 1/29/24	
DOUGLAS INVESTMENT CO	
Applicant(s): AMERICAN TOWER ASSET SUB, LLC By: Margaret Lobren, VP, ust Legal	
Contract Purchaser(s):	
STATE OF OHID	
COUNTY OF <u>LUCAS</u>	
On this 29 day of April, in the year of 3034 , before me	
the undersigned notary public, personally appeared Tara K. Johnson	
Image: herein contained in witness whereof, I hereunto set my hand and official seal. Notary Public Image: herein contained in witness whereof, I hereunto set my hand and official seal. Notary Public Image: herein contained in witness whereof, I hereunto set my hand and official seal. STATE OF Massa comparison for the second sectors COUNTY OF Middlesex On this 744 Alison H. Day My commission Expires: 07/14/2028 On this 744 Mudgaced Kangaced Margaced Kangaced	
names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same	
for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal. Notary Public Commission Expires 9/23/2027	
Notary Public Commission Expires 9 23 2027	ACHUSETTS.

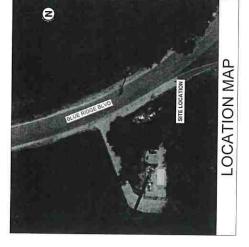






AMERICAN TOWER®

SITE NAME: MAYWOOD MO 6 SITE NUMBER: 305873 SITE ADDRESS: 1320 BLUE RIDGE BLVD KANSAS CITY, MO 64126



AMERICAN TOWER³ ATC TOWER SERVICES 1 FENTON MAN STREET 05.81/1E 300 CARY, NO 27511 PHONE (1919) 4027112 COA: 201601122 COA: 201601122

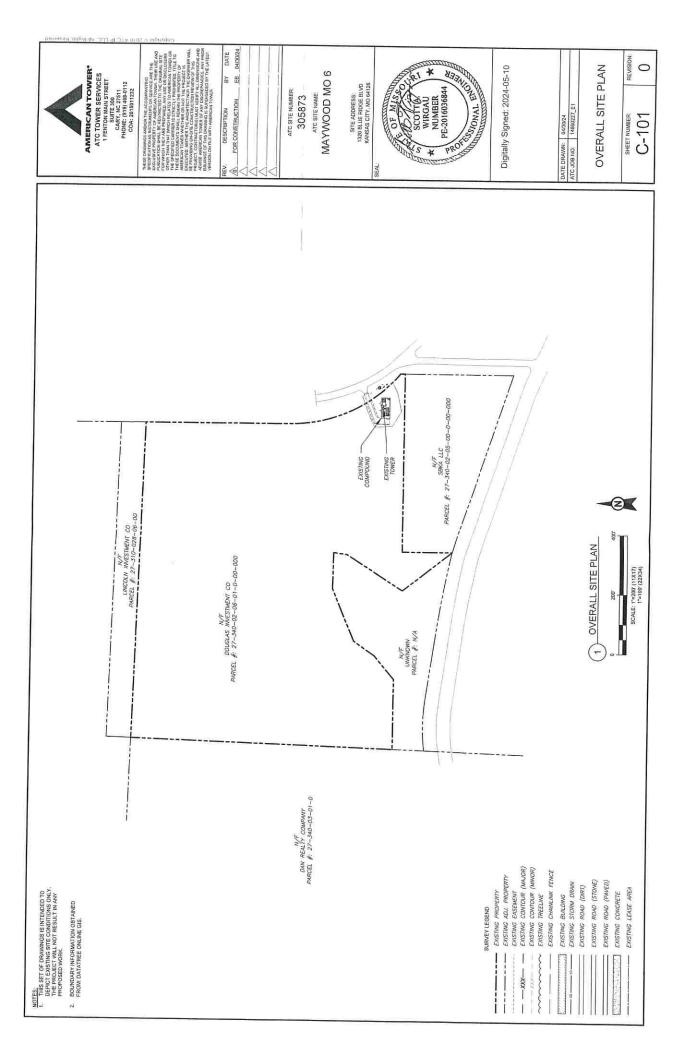
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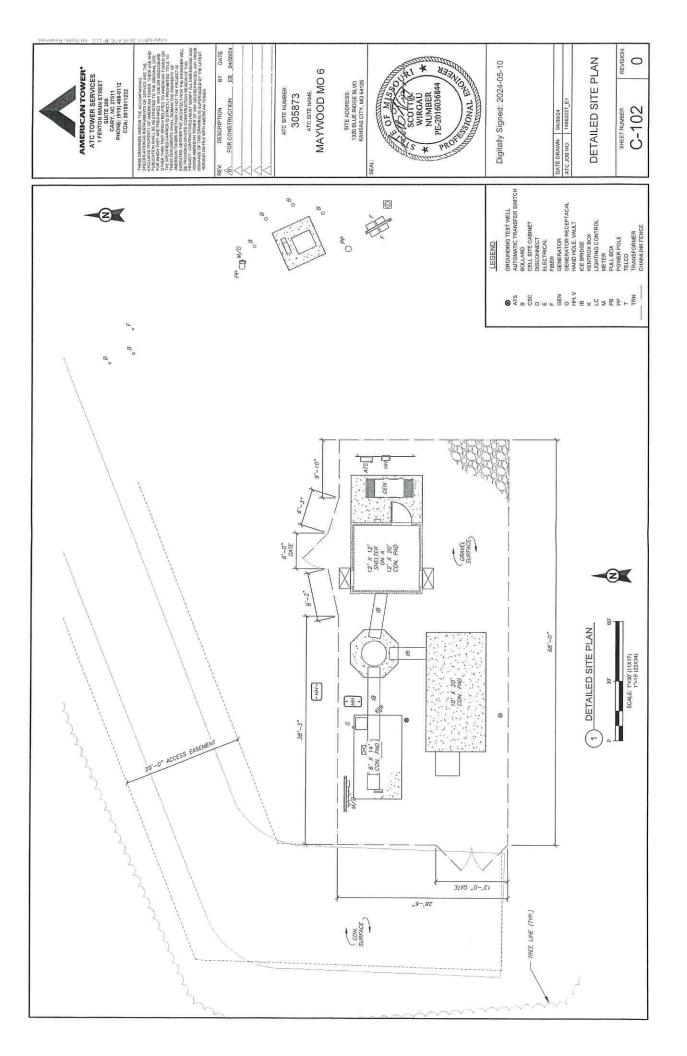
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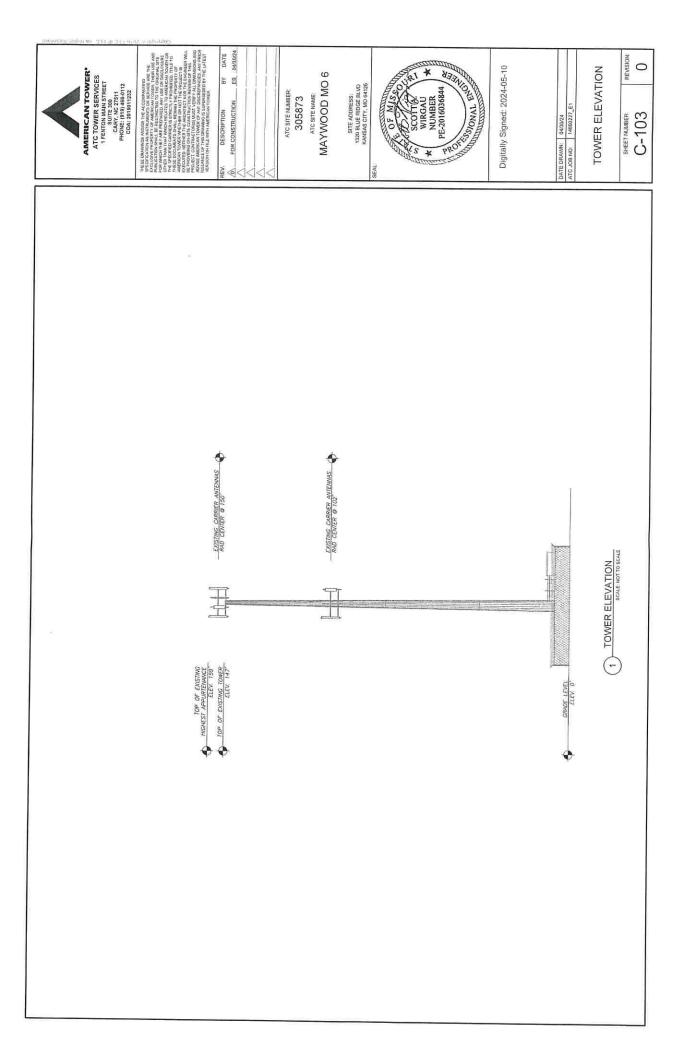
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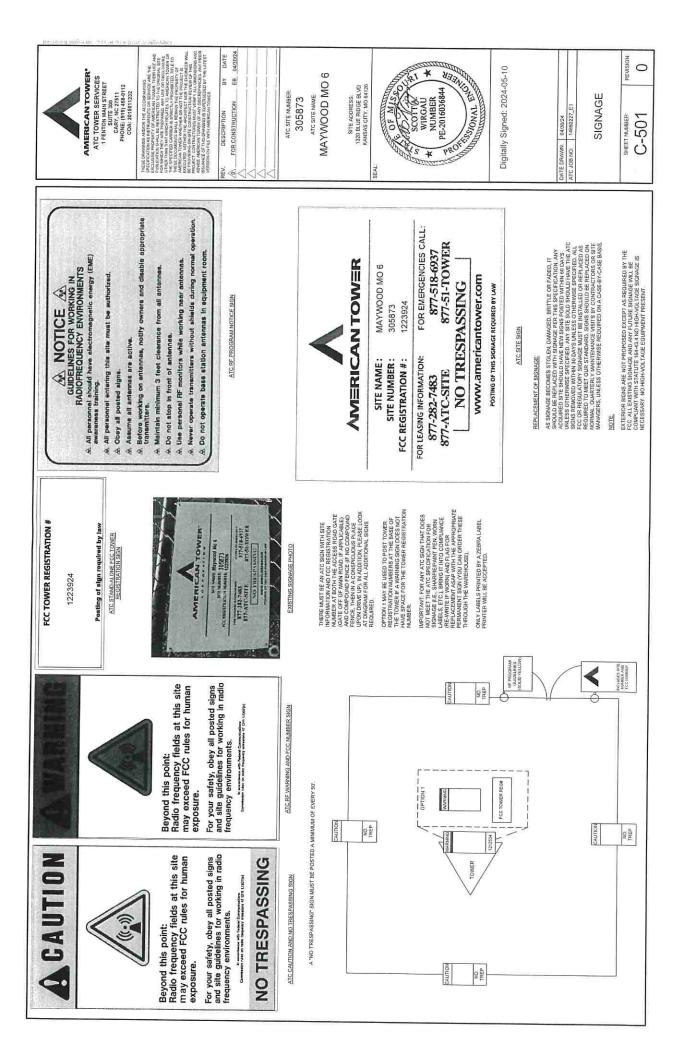
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IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 5.00± acre tract from District AG (Agricultural) to District RE (Residential Estates).

ORDINANCE NO. 5872, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

Section 1. The Zoning Order of Jackson County, Missouri, and the official maps which

are a part thereof, are amended by changing the boundaries of the "AG" (Agricultural)

and "RE" (Residential Estates) Districts, so that there will be transferred from District AG

to District RE 5.00± tract of land located at 26109 E. Flynn Road in Jackson County, MO,

legally described as follows:

Description: That part of the Northwest Quarter of the Southwest Quarter of Section 7, Township 49,Range 30, Jackson County, Missouri, described as follows: Commending at the Northeast Corner of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, 579.62 feet to the Point of Beginning; thence S 01 degrees 44 minutes 57 seconds West 561.14 feet; thence South 88 degrees 15 minutes 03 seconds West, 447.21 feet; thence North 01 degrees 05 minutes 47 seconds West, 281.78 feet; thence North 26 degrees 49 minutes 12 seconds West, 310 feet more or less to the North line of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, along said North line of said Northwest Quarter Southwest Quarter, 300 feet more or less, to the Point of Beginning. Except part in road. <u>Section 2</u>. The Legislature, pursuant to the application of Samantha and Levi Irwin, (RZ-2024-682), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5872 introduced on August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____ Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5872.

Date

Frank White, Jr., County Executive



Request for Legislative Action

File #: 24-128, Version: 1

REQUESTED MEETING DATE: Select Date

SPONSORS:

Ordinance No. 5872 Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Randy Diehl PHONE: 816-881-4577

EMAIL: rdiehl@jacksongov.org

DEPARTMENT: Public Works

TITLE: RZ-2024-682 - Samantha & Levi Irwin

SUMMARY: Requesting a change of zoning from District AG (Agricultural) on 5.00 ± acres to District RE (Residential Estates). The purpose is to create a single-family residential lot at 26109 E. Flynn Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request. The Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> to the County Legislature.

FINANCIAL IMPACT:

 $NO \boxtimes$

File #: 24-128, Version: 1

Amount	Fund	Department	Line-Item Detail
YES 🗆	-		

ACTION NEEDED: Choose an item.

ATTACHMENTS:

Click or tap here to enter text.

RZ-2024-682

ATTACHMENT 1: PROPERTY DESCRIPTION

Description:

That part of the Northwest Quarter of the Southwest Quarter of Section 7, Township 49, Range 30, Jackson County, Missouri, described as follows: Commending at the Northeast Corner of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, 579.62 feet to the Point of Beginning; thence S 01 degrees 44 minutes 57 seconds West 561.14 feet; thence South 88 degrees 15 minutes 03 seconds West, 447.21 feet; thence North 01 degrees 05 minutes 47 seconds West, 281.78 feet; thence North 26 degrees 49 minutes 12 seconds West, 310 feet more or less to the North line of said Northwest Quarter Southwest Quarter; thence North 86 degrees 25 minutes 47 seconds West, along said North line of said Northwest Quarter Southwest Quarter, 300 feet more or less, to the Point of Beginning. Except part in road.

RZ-2024-682

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024 Staff Report Zoning map of surrounding area Names and addresses of surrounding property owners Letter to surrounding property owners Application Aerial of location Copy of plat

Randy Diehl gave the staff report:

RE: RZ-2024-682

- Applicant: Samantha & Levi Irwin
- Location: 26109 E. Flynn Road
- **Area:** 5.00 ± acres
- **Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)
- **Purpose:** The purpose is to create a single-family residential lot.

Current Land Use and Zoning in the Area:

The zoning in the area is Agricultural and Residential.

Land use is single family residences.

Property sizes range from 3.00 acres to larger tracts.

The applicant wishes to place the existing dwelling on a 5.00-acre lot. The remaining 12.48 acres will remain within District AG, since it is over 10.00 acres in size.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends <u>APPROVAL</u> of RZ-2024-682.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator

Mr. Antey: Are there any questions for Randy?

Mr. Monaco: So, there's nothing on the lot today?

Mr. Diehl: The 5.00 acres will contain the existing house. The 12.00 acres tract will become buildable.

Discussion ensued regarding the location of the any future improvements on the 12.00 tract.

Mr. Lake: How wide is the back tract's access?

Mr. Diehl: At the road it's over 200 feet.

Mr. Antey: Is the applicant here?

Samantha Irwin: 26109 E. Flynn Road.

Mr. Antey: Do you have anything to add to the report?

Ms. Irwin: No, I don't.

Mr. Antey: Is there anyone else who is in favor of this application?

There were none.

Mr. Antey: Is there anyone who is opposed or has questions regarding this application?

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Lake seconded.

Discussion under advisement

Mr. Crawford moved to approve. Mr. Lake seconded.

Mr. Lake	Approve
Mr. Farrar	Approve
Me. Smead	Approve
Mr. Monaco	Approve
Mr. Horn	Approve
Mr. Crawford	Approve
Ms. Ryerkerk	Approve
Chairman Antey	Approve

Motion Carried 8 - 0

STAFF REPORT

PLAN COMMISSION July 18, 2024

RE: RZ-2024-682

- Applicant: Samantha & Levi Irwin
- Location: 26109 E. Flynn Road
- Area: 5.00 ± acres
- **Request:** Change of zoning from District AG (Agricultural) to District RE (Residential Estates)
- **Purpose:** The purpose is to create a single-family residential lot.

Current Land Use and Zoning in the Area:

The zoning in the area is Agricultural and Residential.

Land use is single family residences.

Property sizes range from 3.00 acres to larger tracts.

The applicant wishes to place the existing dwelling on a 5.00-acre lot. The remaining 12.48 acres will remain within District AG, since it is over 10.00 acres in size.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

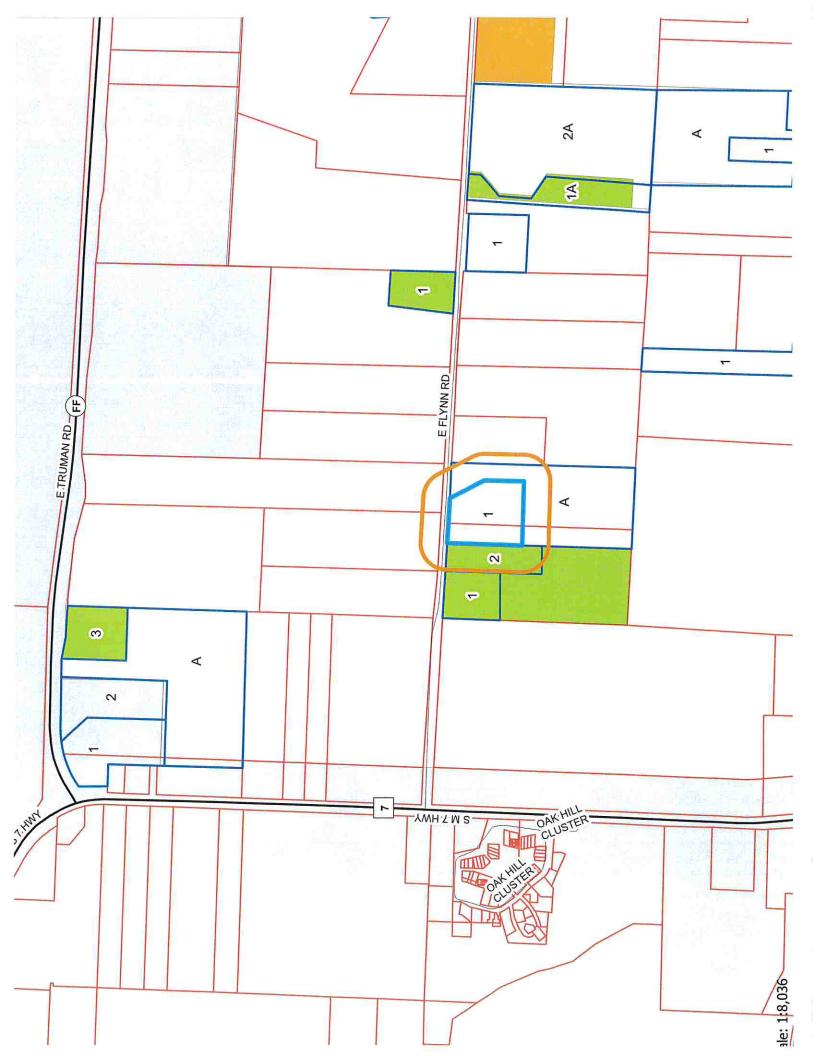
Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-682.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator



RZ-2024-682 Property Owners Within 185 feet

parcel	owner
23-400-02-10-00-00000	RIECHIN
23-400-03-09-01-0-00-000	PORTER
23-400-03-02-02-0-000	BROGG
23-400-02-12-00-00-000	RIECHIV
23-400-03-14-00-0-000	GIESEKE
23-400-03-03-01-0-00-000	IRWIN S
23-400-03-02-01-0-00-000	IRWIN S

	owner	address	city	state	zip
-02 - 10 - 00 - 0 - 00 - 000	RIECHMANN DONALD E & JOY L	26006 E FLYNN RD	INDEPENDENCE	MO	64057
)-03-09-01-0-00-000	PORTER BRENDA ELAINE-TRUSTEE	11262 GARNETT ST	OVERLAND PARK	KS	66210
)-03-02-02-0-000	BROGGI WILLIAM E JR & VICKIE L	26403 E FLYNN RD	INDEPENDENCE	MO	64057
)-02-12-00-0-00-000	RIECHMANN DONALD E & JOY L	26006 E FLYNN RD	INDEPENDENCE	MO	64057
)-03-14-00-0-00-000	GIESEKE LINDA J	26103 E FLYNN R	INDEPENDENCE	MO	64057
)-03-03-01-0-00-000	IRWIN SAMANTHA KAYE & LEVI ERIC	26109 E FLYNN RD	INDEPENDENCE	MO	64057
)-03-02-01-0-00-000	IRWIN SAMANTHA KAYE & LEVI ERIC	26109 E FLYNN RD	INDEPENDENCE	MO	64057



JACKSON COUNTY Public Works Department

Jackson County Technology Center 303 West Walnut Street Independence, Missouri 64050 jacksongov.org

(816) 881-4530 Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-682 Samantha & Levi Irwin

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Samantha & Levi Irwin for a change of zoning from District AG (Agricultural) on 5.00 ± acres to District RE (Residential Estates). The purpose is to create a singlefamily residential lot at 26109 E. Flynn Road.

Please note that this request for a change of zoning <u>affects only the property mentioned above</u>. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on <u>Thursday, July 18, 2024, at</u> 8:30 a.m. in the Large Conference Room, 2nd Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works Development Division Randy Diehl, Administrator

JACKSON COUNTY, MISSOURI APPLICATION FOR CHANGE OF ZONING

APPLICANT INFORMATION:

- Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
- 2. Application must be typed or printed in a legible manner.
- 3. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
- 4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
- The filing fee (non-refundable) must accompany application. (Check payable to: Manager of Finance)
 \$350.00 - Change of Zoning to Residential
 \$500.00 - Change of Zoning to Commercial or Industrial

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Rezoning Ca	se Number	RZ- 2024 - 68	32	
Date filed		Date of hear	Date of hearing	
Date advertised		Date proper	Date property owners notified	
Date signs por	sted			
Hearings:	Heard by	Date	Decision	
	Heard by	Date	Decision	
	Heard by	Date	Decision	

BEGIN APPLICATION HERE:

1.		ta on Applicant(s) and Owner(s):
	a.	Applicant(s) Name: Samanthg and Levi Imin
		Address: ZLOLOG E Flynn Rd
		Independence mo 64057
		Phone: 8 14-585-6107
	b.	Owner(s) Name: Samantha and Levi Irwin
		Address: 26109 E Flynn Rd, Indep. Mo 64007
		Phone: 816-585-6107
	c.	Agent(s) Name:
Revised	11/1	12 SKINES87 Q GMAIL- GOM

	Address:
	Phone:
d.	Applicant's interest in Property:
Gen	eral location (Road Name) ZGIO9 E. FLYMAL RD.
in the second second	
	ent Zoning AG Requested Zoning RE
AR	EA (sq. ft. / acres) 16.7 ACRES 5.00
Lega	al Description of Property: (Write Below or Attached 9)
	SEE ATTACHED
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Pres	ent Use of Property: RESIDENTIAL
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13. What effect will proposed development have on existing road and traffic conditions? ADDITION OF ONE RESIDENTIAL LOT

1 1

14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? <u>NO</u>, <u>OALY JACKSON COUNTY</u> If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): Verification: 1 (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

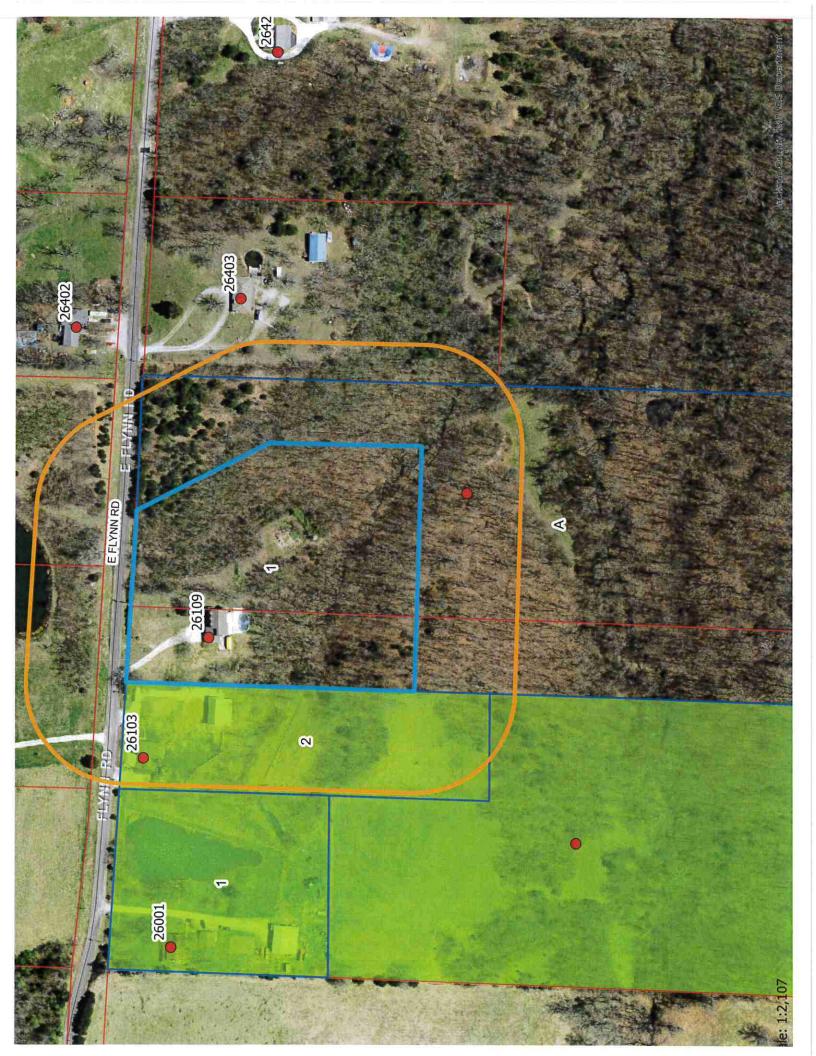
Signature	0.0	Date	
Property Owner(s)	Jule Qu	6-7-24	-
Applicant(s):	histin	6-7-24	
Contract Purchaser(s):	DA	DA	-
STATE OF MIDSOLE COUNTY OF ACKS	Rí		
On this 27/12	day of fune, in the	ne year of 2024 before	me
the undersigned notary public	, personally appeared <u>Dama</u>	othe Irwin an	d
known to me to be the per	son(s) whose names(s) is/are su	ubscribed to the within instrument	and
acknowledged that he/she/they	v executed the same for the purpose	es therein contained.	

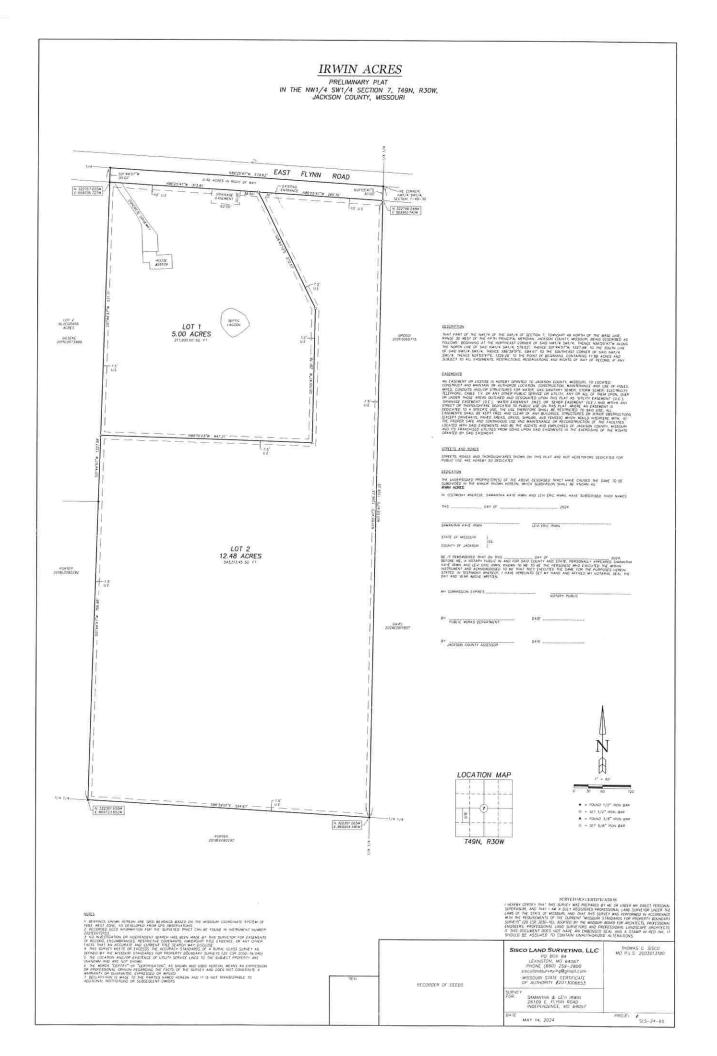
In witness whereof, I hereunto set my hand and official seal.

ashell Notary Public

Commission Expires 05-05-2026

LISA HARNESS NOTARY PUBLIC - NOTARY SEAL STATE OF MISSOURI MY COMMISSION EXPIRES MAY 5, 2026 JACKSON COUNTY COMMISSION #14879406





IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 1.01± acre tract from District LB (Local Business) to District GB (General Business).

ORDINANCE NO. 5873, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

<u>Section 1</u>. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries of the "LB" (Local Business) and "GB" (General Business) Districts, so that there will be transferred from District LB to District GB 1.01± tract of land located at 8801 Truman Road in Jackson County, MO, legally described as follows:

Description: Lot 8, except that part thereof in Blue Ridge Road, and All that part of Lots 7 and 9, lying West of the West line of Blue Ridge Road, Park View, a subdivision in Jackson County,Missouri

<u>Section 2</u>. The Legislature, pursuant to the application of 8801 Truman Road, LLC, (RZ-2024-679), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 4 to 4 recommends to take under advisement of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5873 introduced on August 12, 2024, was duly passed on _____, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____ Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5873.

Date

Frank White, Jr., County Executive



Request for Legislative Action

File #: 24-131, Version: 0

REQUESTED MEETING DATE: Select Date

SPONSORS:

Ordinance No. 5873 Date: August 12, 2024

STAFF CONTACT: Randy Diehl

PHONE: 816-881-4577

EMAIL: rdiehl@jacksongov.org

DEPARTMENT: Public Works

TITLE: RZ-2024-679 - 8801 Truman Road LLC

SUMMARY: Requesting a change of zoning from District LB (Local Business) on 1.01 ± acres to District GB (General Business). The purpose is for potential redevelopment at 8801 E. Truman Road. Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements. The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was opposition to the request regarding the proposed use as an adult novelty store. The adult use requires a Conditional Use Permit to be granted by the Legislature. (The applicant has withdrawn the application for the Conditional Use Permit). The Plan Commission voted 4 to 4 to 0 to the County Legislature regarding the rezoning.

FINANCIAL IMPACT:

File #: 24-131, Version: 0

 $NO \boxtimes$

Amount	Fund	Department	Line-Item Detail
YES 🗌			

ACTION NEEDED: Choose an item.

ATTACHMENTS:

Click or tap here to enter text.

RZ-2024-679

ATTACHMENT 1: PROPERTY DESCRIPTION

Description:

Lot 8, except that part thereof in Blue Ridge Road, and All that part of Lots 7 and 9, lying West of the West line of Blue Ridge Road, Park View, a subdivision in Jackson County, Missouri

RZ-2024-679

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024 Staff Report Zoning map of surrounding area Names and addresses of surrounding property owners Letter to surrounding property owners Application Letter of proposed use from applicant's representative Site Plan Pictures of current building

Randy Diehl gave the staff report:

RE: RZ-2024-679

Applicant:	8801 Truman Road LLC
Location:	8801 Truman Road
Area:	1.01 ± acres
Request:	Change of zoning from District LB (Agricultural) to District GB (General Business)
Purpose:	The purpose is to redevelop the tract for an adult novelty store and laundromat.

Current Land Use and Zoning in the Area:

The zoning in the area is commercial, industrial and residential.

The applicant wants to relocate an existing adult store from 8401 E. Truman Road to this location. The development plan would be to raze the existing Moonlight Book Store and construct a 4,000 square foot retail store. An additional 3,700 square foot retail space would be used as a laundromat or other commercial activity.

The bookstore was operating as a legal non-conforming use within District LB (Local Business) and has been closed since 2019 or 2020.

The Unified Development Code states (24003.26.g) that "When a nonconforming use is discontinued for a consecutive period of 180 days, the property involved may thereafter be used for conforming purposes".

Adult uses that are subject to Chapter 43 of the Jackson County Code are not allowed within District LB.

Since the 180-day period allowing the non-conformity for adult use has expired the property must be rezoned to District GB (General Business) and have a Condition Use Permit granted.

(An application for Conditional Use Permit is pending as CU-2024-251).

Water service in Blue Summit is provided by the City of Independence and the sanitary sewers are maintained by the City of Kansas City.

Currently there is access from Truman Road and Stark Avenue. The proposed development will not have direct access off Truman Road.

There will be approximately 32 parking spaces proved.

There is an apartment planned for employee use located on the second floor of the 4,000 square foot building.

Permitted uses with District GB also include uses within District LB. An accessory dwelling is allowed as an Accessory Use with District LB.

The property will need to be replatted into one contiguous lot to consolidate the current three lots and to eliminate the 12-foot alley.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends <u>APPROVAL</u> of RZ-2024-679.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator

Mr. Antey: Are there any questions for Randy?

Mr. Lake: This is right at the Stone Arch Bridge?

Mr. Diehl: Correct.

Mr. Lake: There will be no access from Truman Road.

Mr. Diehl: At this time, you can drive onto the property from either Truman Road or Stark Avenue. The applicant has been in contact with MoDOT and direct access from Truman Road will be eliminated.

Mr. Lake: And they own across the street? It's the same color on the map.

Mr. Diehl: No. The coloring is the zoning districts. For clarification the zoning district are color coded as follows: Purple – LB, Local Business Blue – GB, General Business Red – HI, Heady Industrial Orange – LI, Light Industrial Cream – Single Family Ms. Ryerkerk: This is Local Business, and they are proposing General Business?

Mr. Diehl: Yes, Local Business does not allow the proposed retail use. General Business with a Conditional Use Permit.

Mr. Horn: So, the one business is going to move to this proposed sight. The gas station will be redeveloped. And the buildings removed.

Mr. Diehl: The buildings at the current site will be removed. The gas station will be replaced with the future travel plaza. Currently, they are wanting to relocate the adult store at 8401 E. Truman Road to this location at 8801 E. Truman Road.

Ms. Ryerkerk: What are some of the differences between Local Business and General Business?

Mr. Diehl: Some of the differences are the types of activities, it allows a bigger building footprint. Permitted uses within Local Business are also included in General Business.

Mr. Horn: According to the application will the building be split 50/50?

Mr. Diehl: They are proposing two separate buildings.

Mr. Antey: We are focusing on the current building. Right now, before us is the property with the blue building on it. I would assume that the building will be razed.

Mr. Diehl: It will be razed for the new development.

Mr. Horn: Do they need to rezone for the current store to be in operation?

Mr. Antey: The laundromat falls into GB zoning.

Mr. Diehl: If the other component wasn't involved, they could rezone and develop with any of the permitted uses. They need the General Business zoning for adult use.

Mr. Horn: So, they could open a laundromat today?

Mr. Diehl: Yes.

Mr. So they are rezoning so they can keep up the adult store?

Mr. Antey: Potentially.

Mr. Diehl: If the Conditional Use Permit does not go through, they can still develop the property with any permitted use for General Business.

Mr. Lake: A car lot, a dispensary or a bookstore.

Mr. Farrar: Is the iconic bridge on Truman Road part of the beautification of the area by the City of Independence?

Mr. Diehl: I don't know, that's a city plan. I did look through that plan and it did mention a recommendation for a travel plaza in the Blue Summit area.

Mr. Horn: If they can move forward with some part of this plan, does the rezoning violate Chapter 43?

Mr. Antey: They can still rezone it. They must go through the Conditional Use approval. We can rezone it and the Conditional Use can fail, which gives them the opportunity to some have sort of business there. Passing the rezoning does not give them the right to move the store. They still need the Conditional Use Permit.

Mr. Lake: The way it's zoned right now, what types of businesses can they put there?

Mr. Antey: There's a list of uses in the UDC which are the permitted uses of businesses that can go there now.

Mr. Crawford: Can we get an example of the types of businesses?

Amanda Langenheim (County Counselor's Office) read a list of permitted uses from the UDC.

Mr. Lake: So right now, they can put in a laundromat?

Mr. Horn: That's the point I'm making. Right now, they can put in the laundromat and the two apartments. They can't get a Conditional Use Permit until we rezone it.

Mr. Diehl: Correct. They have the right to ask for a rezoning.

Mr. Antey: They could have come before us and asked for a rezoning because it opens up more opportunities for them and could have said nothing about the adult store. They could have come later for that. The Conditional Use would be a different process. What they intend to put put may not happen.

Mr. Crawford: The Northwest corner at Truman and Stark. Can you tell me what is there?

Mr. Diehl: It's vacant ground. There may have been a plan that never developed.

Mr. Lake: What's the next process?

Mr. Diehl: The Conditional Use is a separate application.

Mr. Lake: The applicant owns the property now. The applicant owns the bookstore?

Mr. Diehl: They acquired the property last year from the former owner's estate.

Mr. Diehl: They are the properly owners, not the owners of the former bookstore that was closed.

Ms. Ryerkerk: If the previous bookstore had not closed or gone out of business, would they (new owners) been able to continue the bookstore?

Mr. Diehl: Yes. That business was grandfathered in. They would be required to obtain a permit from the Environmental Health Division since the ownership changed.

Mr. Lake: Because it sat vacant, it lost the grandfather status?

Mr. Antey: Is the applicant here?

Riad Baghdadi, 11661 College Blvd, Overland Park, KS. I'm with RB Architecture Engineering Construction. I am the consulting engineer for the applicant.

Mr. Antey: Do you have anything to add to the report?

Mr. Baghdadi: I want to emphasize we are just focusing on the rezoning.

Mr. Lake: The applicant currently owns the gas station down the street.

Mr. Baghdadi: Yes.

Kewal Singh: I am the owner.

Mr. Farrar: Is the driving force the laundromat or the adult use store?

Mr. Singh: We are looking at two buildings.

Mr. Farrar: If at the next step, if you are denied the adult use, would you still bring the laundromat to this specific location?

Mr. Singh: Yes. If we can't move this, we cannot develop the travel plaza. Moonlight was there 20 or 30 years.

Mr. Horn: We have to understand the community we're in. The Blue Summit area has about 600 people. I don't know how this would help them. I know this is your business, it's your right.

Mr. Baghdadi: He's been running this business (as the new oner) for about four years. It's a cleaner business than when he bought it. It's like any other adult store. There's no live entertainment, just novelties.

Mr. Horn: If the store closed, why is there a need to revive it?

Mr. Baghdadi: We want to clean up the property and develop it.

Mr. Antey: They are moving the existing store from here to here. That use in to be is still to be considered upon the Conditional Use. It's not reviving, it's just moving.

Mr. Antey: Is there anyone else who is in favor of this application?

Jeff Jewell 18702 E 28th St S, Independence, Mo. I am the Fire Chief with Inter-City Fire Department. Most of the accidents on Truman Road come from this parking lot. One of the things I like about this plan is there being no access onto Truman Road. I've been the Chief for about 23 years. I've worked fatalities and murders. This isn't the greatest part of Kansas City. To redevelop this, we will benefit from the tax generated. What they are trying to do would be a boost. This is a poor area. We have issues with the property being vacant. Growing up we were told to stay out of Blue Summit. I'm doing my part to help clean up the area. We fight homeless, illegals and crime. The bookstore has been

there for 30 plus years. It was a high crime rate area. The plans would be to light that intersection up. We don't have lights, that will help. We'll be able to clean this area. When you come up from 435 you know you are in Dogpatch. This is an opportunity to clean it clean. The current building will be torn down and replaced with the store that's already there. I don't think you'll get opposition from the residents. I hope you all to consider what's going in there, no matter what it is, they are spending money back into the community. The eyesore that is there now. The other property he has bought is much better than before. I have a background in law enforcement and I think this is a good thing.

Mr. Antey: Is there anyone who is opposed or has questions regarding this application?

Lucy Young: 2325 Viking Dr., Independence, MO. Chief Jewell hit on lot of points. He's right, this will always be known as Dogpatch. If we continue to think of it as Dogpatch, it will always be Dogpatch. The City of Independence has a gateway plan. It's a base that is needed to look beyond the present. The former County Executive has wanted to shut the adult businesses and couldn't. It's their constitutional right to this type of business and it's our right as citizens to say that we object to it moving next to the iconic stone arch bridge. Community of Christ will be having their conference in 2025. In two years, we'll be having the World Cup. These people will be going by this. It will have an impact on the area. I'm asking to turn down the zoning on the pretext of the next case.

Wes Epperson, 3600 Poplar, Independence, MO. I agree with what Lucy said. I spent a lot of time in Blue Summit. My father was the Deacon of Blue Summit Baptist Church. We were opposed to the first adult shop that went in. That store had a lot of riffraff, a lot of crime. Getting sales sales tax shouldn't justify it. I'm fine with a laundromat. I just wonder about single mothers who live in the apartments that would use the laundromat and having their kids see people going in there and seeing what they bought. The City of Independence is looking at future projects. I don't think this is the kind of welcome we want coming into Independence.

Chris Dahl, 1614 Blue Ridge, Kansas City, MO. I agree with the Fire Chief. Something needs to be done. I agree with the laundromat. I have concerns with the traffic at the intersection. I also agree with the other two folks as well.

Mr. Monaco: Are you opposed to the rezoning to allow more business opportunities, forgetting the bookstore.

Mr. Dahl: When Moonlight was open, it was a dangerous intersection.

Mr. Smead: They could put a business there now.

Mr. Dahl: I know this is zoning and don't know if it will exasperate to the next level. Maybe something that will contract traffic. I not against business.

Ms. Langenheim: Mr. Chairman, if I could. I feel it's pertinent to remind the board that the UDC brings out that the Commission's decision with regards to the rezoning, is whether the rezoning is consistent with the Jackson County Master Plan and whether the owners intended use falls within the authorized uses under the rezoning category. Here rezoning to General Business is consistent with the Master Plan. You can see on the zoning map, there is already General Business in the area. The intended use, laundromat and adult store, falls within the authorized uses for General Business. Now, the Conditional Use

permit is when the Commission can consider things the public is talking about, whether the proposed use is compatible and preserves the character and integrity of the adjacent development. You can consider whether the proposed use is detrimental to public health, safety and welfare of the neighborhood. I just want to make sure we are divorcing the two, the rezoning and the conditional use.

Motion to take under advisement.

Mr. Lake moved to take under advisement. Mr. Horn seconded.

Discussion under advisement

Mr. Monaco moved to approve. Mr. Smead seconded.

Mr. Lake	Disapprove
Mr. Farrar	Disapprove
Mr. Smead	Approve
Mr. Monaco	Approve
Mr. Horn	Approve
Mr. Crawford	Disapprove
Ms. Ryerkerk	Disapprove
Chairman Antey	Approve

Tie Vote 4 – 4 - 0

STAFF REPORT

PLAN COMMISSION July 18, 2024

RE: RZ-2024-679

Applicant: 8801 Truman Road LLC

Location: 8801 Truman Road

Area: 1.01 ± acres

- Request: Change of zoning from District LB (Agricultural) to District GB (General Business)
- **Purpose:** The purpose is to redevelop the tract for an adult novelty store and laundromat.

Current Land Use and Zoning in the Area:

The zoning in the area is commercial, industrial and residential.

The applicant wants to relocate an existing adult store from 8401 E. Truman Road to this location. The development plan would be to raze the existing Moonlight Book Store and construct a 4,000 square foot retail store. An additional 3,700 square foot retail space would be used as a laundromat or other commercial activity.

The bookstore was operating as a legal non-conforming use within District LB (Local Business) and has been closed since 2019 or 2020.

The Unified Development Code states (24003.26.g) that "When a nonconforming use is discontinued for a consecutive period of 180 days, the property involved may thereafter be used for conforming purposes".

Adult uses that are subject to Chapter 43 of the Jackson County Code are not allowed within District LB.

Since the 180-day period allowing the non-conformity for adult use has expired the property must be rezoned to District GB (General Business) and have a Condition Use Permit granted.

(An application for Conditional Use Permit is pending as CU-2024-251).

Water service in Blue Summit is provided by the City of Independence and the sanitary sewers are maintained by the City of Kansas City.

Currently there is access from Truman Road and Stark Avenue. The proposed development will not have direct access off Truman Road.

There will be approximately 32 parking spaces proved.

There is an apartment planned for employee use located on the second floor of the 4,000 square foot building.

Permitted uses with District GB also include uses within District LB. An accessory dwelling is allowed as an Accessory Use with District LB.

The property will need to be replatted into one contiguous lot to consolidate the current three lots and to eliminate the 12-foot alley.

County Plan:

The County Plan Development Diagram illustrates this area within the Urban Development Tier (UDT).

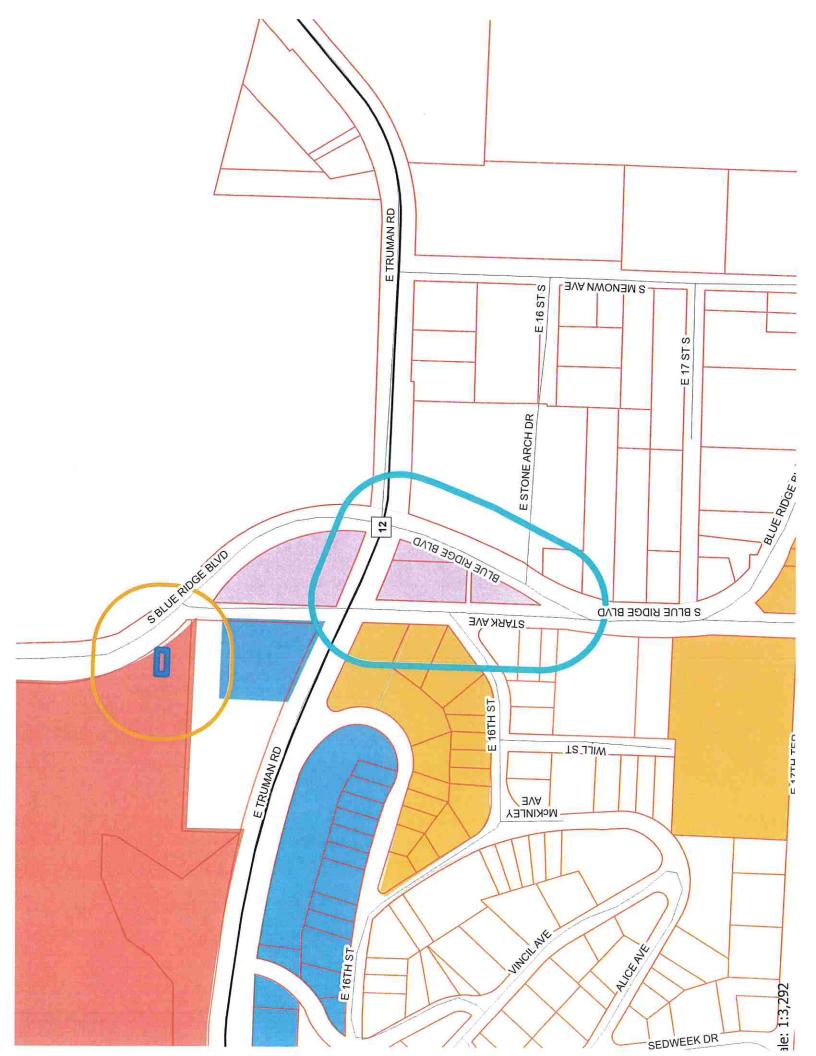
Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RZ-2024-679.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator



R2-2024-679 & CU-2024-251 Property Owners Within 185 feet

parcel 27-230-06-19-00-0-00-000 27-340-09-01-00-0-00-000

27-340-09-01-00-00-00027-340-09-37-00-0-00027-340-09-38-00-0000027-340-09-35-00-0-000027-340-08-25-00-0-000027-230-06-05-00-0000027-230-01-14-01-00-00027-230-01-14-01-00-00027-230-06-17-00-000027-340-08-27-02-0-0000027-340-08-27-00-0000 27-230-03-02-00-0-00-000 27-230-03-01-00-0-00-000 27-230-03-03-00-00-000

8801 TRUMAN LLC 8801 TRUMAN LLC

owner CIM EXPO LLC SCOGGINS BILLY & SHIRLEY L STOTTS ERNEST EUGENE STOTTS ERNEST EUGENE DAHL CHRIS WAR INC CEDILLO JOE LANDMARK MORTGAGE COMPAN WINNER ROAD PROPERTIES LLC WAR INC CIM EXPO LLC WAR INC S801 TRUMAN LLC

64112 54126 54125 54125 64105 64108 54126 54126 54126 54151 54124 54151 54112 54151 64126 MO KANSAS CITY **KANSAS CITY** KANSAS CITY KANSAS CITY KANSAS CITY **KANSAS CITY KANSAS CITY** KANSAS CITY KANSAS CITY **KANSAS CITY KANSAS CITY KANSAS CITY ANSAS CITY KANSAS CITY KANSAS CITY** 2345 GRAND BLVD STE 2200 4741 CENTRAL AVE STE 230 4741 CENTRAL AVE STE 230 7419 N GRANBY AVE 7419 N GRANBY AVE 7419 N GRANBY AVE 8801 E TRUMAN RD 8801 E TRUMAN RD 8801 E TRUMAN RD 518 PROSPECT AVE **8015 WILSON RD 8015 WILSON RD** 600 STARK AVE **1614 STARK AV** 300 W 11TH ST

zip

state

city

address



JACKSON COUNTY Public Works Department

Jackson County Technology Center 303 West Walnut Street Independence, Missouri 64050 jacksongov.org

(816) 881-4530 Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-679 & CU-2024-251 8801 Truman Road LLC

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by 8801 Truman Road LLC for a change of zoning from District LB (Local Business) on 1.01 ± acres to District GB (General Business). The purpose is to redevelop the tract for an adult store and laundromat at 8801 E. Truman Road and requesting a Conditional Use Permit for a period of five years to operate an adult novelty store on 1.01 ± acres in District GB (General Business) at 8801 E. Truman Road.

Please note that this request for a change of zoning <u>affects only the property mentioned above</u>. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 185' of the subject property.

The public hearing on this matter will be held by the Plan Commission on <u>Thursday, July 18, 2024, at</u> 8:30 a.m. in the Large Conference Room, 2nd Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works Development Division Randy Diehl, Administrator

JACKSON COUNTY, MISSOURI APPLICATION FOR CHANGE OF ZONING

APPLICANT INFORMATION:

- Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
- 2. Application must be typed or printed in a legible manner.
- 3. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
- 4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
- The filing fee (non-refundable) must accompany application. (Check payable to: Manager of Finance) \$350.00 - Change of Zoning to Residential \$500.00 - Change of Zoning to Commercial or Industrial

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Rezoning Ca	se Number H	z- 2029-6	19	
Date filed	-1	Date of hear	ing	
Date advertise	ed	Date proper	y owners notified	
Date signs pos	sted			
Hearings:	Heard by	Date	Decision	
	Heard by	Date	Decision	
	Heard by	Date	Decision	

BEGIN APPLICATION HERE:

1. Data on Applicant(s) and Owner(s):

a. Applicant(s) Name: RB Architecture Engineering Const

Address: ______Address: ______Address: ______Address: ______Address: ______Address: _____Address: ______Address: _____Address: ____Address: ____Add

Overland Park, KS 66210

Phone: (913) 375-7659

b. Owner(s) Name: Kewal Singh

Address: _____ 8801 E TRUMAN RD, KANSAS CITY, MO 64126

Phone: ____ (913) 856-3982

c. Agent(s) Name:

	Address:
	Phone:
	d. Applicant's interest in Property: Designer
2.	General location (Road Name) 8801 E Truman Road
	UNINCORPORATED, MO 64126
3.	Present Zoning <u>LB</u> Requested Zoning <u>GB</u>
4.	AREA (sq. ft. / acres)43995.6 s.f./ 1.01 acres
5.	Legal Description of Property: (Write Below or Attached 9)
	LOT 8, EXCEPT THAT PART THEREOF IN BLUE RIDGE ROAD, AND ALL THAT PART OF LOTS 7 AND 9, LYING WEST OF THE WEST LINE OF BLUE RIDGE ROAD, PARK VIEW, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
6.	Present Use of Property: <u>Not used abandoned building to be demolished</u>
7. 8.	Proposed Use of Property: <u>Adult store, Retail store, laundromat and apartments (work live residential)</u> The store will be moved from 8401 E Truman Road to this location to allow for Travel Plaza development. Proposed Time Schedule for Development: <u>Spet 2024 to May 2025</u>
9.	What effect will your proposed development have on the surrounding properties? Improve the area and clean up the site.
10.	Is any portion of the property within the established flood plain as shown on the FEMA Flood
	Boundary Map?No
	If so, will any improvements be made to the property which will increase or decrease the
	elevation? Grading will increase some and or decrease some parts of the properties.
11.	Describe the source/method which provides the following services, and what effect the
	development will have on same:
	a. Water_City of Independence
	b. Sewage disposal City of Kansas City Missouri
	c. Electricity_Evergy
	d. Fire and Police protection City of Indpendence
13	D 11 11 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

12. Describe existing road width and condition: Located at intersection of Stark and Truman Road. Stark

is paved tow lane street. Truman is MO 12 HWY contains 4 traffic lanes.

- 13. What effect will proposed development have on existing road and traffic conditions? Driveways to the development will be from Stark only. Existing open access from Truman will be closed.
- 14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? Plans were send to MODOT for review and they were approved.

If so, describe giving dates of application and status (include permit numbers and copies of same, if issued):_____

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature		Date	
Property Owner(s)	Kel hu		OSLYLdy
Applicant(s):	KEWAL SINGY Gradbagheli Riad Baghdadi		ostayby
Contract Purchaser(s)			
STATE OF <u>Miss</u> COUNTY OF <u>Jack</u>			
On this	day of <u>May</u> , in public, personally appeared <u>Kewa</u>	the year o	of <u>2024</u> , before me <u>gh & Ricad Baghdadi</u>
known to me to be th	ne person(s) whose names(s) is/are	subscribed	I to the within instrument and
acknowledged that he/sh	e/they executed the same for the purp	oses thereir	n contained.
In witness whereof, I her	eunto set my hand and official seal.		

Notary Public

Commission Expires Feb 12 2027

P

THERESA BELLAND NOTARY PUBLIC - NOTARY SEAL STATE OF MISSOURI MY COMMISSION EXPIRE'S FEBRUARY 12, 2027 JACKSON COUNTY COMMISSION #00414027

B Architecture Engineering Construction

June 10, 2024

Randy Diehl Development Division Jackson County Public Works 303 W. Walnut Street Independence, MO 64050

Subject: Rezoning & Conditional Use Application Adult Store 8801 Truman Road

In the subject applications we are proposing to relocate the existing adult store from 8401 E Truman to the proposed location at 8801 E Truman. This move will allow us to proceed with the development of Travel Plaza at 8401 E Truman.

The proposed development consists of an approximately 4,000 S.F. retail store to be used as adult store, a 3700 S.F. retail space to be used as Laundromat or other commercial activity, and two apartments on the second floor above the retail spaces.

The adult store will open between the hours of 9:00am to 1:00pm Monday through Saturday and from 11:00am to 10:00pm of Sunday. Two employees per shift will work in the store. The store will sell adult magazines, adult toys, DVD's, lubricant oil, Vapes, jewelries and lingerie, etc. Also the store will have approximately 15 DVD video booths.

We have operated the adult store at 8401 for few years and we will maintain the same high quality in operating this store at the new location.

The apartments will be used exclusively for our employees.

11661 College Blvd, Overland Park, KS 66210 Tel (913) 375-7659 Email: riad.baghdadi@yahoo.com



At this time we are considering establishing a Laundromat in the second retail space. In any case, the use of this space will confirm to the new zoning of the lot.

We are looking forward to develop this area and have a high quality and beneficial business operation. We appreciate the County support of our application. We will work with county to insure smooth and successful development.

Applicant:

PadBachl.

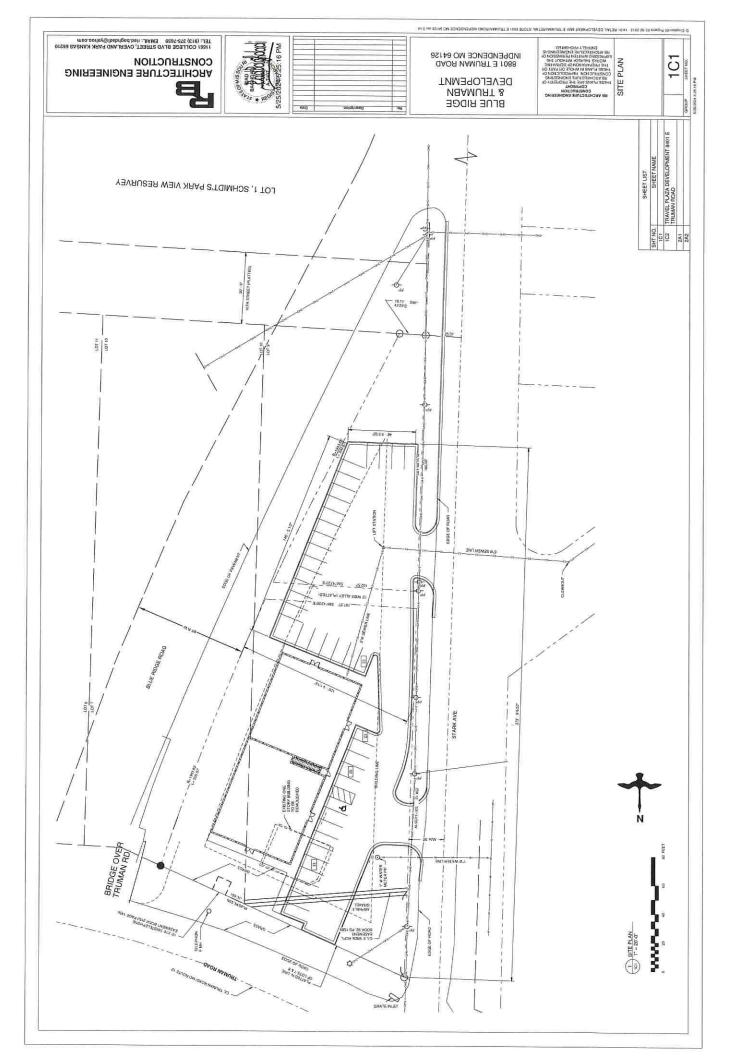
Riad Baghdadi

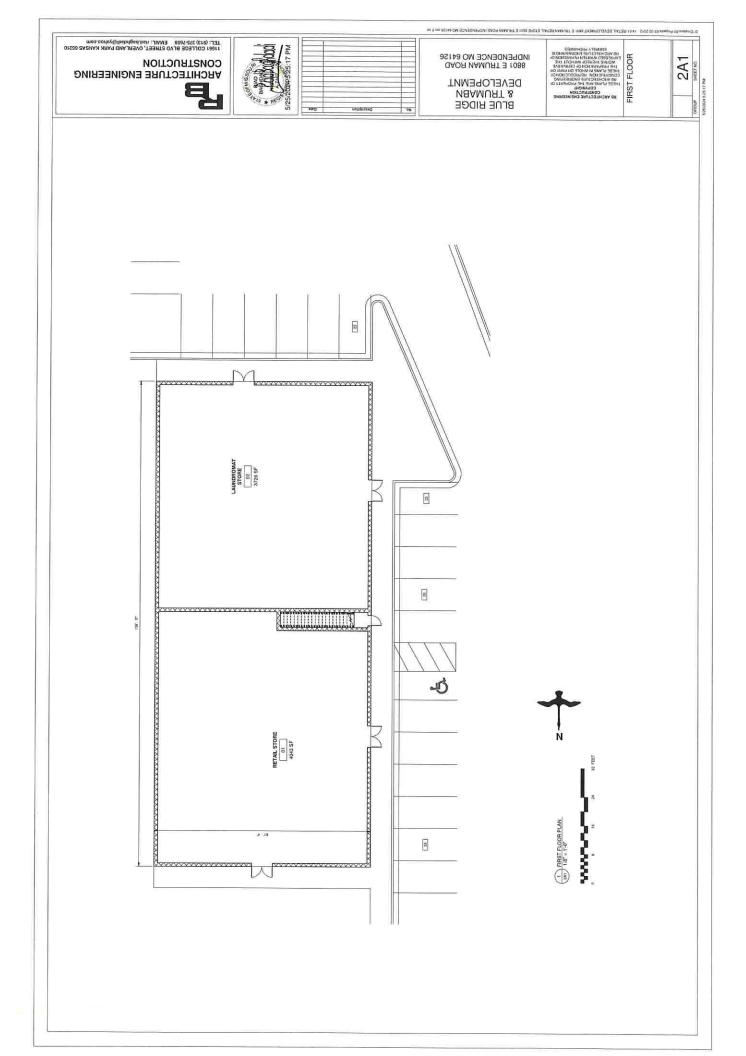
Owner:

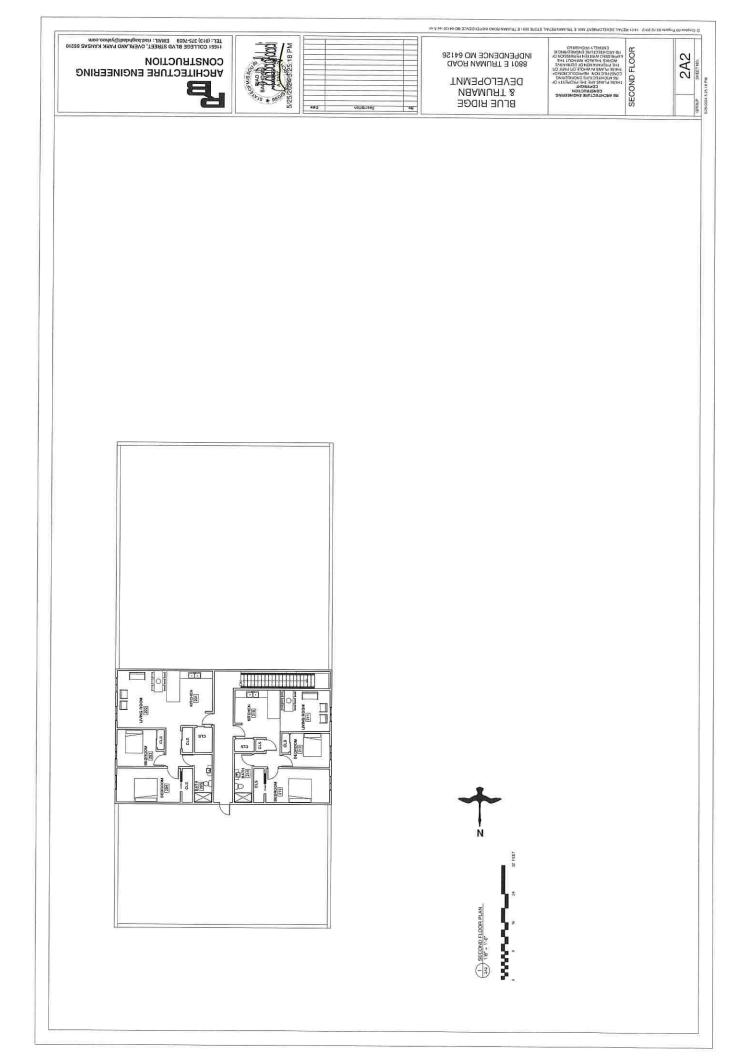
Kuh

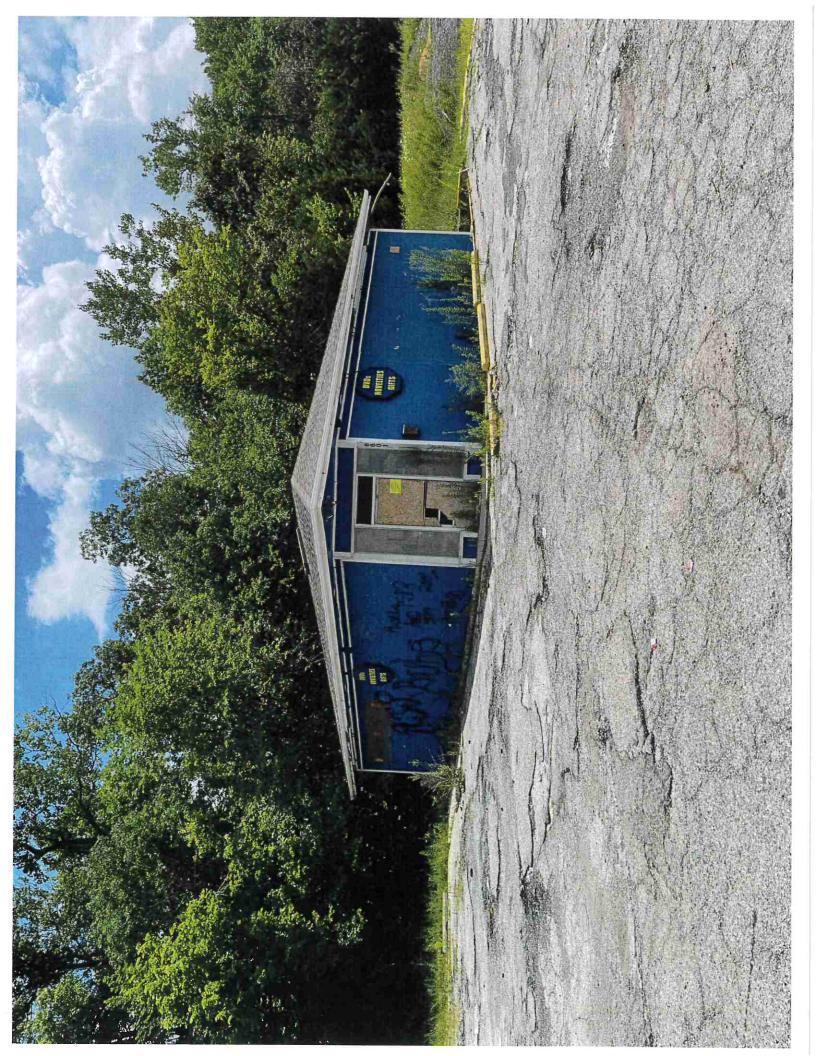
Kewal Singh

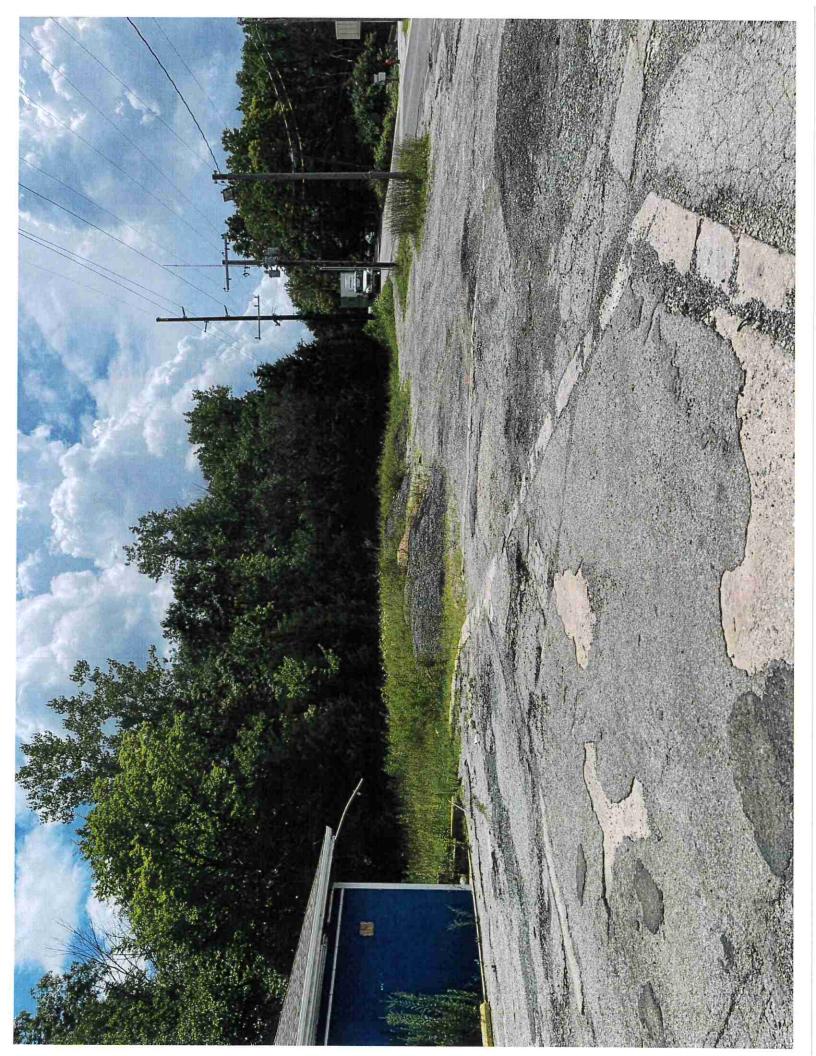
11661 College Blvd, Overland Park, KS 66210 Tel (913) 375-7659 Email: riad.baghdadi@yahoo.com











24004.8 LOCAL BUSINESS DISTRICT (LB)

- a. **Purpose.** The Local Business District (LB) is intended to provide limited retail, service and office facilities for the convenience of residents in the vicinity of the district. Uses should be designed and operated to be compatible in scale and appearance with a nearby residential development. LB districts should be located at the intersections of collector or major roads. The Local Business District is appropriate in the Urban, Suburban or Rural Development Tier as depicted on the Development Diagram (Exhibit VI.3) of the Master Plan. Service levels should be adequate to meet normal and emergency demands from proposed uses in the LB district.
- **b. Permitted Uses.** The following uses are authorized as permitted uses subject to a limitation of 10,000 square feet gross building floor area and any other conditions established in these district provisions:
 - 1. Art and photographic supplies/sales, developing and studios.
 - 2. Automobile repair with all repair facilities contained within a building and no outside storage of inoperable vehicles;
 - 3. Bakeries.
 - 4. Banks, savings and loan associations, credit unions and related financial institutions
 - 5. Car washes, self-service.
 - 6. Churches, temples, synagogues, mosques and related community buildings.
 - 7. Civic clubs, private clubs, fraternal or sororal organizations.
 - 8. Fire stations and EMS facilities.
 - 9. Gasoline sales and service stations.
 - 10. Group day care home or day care center subject to the conditions established in Section 24005.6.
 - 11. Health clubs, gymnasiums and similar recreational uses.
 - 12. Hospitals and clinics.
 - 1. Hotels and motels.
 - 2. Indoor movie or live theaters, excluding adult uses.

- 3. Libraries.
- 4. Mortuaries.
- 5. Museums.
- 6. Off-premise signs pursuant to Section 24007.
- 7. Office and service facilities.
- 8. Personal service shops.
- 9. Post offices, retail packaging and shipping services.
- 10. Printing, photocopying and document production/reproduction shops.
- 11. Public buildings, parks and facilities.
- 12. Restaurants, with no sales of alcohol, and no dancing or other forms of entertainment.
- 13. Retail and service local.
- 14. Sale, rental and repair of appliances, bicycles and small equipment, conducted within an enclosed building.
- 15. Schools (public or private), and related structures, for grades K 12.
- 16. Sports courts, swimming pools and tennis courts.
- 17. Telecommunications facilities pursuant to Section 24005.20.
- 18. Trades shops, for the manufacture or repair and sale of goods comprised of metal, wood, glass, plastic or other products, with manufacturing floor area limited to fifty percent (50%) of gross building floor area.
- 19. Utility distribution and collection facilities, excluding production, treatment and electrical transmission facilities.
- 32. Water storage tanks, fill stations or towers on a site including one-half acre or more.
- c. Conditional Uses. The following conditional uses are authorized, subject to the provisions of Section 244003.21.
 - 1. Cemeteries and burial grounds.

- 2. Cocktail lounges, bars, taverns, night clubs and other establishments serving alcoholic beverages, excluding adult uses.
- 3. Electrical transmission lines pursuant to Section 24005.22.
- 4. Medical Marijuana Dispensary Facility, pursuant to Section 24005.14, except as to any property improved with a residential dwelling unit.
- 5. Pawnshops and short-term loan establishments pursuant to Section 24005.15.
- 6. Schools, trade or vocational.
- 7. Water and wastewater treatment facilities.
- d. Accessory Uses. The following uses are authorized as accessory uses which are customarily incident to the primary use. None of the following uses are authorized in the absence of an authorized permitted use.
 - 1. Accessory dwelling, subject to the provisions of Section 24005.2.
 - 2. Greenhouses.
 - 3. On or off-premise signs, subject to the provisions of Section 24007.
 - 4. Medical marijuana Dispensary Facility, pursuant to Section 24005.14, except as to any property improved with a residential dwelling unit.
 - 5. Storage buildings, including garages, sheds and enclosures for temporary storage of refuse.
 - 6. Telecommunications facilities pursuant to Section 24005.21.
 - 7. Other uses customarily incident to authorized uses.
- e. **Planned Uses.** The following uses may be authorized within a planned development district, subject to the requirements of Section 24003.18.
 - 1. Any permitted use occupying more than 10,000 square feet of gross building floor area.
 - 2. Group quarters.
 - 3. Mixed use developments.

- 4. Multi-family dwellings.
- 5. Nursing homes pursuant to Section 24005.11.

f. Development Performance Standards.

1. Development in the LB district shall comply with the standards established in Exhibit 240.13 in addition to other standards established in the UDC.

Minimum lot size	20,000 sq. ft.
Minimum lot depth	120 feet
Minimum lot width	150 feet
Minimum building setback front side rear street side	25 feet 25 feet (1) 25 feet 25 feet
Maximum building height	35 feet
Maximum Impervious cover	60%

Exhibit 240.13: LB District Design Standards

Notes

- (1) See Section 24006.8.
- 2. Open storage is prohibited.
- 3. All display, storage and sale of goods shall be provided within the primary structure.
- 4. No vehicle or equipment, other than a passenger vehicle may be stored or parked in front of a building for more than 48 consecutive hours.
- 5. Lighting sources shall be designed and located so that the direct source of the light is shielded from view at all property lines abutting residential development.
- 6. Non-residential development shall be located on a collector or arterial road.
- 7. Drive-through uses are prohibited, except as permitted through a planned development.

24004.9 GENERAL BUSINESS DISTRICT (GB)

- a. **Purpose.** The General Business District (GB) is intended to provide more intensive retail, service and office uses than the LB district. Site development regulations and performance standards are intended to ensure that uses will be compatible and complementary in scale to adjacent developments. Uses in this District should be located, designed and operated to mitigate the impacts of traffic generation, noise and light on nearby residential neighborhoods. The General Business District is appropriate in the Urban Development Tier as depicted on the Development Diagram (Exhibit VI.3) of the Master Plan. Full urban services are required for most uses in the GB district.
- **b. Permitted Uses.** The following uses are authorized as permitted uses subject to any conditions established in these district provisions:
 - 1. Amusements and recreational facilities with an enclosed building.
 - 2. Any use permitted in the LB district, but not subject to the maximum area limitations.
 - 3. Assembly, lodge or dance halls.
 - 4. Automobile/truck/trailer/boat sales, rental and repairs, with all repair facilities contained within a building and no open storage of inoperable vehicles.
 - 5. Broadcast studios.
 - 6. Chemicals, agricultural wholesale.
 - 7. Cocktail lounges, bars and taverns pursuant to 24005.7.
 - 8. Delivery services.
 - 9. Group homes pursuant to Section 24005.11.
 - 10. Lumber yards.
 - 11. Medical Marijuana Dispensary facility, subject to the conditions established in Section 24005.14, except as to any property improved with a residential dwelling unit.
 - 12. Mobile home sale and repair.
 - 13. Museums.

- 14. Nurseries and greenhouses, retail or wholesale.
- 15. Off-premise signs, subject to the provisions of Section 24007.
- 16. Office and service facilities.
- 17. Printing plants.
- 18. Restaurants, with sales of alcohol.
- 19. Schools, colleges and universities, public or private.
- 20. Sports courts, swimming pools and tennis courts.
- 21. Stables (public).
- 22. Truck stops.
- 23. Veterinary clinics.
- 24. Wholesale sales.
- c. Conditional Uses. The following conditional uses are authorized, subject to the provisions of Section 24003.21.
 - 1. Amusement parks, carnivals or fairgrounds, subject to the conditions established in Section 24005.17.
 - 2. Animal exhibits or zoos, subject to the conditions established in Section 24005.4.
 - 3. Adult uses, not located within 1,500 feet of a church or school and subject to the provisions of Chapter 43.
 - 4. Aviaries.
 - 5. Businesses serving alcoholic beverages and providing live entertainment.
 - 6. Commercial telecommunication structures, subject to the provisions of Section 24005.21.
 - 7. Delivery services.
 - 8. Drive-In theaters.

- 9. Outdoor swap meets and flea markets, subject to the provisions of Section 24005.10.
- 10. Pawnshops and short-term loan establishments pursuant to Section 24005.15.
- 11. Recreational facilities pursuant to Section 24005.17.
- d. Accessory Uses. The following uses are authorized as accessory uses which are customarily incident to the primary use. None of the following uses are authorized in the absence of an authorized permitted use.
 - 1. Accessory buildings, subject to the provisions of Section 24005.2
 - 2. On or off-premise signs subject to the provisions of Section 24007.
 - 3. Sports courts, swimming pools and tennis courts private.
 - 4. Storage buildings.
 - 5. Telecommunications receiving or transmitting structures used in conjunction with a permitted use, subject to the provisions of Section 24005.21.
 - 6. Temporary sales events pursuant to Section 24005.20.
 - 7. Temporary assembly and amusement pursuant to Section 24005.20.
 - 8. Other uses customarily incident to authorized uses.
- e. **Planned Uses.** The following uses are authorized within a planned development district, subject to the requirements of Section 24003.18.
 - 1. Dwellings, multi-family.
 - 2. Group quarters pursuant to Section 24005.11.
 - 3. Mixed use developments.

f. Development Performance Standards.

- 1. Development in the GB district shall comply with the standards established in Exhibit 240.14 in addition to other standards established in the UDC.
- 2. Sales areas shall not be located within required landscaping or parking area.
- 3. Open storage is prohibited, except that vehicles for sale may be displayed in accordance with other district standards.

4. Lighting shall be designed so that the source is not directly visible from adjacent residential properties or streets.

1

Minimum lot size	40,000 sq. ft.
Minimum lot depth	120 feet
Minimum lot width	150 feet
Minimum building setback front side rear street side	25 feet 25 feet 25 feet 25 feet
Maximum building height	40 feet
Maximum impervious cover	70%

Exhibit 240.14: GB District Design Standards

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE amending the zoning districts established pursuant to the Unified Development Code by rezoning a certain 9.43± acre tract within District LI-p (Light Industrial-Planned).

ORDINANCE NO. 5874, August 12, 2024

BE IT ORDAINED by the County Legislature of Jackson County, Missouri as follows:

<u>Section 1</u>. The Zoning Order of Jackson County, Missouri, and the official maps which are a part thereof, are amended by changing the boundaries within "LI-p" (Light Industrial-Planned) District, 9.43± tract of land located at 13513 S. Sam Moore Road in Jackson County, MO, legally described as follows:

Description: Lot 1, Greeson Greenhouse, a subdivision in Jackson County, Missouri

<u>Section 2</u>. The Legislature, pursuant to the application of Jacob Davis (RP-2024-681), requesting the amendment embodied in this Ordinance and with notice that the Jackson County Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> of this application after a public hearing on July 18, 2024, does hereby adopt this Ordinance pursuant to the Jackson County Charter authorizing the Legislature to exercise legislative power pertaining to planning and zoning.

Effective Date: This Ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5874 introduced on August 12, 2024, was duly passed on _____, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____ Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5874.

Date

Frank White, Jr., County Executive



Request for Legislative Action

File #: 24-126, **Version:** 0

REQUESTED MEETING DATE: Select Date

SPONSORS:

Ordinance No. 5874 Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Randy Diehl PHONE: 816-881-4577

EMAIL: <u>rdiehl@jacksongov.org <mailto:rdiehl@jacksongov.org</u>> DEPARTMENT: Public Works TITLE: RP-2024-681 - Jacob Davis

SUMMARY: Requesting a revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned) on 9.43 ± acres for a self-storage facility at 13513 S. Sam Moore Road.

Staff recommends approval because the change in zoning is consistent with the intent and purpose of the County Plan and complies with the Unified Development Code requirements.

The Jackson County Plan Commission held a public hearing on July 18, 2024, and accepted testimony pertaining to the rezoning request. There was no opposition to the request.

The Plan Commission voted 8 to 0 to recommend <u>APPROVAL</u> to the County Legislature.

FINANCIAL IMPACT:

 $NO \boxtimes$

File #: 24-126, Version: 0

Amount	Fund	Department	Line-Item Detail
YES 🗌			

ACTION NEEDED: Choose an item.

ATTACHMENTS:

Click or tap here to enter text.

RP-2024-681

ATTACHMENT 1: PROPERTY DESCRIPTION

Description:

Lot 1, Greeson Greenhouse, a subdivision in Jackson County, Missouri

RP-2024-681

ATTACHMENT 2: ZONING SUPPORT DOCUMENTATION

Attachments

Plan Commission Public Hearing Summary from July 18, 2024 Staff Report Zoning map of surrounding area Names and addresses of surrounding property owners Letter to surrounding property owners Application Aerial of location Revised Site Plan

Randy Diehl gave the staff report:

RE: RP-2024-681

Applicant: Jacob Davis

Location: 13513 S. Sam Moore Road

Area: 9.43 ± acres

- **Request:** Revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned)
- **Purpose:** The purpose is to for a self-storage facility.

Current Land Use and Zoning in the Area:

This is a request for an amendment to the Planned Zoning approved February 26, 2024 (Ordinance 5832).

The Unified Development Code (UDC) requires that a site plan be submitted for Planned zonings illustrating the proposed buildings and lot arrangements.

The applicant has submitted a revised site plan for the proposed development. The changes are significant enough that a revised site plan is required.

County Plan:

The County Plan Development Diagram illustrates this area within the Rural Development Tier (RDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends <u>APPROVAL</u> of RP-2024-681.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator

Mr. Antey: Are there any other questions for Randy?

Mr. Horn: Is this privately owned or like a U-Haul facility?

Mr. Diehl: It's a self-storage facility. It's privately owned.

Ms. Ryerkerk: It looks like they just rotated the layout.

Mr. Crawford: It the East line the County Line?

Mr. Diehl: No. The trailer storage lot for the business next to them, their East property line is the County line.

Mr. Crawford: Is that going to change?

Mr. Diehl: No. that property is not included. The zoning is not changing for this piece, we are just approving the site layout.

Mr. Lake: This is where the greenhouses were, and Bynum winery was across the road.

Mr. Diehl: That is correct.

Mr. Antey: We are just looking at the site plan for approval since this is a Planned development.

Mr. Antey: Is the applicant here?

Scott Tanner: I am the owners' representative. We just basically shifted the site over 15 feet to the East because the geo-tech report indicated rock.

Mr. Antey: Do you have anything to add to the report?

Mr. Antey: Do you have anything else?

Mr. Tanner: We are in contact with the County Engineering Division and MoDOT since our stormwater will be draining onto State right of way.

Mr. Crawford: Is there grass in between the buildings?

Mr. Tanner: Yes. It will be seeded and sodded. We have a landscape plan as well.

Mr. Lake: Will this facility have living quarters?

Mr. Tanner: No. It will have an office and the facility will be gated.

Mr. Antey: Is there anyone else who is in favor of this application?

There were none.

Mr. Antey: Is there anyone who is opposed or has questions regarding this application?

There were none.

Motion to take under advisement.

Mr. Crawford moved to take under advisement. Mr. Horn seconded.

Discussion under advisement

Mr. Lake moved to approve. Mr. Horn seconded.

Mr. Lake	Approve
Mr. Farrar	Approve
Me. Smead	Approve
Mr. Monaco	Approve
Mr. Horn	Approve
Mr. Crawford	Approve
Ms. Ryerkerk	Approve
Chairman Antey	Approve

Motion Carried 8-0

STAFF REPORT

PLAN COMMISSION July 18, 2024

RE: RP-2024-681

- Applicant: Jacob Davis
- Location: 13513 S. Sam Moore Road
- Area: 9.43 ± acres
- **Request:** Revision of the site plan for Planned zoning within District LI-p (Light Industrial-Planned)
- **Purpose:** The purpose is to for a self-storage facility.

Current Land Use and Zoning in the Area:

This is a request for an amendment to the Planned Zoning approved February 26, 2024 (Ordinance 5832).

The Unified Development Code (UDC) requires that a site plan be submitted for Planned zonings illustrating the proposed buildings and lot arrangements.

The applicant has submitted a revised site plan for the proposed development. The changes are significant enough that a revised site plan is required.

County Plan:

The County Plan Development Diagram illustrates this area within the Rural Development Tier (RDT).

Recommendation:

This request for rezoning is consistent with the intent and purpose of the County Plan.

Staff recommends APPROVAL of RP-2024-681.

Respectfully submitted,

Jackson County Public Works Development Division Randy Diehl, Administrator



RP-2024-681 Property Owners Within 1000 feet

parcel 74-100-04-14-00-00-000 74-100-04-14-00-0-00-000 74-100-04-01-01-0-00-000 74-100-04-01-01-00-000 74-100-01-01-00-00-000 74-100-01-10-00-00-000 74-100-04-17-00-0-00-000 74-100-04-17-00-0-0000 74-100-04-17-00-0-0000 74-100-04-16-00-0000 74-100-01-09-00-0000 74-100-01-09-00-0000 74-100-01-09-00-0000 74-100-01-09-00-0000 74-100-01-08-01-2-00-0000 74-100-01-08-01-2-00-0000

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zip

state MO



JACKSON COUNTY Public Works Department

Jackson County Technology Center 303 West Walnut Street Independence, Missouri 64050 jacksongov.org

(816) 881-4530 Fax: (816) 881-4448

July 3, 2024

RE: Public Hearing: RZ-2024-681 Jacob Davis & Heather Schmidtlein

Dear Property Owner:

You are hereby invited to participate in a public hearing to be held by the Jackson County Plan Commission on a request by Jacob Davis for a change of a Planned in District LI-p (Light Industrial-Planned) on 9.43 ± acres for a self-storage facility at 13513 S. Sam Moore Road.

Please note that this request for a change of zoning <u>affects only the property mentioned above</u>. Adjacent properties will not be affected by the change of zoning. Taxes are based on the land use of a property not the zoning.

You are being notified pursuant to 24003.5 Chapter 240 (Unified Development Code) of the Jackson County Code, as being an adjacent property within 1000' of the subject property.

The public hearing on this matter will be held by the Plan Commission on <u>Thursday, July 18, 2024 at</u> 8:30 a.m. in the Large Conference Room, 2nd Floor, Historic Truman Courthouse, 112 W. Lexington, Independence, MO.

If you know of any interested party who may not have received a copy of this letter, it would be appreciated if you would inform them of the time and place of the hearing.

If you have any questions concerning this matter, please contact the Development Division at 881-4577.

Sincerely,

Jackson County Public Works Development Division Randy Diehl, Administrator

JACKSON COUNTY, MISSOURI PLANNED DEVELOPMENT ZONING APPLICATION

APPLICANT INFORMATION:

- Application must be filed with the Jackson County Planning and Development Division, 303 W. Walnut, Independence, Missouri 64050 by the date on the Plan Commission Calendar.
- 2. Application must be typed or printed in a legible manner.
- 3. All applicable sections must be completed. If you need more space to provide information, please use separate 8 1/2"x11" paper, reference the application number and attach it to the application. Incomplete applications will not be accepted and will be returned to the applicant.
- 4. Attach application for subdivision approval, consistent with the requirements of UDC Section 24003.10, as may be required.
- 5. Provide <u>Site Development Plan and supporting documentation</u> as provided in UDC Section 24003.18 paragraph e (See Item 14).
- 6. A <u>signed statement</u> by applicant that applicant understands and agrees that rezoning granted under this section may be revoked should actual use of the property deviate materially <u>if</u> planned development is granted.
- 7. The filing fee (non-refundable) must accompany application. (Check payable to Manager of Finance)
 \$350.00 - Change of Zoning to Residential / Planned Development
 \$500.00 - Change of Zoning to Commercial or Industrial / Planned Development

TO BE COMPLETED BY OFFICE PERSONNEL ONLY:

Rezoning Ca	se Number	RP- 2024-681	
Date Filed		Date of hearing	
Date advertise	ed	Date property owners	notified
Date signs po	sted		
Hearings:	Heard by	Date	Decision
	Heard by	Date	Decision
	Heard by	Date	Decision

BEGIN APPLICATION HERE:

- 1. Data on Applicant(s) and Owner(s)
 - a. Applicant(s) Name: Heather Schmidtlein & Jacob Davis

Address: PO Box 216, Mission, KS 66201

Phone 913 231 6067

b. Owner(s) Name: Jacqueline Ruth Greeson, Trustee, or successor Trustees, of the Greeson Trust dated August 24, 2023

ıd

Boundary Map? No

If so, will any improvements be made to the property which will increase or decrease the elevation? N/A

- 11. Describe the source/method which provides the following services, and what effect the development will have on same:
 - a. Water PWSD 15
 - b. Sewage disposal N/A
 - c. Electricity Evergy
 - d. Fire and Police protection Lone Jack Fire District / Sheriff
- 12. Describe existing road width and condition: Paved
- What effect will proposed development have on existing road and traffic conditions?
 Minimal, similar to prior use
- 14. Are any state, federal, or other public agencies approvals or permits required for the proposed development? <u>No</u> If so, describe giving dates of application and status (include permit numbers and copies of same, if issued): <u>N/A</u>

15. PLANNED ZONING APPLICATION SHALL INCLUDE SITE DEVELOPMENT PLAN:

An accurate, legible site plan, drawn to scale and containing the following information:

- a. the legal description of subject property;
- b. the limits, dimensions, and square footage/acreage of property and the development of property adjacent to the area within three hundred (300) feet;
- c. the topography in intervals no greater than ten (10) feet;
- d. general location and width of all proposed streets and public rights-of-way, such as pedestrian ways and easements.
- e. entrances and exits from streets or indication of the criteria for entrance and exit

Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

Signature		Date	
Property Owner(s)	BAD		06/04/2124
9 201 - 100 - 100 - 10			
Applicant(s):			
-		(a).	
Contract Purchaser(s):			

STATE OF	Missou	(1)				
COUNTY OF	Cass					
On this	4+4	_day of_	June	, in the year of	2024	, before me
the undersigne	ed notary publi	c, persona	ally appeared	BIS		

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal.

Notary Public_

Joyce Marie Burke Commission Expires Sept. 22, 2027

JOYCE MARIE BURKE Notary Public - Notary Seal STATE OF MISSOURI Cass County My Commission Expires: Sep. 22, 2027 Commission # 19718808

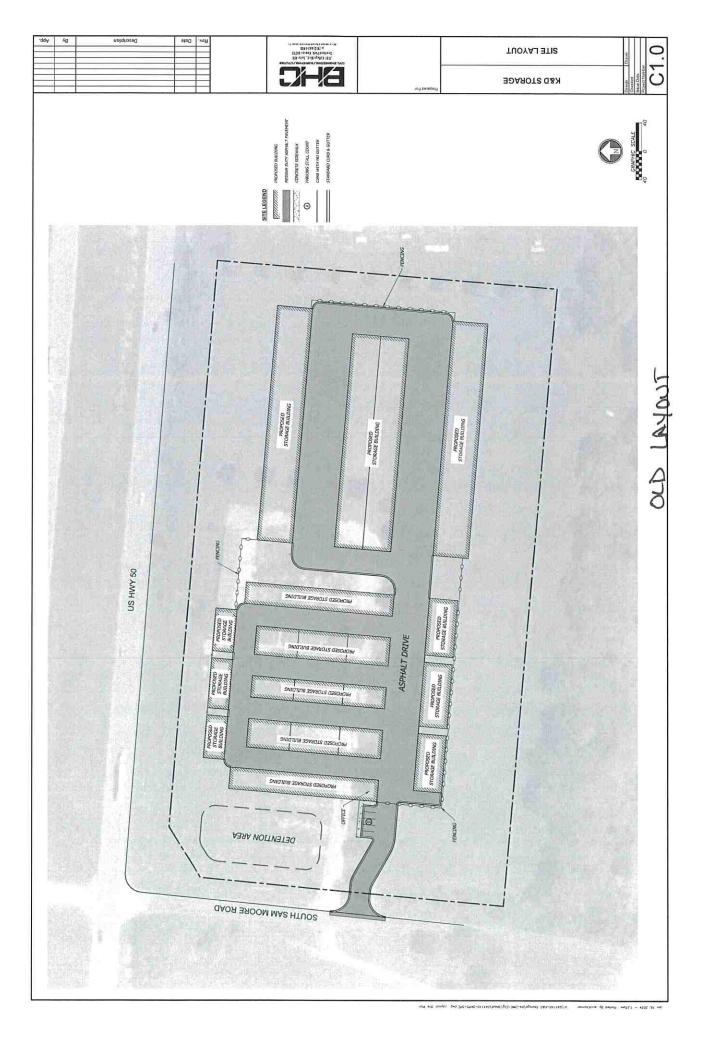
Verification: I (We) hereby certify that all of the foregoing statements contained in any papers and/or plans submitted herewith are true to the best of my (our) knowledge and belief.

known to me to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same for the purposes therein contained. In witness whereof, I hereunto set my hand and official seal.

Commission Expires 9 20 2025 Notary Public

HALEY NUNNINK Notary Public - State of Kansas My Commission Expires 9/20/25





.ddA	By	Date	Rev.	CIVIL ENGINEERING / SURVEYING / UTILITIES VIOI College Blvd., Suite 400 Overland Park, Kansas 66210 p. (913) 663-1900 P. (913) 663-1900 BHC is a trademork of Brungerdi R Company, P.A.	Prepared For: Prepared For: Prepared Davis And Heather Schmidtled Prepared Davis Of Other Schmidt.Com Prepared Davis Of Other Schmidtener Prepared Davis Of Other Schmidtled Prepared Point Prepared For: Prepared For: Pr		Design: IQ Drawn: IQ Checked: ST Checked: ST Issue Date: 04/08/24 Project Number: 04/110 C10
					SITE LEGAD	PROPOSED BUILDING MEDIUM DUTY ASPHALT PAVEMENT CONCRETE SIDEWALK CONCRETE SIDEWALK	
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V:\041110-K&D Storage\04-DWG\Eng\Sheet\041110-SHS-SITE.dwg Layout: Site Plan Jul 10, 2024 - 4:15pm Plotted By: scott.tanner

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

AN ORDINANCE appropriating \$2,500,000.00 from the undesignated fund balance of the 2024 County Improvement Fund, transferring \$2,500,000.00 within the 2024 New Detention Center C/P Fund, and authorizing the County Executive to execute an amendment to the contract with J.E. Dunn-Axiom of Kansas City, MO, for the construction of the new Jackson County Detention Center to cover Component Packages 3 and 4 related to the final design, construction, and furnishing costs of the new Detention Center Project, at a cost to the County not to exceed \$19,698,551.00.

ORDINANCE NO. 5875, August 12, 2024

INTRODUCED BY Jeanie Lauer, County Legislator

WHEREAS, by Ordinance No. 5621, dated April 25, 2022, the Legislature did award a contract for the construction of the new Jackson County Detention Center to J.E. Dunn-Axiom of Kansas City (Jackson County), MO pursuant to the terms and conditions of Request for Proposals No. 7-22; and,

WHEREAS, by Ordinance No. 5732, dated April 17, 2023, the Legislature did authorize the issuance of special obligation bonds for the funding of the new Jackson County Detention Center; and,

WHEREAS, by Ordinance No. 5743, dated May 9, 2023, the Legislature did authorize Component Package 2 (Site Demolition, Site Development, and Earthwork), and Component Package 2a (Engineering, Detailing, Mockups, and Early Procurement) to begin construction of the new Detention Center; and,

WHEREAS, by Resolution No. 21512, dated January 22, 2024, the Legislature did authorize Component Packages 2B and 2C related to the furnishing of services, labor and materials for the footing, foundation, and structural portions of the Detention Center Project; and,

WHEREAS, it is now appropriate to approve Component Packages 3 and 4 related to the final design, construction, and furnishing costs; and,

WHEREAS, an appropriation and transfer are necessary to place the funds required to implement this Ordinance in the proper spending accounts; now therefore,

BE IT ORDAINED by the County Legislature of Jackson County MO, that the following transfers and appropriation be and hereby are made:

DEPARTMENT/DIVISON	CHARACTER/DESCRIPTION	<u>FROM</u>	<u>T0</u>

County Improvement			
Fund			
013-9999	32810-		
	Undesignated Fund Balance	\$2,500,000	
Operating Transfers	-		
013-9999	56105-		
	Operating Transfers Out		\$2,500,000
New Detention Center			
C/P Fund			
024-9999	47070-		
	Inter Fund Transfer	\$2,500,000	
024-9999	32810-		
	Undesignated Fund Balance		\$2,500,000
024-9999	32810-		
	Undesignated Fund Balance	\$2,500,000	
Fac Mgmt – New			
Detention Center			
024-1214	58020-		
	Buildings & Improvements		\$2,500,000
	5 1		, -,

and,

BE IT FURTHER ORDAINED that the County Executive be and hereby is authorized to execute an amendment to the contract with J.E. Dunn-Axiom of Kansas City, MO for the New Detention Center project as described in this Ordinance, in forms approved by the County Counselor; and,

BE IT FURTHER ORDAINED that the Director of Finance and Purchasing is authorized to make all payments, including final payment on the contracts, to the extent that appropriated funds are available for this purpose. Effective Date: This ordinance shall be effective immediately upon its signature by the County Executive.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

I hereby certify that the attached ordinance, Ordinance No. 5875 introduced on August 12, 2024, was duly passed on______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

This Ordinance is hereby transmitted to the County Executive for his signature.

Date

Mary Jo Spino, Clerk of Legislature

I hereby approve the attached Ordinance No. 5875.

Date

Frank White, Jr., County Executive

Funds sufficient for this appropriation and transfer are available from the source indicated below.

ACCOUNT NUMBER:	013 9999 32810
ACCOUNT TITLE:	County Improvement Fund
	Undesignated Fund Balance
NOT TO EXCEED:	\$2,500,000.00

There is a balance otherwise unencumbered to the credit of the appropriation to which the expenditure is chargeable and there is a cash balance otherwise unencumbered in the treasury to the credit of the fund from which payment is to be made each sufficient to provide for the obligation herein authorized.

ACCOUNT NUMBER: ACCOUNT TITLE:	024 1214 58020 New Detention Center C/P Fund Fac Management – New Detention Center Building & Improvements
NOT TO EXCEED:	\$5,647,858.00
ACCOUNT NUMBER: ACCOUNT TITLE:	013 1214 58150 County Improvement Fund Fac Management – New Detention Center Office Furniture & Fixtures
NOT TO EXCEED:	\$5,128,093.00
ACCOUNT NUMBER: ACCOUNT TITLE:	013 1214 58171 County Improvement Fund Fac Management – New Detention Center Personal Computers/Accessories
NOT TO EXCEED:	\$8,922,600.00

08/08/2024

son (Aug 8, 2024 12:10 CDT) Svlvva

Date

Chief Administrative Officer



Request for Legislative Action

File #: 24-171, Version: 0

REQUESTED MEETING DATE: 8/12/2024

SPONSORS:

Jeanie Lauer

Ordinance No. 5875 Sponsor: Jeanie Lauer Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Troy Schulte PHONE: 816-881-1079

EMAIL: tschulte@jacksongov.org

DEPARTMENT: County Executive

TITLE: Authorizing the County Executive to amend an existing agreement with JE Dunn + Axiom for Components 3 and 4 in the amount of \$19,698,551 in reference to the Jackson County Detention Center for total final design, construction, and furnishing costs of \$315,317,443.00; transferring and appropriating \$2,500,000 from the County Improvement and authorizing expenditures of \$14,050,693 from previously appropriated County Improvement Funds.

SUMMARY: This ordinance authorizes the County Executive to sign two additional Component Contract Modifications to complete the Jackson County Detention Center at 7000 E. 40 HWY. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% construction documents. Component Package 3 will allow JE Dunn to begin the interior, miscellaneous specialty work which includes but is not limited to dry walling, roofing, flooring, tiling, painting, landscape, and installation of commercial doors, frames, and hardware. A total of \$2.5 million is appropriated from the

File #: 24-171, Version: 0

undesignated fund balance of the County Improvement Fund and transferred to the New Detention Center Project Fund (No. 024) to fully fund the guaranteed maximum price of \$301,266,750. Available County Improvement Funds will replace ARPA funds that were originally anticipated for the court's component of the project. Component Package 4 will amend the contract with JE Dunn + Axiom to purchase significant furniture, fixtures, equipment, and technology items for the building. This is an additional cost of \$14,050,693 above the original and final guaranteed maximum price for design and construction of the project. The funds for furniture, fixtures and technology were previously budgeted in the 2024 Budget. These items include but are not limited to medical and dental equipment, ADA walk- through metal detector, package scanners, office furniture, inmate mattresses, and storage shelving. Inclusion of the furniture, fixtures, equipment, and technology will allow the project to accelerate its final completion date. In addition, minority and women participation goals currently in existence on the construction component of the project will be extended to the furnishing component of the project. There are additional FFE items that will be procured by the County's Purchasing Division to control costs and utilize a variety of existing and potential vendors and consultants, while following applicable County Codes. As soon as approvals are made by the Legislature the schedule for Components 3 and 4 will commence and allowing for substantial completion of the project by the end of December 2025.

FINANCIAL IMPACT:

$NO \square$

Amount	Fund	Department	Line-Item Detail
\$2,500,000	013	9999	32810
\$2,500,000	013	9999	56105
\$2,500,000	024	9999	47070
\$2,500,000	024	1214	58020
\$5,128,093	013	1214	58150
\$8,922,600	013	1214	58171
YES 🛛	-	•	-

ACTION NEEDED: AUTHORIZE

ATTACHMENTS:

Click or tap here to enter text.

Fiscal Note:

Funds sufficient for this appropriation are available from the source indicated below.

Date:	August 6, 2024			ORD # eRLA ID #:	5875 24-171
013	County Improvement Fund				
	Cost Center	Spend Category	Program/Grant/Project	From	То
9999		32810 Undesignated Fund Balance		\$ 2,500,000	\$-
9100	Operating Transfers	56105 Operating Transfers Out			2,500,000
024	New Detention Center C/P Fund				
	Cost Center	Spend Category	Program/Grant/Project	From	То
9999		47070 Inter Fund Transfers		\$ 2,500,000	\$-
9999		32810 Undesignated Fund Balance			2,500,000
9999	-	32810 Undesignated Fund Balance		\$ 2,500,000	\$-
1214	Facilities Management -New Detention Center	58020 Buildings & Improvements			2,500,000
				\$ 7,500,000	\$ 7,500,000
	PC#	Fiscal Note: This expenditure was included in	the Annual Budget		
024	New Detention Center C/P Fund				
	Cost Center	Spend Category	Program/Grant/Project		Not to Exceed
1214	Facilities Management -New Detention Center	58020 Buildings & Improvements			\$ 5,647,858
013	County Improvement Fund				
	Cost Center	Spend Category	Program/Grant/Project		То
1214	Facilities Management -New Detention Center	58150 Office Furniture & Fixtures			5,128,093
1214	Facilities Management -New Detention Center	58171 Personal Computers/Accessories			8,922,600
	PROVED avid Moyer at 11:05 am, Aug 07, 2024			=	\$ 19,698,551

Budget Office

Form of Component Contract Modification

DESIGN BUILD AGREEMENT PROPOSED COMPONENT CONTRACT MODIFICATION NO. 3 PROJECT NO. 70-22

TO: Jackson County, Missouri

This proposed Component Contract Modification is submitted pursuant to Sections 1.1.6, 3.2.2 and 4.1of the Design/Build Agreement dated May 19, 2022, the terms of which are incorporated by reference.

Having carefully examined the Construction Documents prepared by the Design Professional and approved by Owner on March 25th, 2024, as well as the Site and conditions affecting the Work, the undersigned submits this proposed Component Contract Modification to furnish all service, labor and materials called for by the Design Development Documents for the entire Work of Component Package 3 in accordance with the aforesaid Construction Documents and the Design/Build Agreement.

Description of Modification

The Contract Modification sum is \$ 5,647,858.

The Contract Modification Sum is comprised of the following amounts:

1.	Construction Sum due Trade Contractor or Trade Supplier	S	5,392,440
2.	Design Builder's Estimated Cost for Work or Material Supplied by Design Builder	S	255,418
3.	Design Builder's Contingency	\$	0
4.	Design Builder's Fee	\$	0

The Component Package 3 Budget is attached as <u>Attachment A</u>.

The Master Schedule is included in <u>Attachment A</u> as <u>Exhibit 4</u>.

The undersigned guarantees the final completion of the Work above on or before the Final Completion Date which is <u>February 12th</u>, 2026.

The undersigned agrees that this proposed Component Contract Modification, together with Owner's Notice of Acceptance, is the Design/Builder's proposed amendment to the Design/Build Agreement for the performance by the Design/Builder of the proposed Work for the above-stated compensation in accordance with the Master Schedule and within the time specified in accordance with the Contract Documents and shall constitute an amendment to the Design/Build Agreement by Contract Modification, if approved and agreed upon by the Owner. The Work defined in this Component Package is a subset of the Work set forth in the Guaranteed Maximum Price Proposal for the Project dated March 14, 2023 (the "GMP Proposal"). Component Package 3 Contract Modifications are to be incorporated into the overall GMP.

DATED: July 23rd, 2024

J.E. Dunn – Axiom, A Joint Venture Design/Builder

entin By:

Name: Jeff Jenkins

Title: Vice President

RECOMMENDED FOR OWNER'S ACCEPTANCE:

OWNER'S REPRESENTATIVE

Ву: _____

County Executive (Signature)

County Counselor (*Signature*)

(Printed Name)

(Printed Name)

Clerk of the County Legislature (Signature)

(Printed Name)

Exhibit 1.1.4-B

Form of Notice of Acceptance of Component Contract Modification No.

for

PROJECT NO. 70-21

TO:

(Design Builder)

Notice is hereby given to Design/Builder that the Owner hereby ACCEPTS the foregoing Component Contract Modification submitted to Owner on ______, 20_____

DATED:_____, 20____

JACKSON COUNTY, MISSOURI

BY:

Name: _____

Owner

June 28th, 2024

Mr. Troy Schulte Jackson County, Missouri 415 E 12th Street Kansas City, MO 64106

Re: Jackson County Detention Center Guaranteed Maximum Price (GMP) – Component Packages 3

Dear Troy,

Please see attached updated GMP Proposal. Items that have been added/changed are the Ex. 1, Ex. 2, Ex. 3, Ex.4, Ex. 6, Ex. 7, and Ex. 8. The Ex. 7 Clarifications include green highlights for inclusions that have been added or revised. We are pleased to update Jackson County on the current GMP status at the Component Package 3 milestone that includes 100% Construction Documents and has allowed the Design-Build Team to buy out over 100% of the job. In addition, due to the hard work of Jackson County, JCDC Partners and our team we can confirm the project's GMP of \$301,162,067 (Three Hundred and One Million, One Hundred Sixty-Two Thousand, Sixty-Seven Dollars) is intact, see attached Exhibit 1 – GMP for Component packages 3 for a line-by-line accounting of the current GMP status.

JE DUNN • AXIOM • DLR GROUP

ttachmen

The following supporting documents have been reviewed by JCDC, the Owner's Representative, and are attached for your approval.

- Exhibit 1 (3.2.2.4.3.2) GMP for Component Packages 1, 2A, 2B, 2C, 3 (1 Page)
- Exhibit 2 Owner Contingency Log (1 page)
- Exhibit 3 List of Drawings/Contract Documents (23 pages)
- Exhibit 4 (3.2.2.4.3.1) Master Schedule (23 pages)
- Exhibit 5 Sequence Map (1 page)
- Exhibit 6 Logistics Plan (1 page)
- Exhibit 7 GMP Clarifications (9 pages)
- Exhibit 8 (3.2.2.4.6) Contractor Utilization Plan/MWBE Strategy (1 pages)
- Exhibit 9 JCDC Systems Matrix (5 pages)

In order to hold trade partner (subcontractor) pricing reflected in this GMP proposal, Jackson County approval is needed no later than August 30th, 2024.

Upon receiving written approval of this Component Package Contract Modification proposal JE Dunn + Axiom will forward the Form of Component Contract Modification for execution and begin issuing subcontracts to our trade partners.

Sincerely,

Jeff Jenkins Project Director, JE Dunn + Axiom Cc: Job/File

Jackson County, Missouri

JCDC Partners LLC

Approved: _____ Date___

Recommended:

Date



Jackson County Detention Center June 28, 2024

ouno 20,						
Exhibit 1	- CP3	GMP	Update			

Scope	Trade Partner	# of Bids	GMP	CP 1 and 2A Funding	Component Package 2B/2C - GMP	CP 2B/2C Funding	Component Package 3 - GMP	Over/(Under)	CP 3 Fun
eneral Conditions			\$ 10,275,030	\$ 4,878,905	\$ 10,275,030	\$ 5,396,125	\$ 10,275,030	\$ -	\$
ost of Work			\$ 2,540,002		\$ 2,540,002	\$ 2,540,002	\$ 2,795,420	\$ 255,418	\$ 25
Design Fees	DLR Group		\$ 17,570,187	\$ 13,581,596	\$ 17,654,187	\$ 4,072,591	\$ 17,658,808	\$ 4,621	\$
02 - Mass Excavation	Kissick Construction	5	\$ 10,118,488	\$ 10,118,488	\$ 10,668,488	\$ 550,000	\$ 10,841,365	\$ 172,877	\$ 17
Structures Package	JED SP	3	\$ 39,753,334		\$ 39,878,334	\$ 39,878,334	\$ 41,832,538	1,954,204	\$ 1,954
03M Precast Materials-Structure	Enterprise Precast	2	\$ 17,674,402	\$ 17,674,402	\$ 19,414,105	\$ 1,739,703	\$ 19,442,934	28,829	\$ 28
05 - Structural Steel	Kansas City Structural Steel	3	\$ 3,917,686	+,	\$ 2,782,099	\$ 2,782,099	\$ 2,782,099	\$ -	\$
D6E - General Capentry Install	IBC	3	\$ 2,182,714		\$ 1,813,021	\$ 1,813,021	\$ 1,960,207	\$ 147,186	\$ 147
D6E - Finished Carpentry Supply	RCS Millwork	3	\$ 1,541,705		\$ 1,541,705	\$ -	\$ 1,482,843	\$ (58,862)	\$
07G - Membrane Roofing	Flynn Midwest	3	\$ 8,777,313	\$ 5,955,715	\$ 8,777,313	\$ 2,821,598	\$ 8,889,293	\$ 111,980	\$ 111
07E - Metal Wall and Roof Panels	Standard Sheet Metal	3	\$ 634,720	+	\$ 688,249	\$ 688,249	\$ 688,249	\$,-	Ś
071 - Joint Sealants/Rated Sealants	Flynn Midwest	3	\$ 1,877,000		\$ 1,714,150	\$ 1,714,150	\$ 1,632,900	\$ (81,250)	\$ (81
071 - Penetration Firestopping	Flynn Midwest	3	\$ 1,876,160		\$ 652,540	\$ 652,540	\$ 608,740	\$ (43,800)	\$ (43
07H - Spray Applied Fireproofing	K Building	2	\$ 318,000		\$ 483,899	\$ 483,899	\$ 592,689	\$ 108,790	\$ 108
08C - Commerical Doors, Frames and Hardware Supply	, and the second s	3	\$ 2,605,700		\$ 2,712,000	\$ 2,712,000	\$ 2,712,000	\$ 106,750	\$ 100
	Design Supply	3			\$ 2,712,000	\$ 2,712,000	\$ 2,712,000 \$ 228,496	\$ (25,000)	\$ \$ (25
08 - Coiling Doors 08G - Glass and Glazing (Includes Interior Borrowed Lites)	Acme Dock AGP	2	\$ 253,496 \$ 1,634,169		\$ 253,496 \$ 1,544,678	\$ 253,496 \$ 1,544,678	\$ 228,496 \$ 1,602,918	\$ (25,000) \$ 58,240	\$ (25 \$ 58
090 - Tile	Metro Tile	2	\$ 365,057	\$ 357,198	\$ 1,544,678 \$ 365,057	\$ 1,544,678 \$ 7,859	\$ 1,802,918 \$ 365,057	\$ 56,240 \$ -	\$ 50 \$
09A - Drywall (Includes Expansion Joint Covers)	E&K	3	\$ 5,338,479	\$ 557,198	\$ 5,604,240	\$ 5,604,240	\$ 5,608,069	\$ 3,829	\$ \$3
09H - Flooring	Regents Flooring	2	\$ 1.171.251		\$ 5,604,240 \$ 1,171,251	\$ 5,004,240	\$ 5,608,069 \$ 846.447	\$ 3,829 \$ (324,804)	\$ 846
1994 - Flooring 1991 - Resinous/Special Coatings	Musselman and Hall	3	\$ 1,199,160		\$ 1,171,251 \$ 665.345	\$ 665,345	\$ 846,447 \$ 674.682	\$ (324,804) \$ 9,337	\$ 846 \$ 9
098 - Painting and Floor Sealer	MVP	3	\$ 2,291,460		\$ 2,313,300	\$ 2,313,300	\$ 2,129,510	\$ (183,790)	\$ (183
Operable Partitions	Facility Specialties	3	\$ 95,846		\$ 2,313,300	\$ -	\$ 76,652	\$ (19,194)	\$ 76
Divs 10	Design Supply	5	\$ 1.239.809		\$ 1,239,809	- د د	\$ 942.074	\$ (297,735)	\$ 942
11K - Commercial Laundry Equip.		2	\$ 281,722		\$ 1,239,809 \$ 295,808	\$ - \$ 295,808	\$ 942,074 \$ 313,413	\$ (297,735) \$ 17,605	\$ 942 \$ 17
· · · ·	Loomis Acme Dock	2	\$ 404,213		\$ 295,808 \$ 274,189	\$ 295,808 \$ 274,189	\$ 313,413 \$ 249,189	\$ (25,000)	\$ (25
11 - Misc Equip- Folding Hyd Det Doors 11 - Athletic Equip	JED SP	2	\$ 404,213		\$ 225,467		\$ 225,467	\$ (25,000) \$ -	\$ 225
11 - Adhencequip 11B - Detention Equipment	CML Security	2	\$ 18,102,550	\$ 2,860,000	\$ 17,137,050	\$ 14,277,050	\$ 16,356,756	\$ (780,294)	\$ (780
	TriMark	1	\$ 2,440,990	\$ 2,800,000	\$ 2,440,990			\$ (760,294)	\$ (780
11C - Food Service Equipment		1				\$ 2,440,990	\$ 2,440,990	\$ - (co pool)	\$ \$
12 - Furnishings & Misc Seating	RCS/IBC - Amount Included in 06		\$ 68,299		\$ 68,299 \$ 88,569	\$ -	\$ - \$ 88.569	\$ (68,299)	\$ (68)
12C - Roller Window Shades	TBD	3	\$ 88,569		Ş 00,505	\$ -	ç 66,565	ş -	\$ 88
11I - Modular Cells Materials	Cornerstone/Axiom JV	3	\$ 17,694,644	\$ 9,525,000	\$ 17,551,867	\$ 8,026,867	\$ 19,403,624	\$ 1,851,757	\$ 1,851,
14A - Elevators	Otis Elevators	4	\$ 298,500		\$ 318,700	\$ 318,700	\$ 354,400	\$ 35,700	\$ 35,
Fire Protection	American Fire	4	\$ 3,103,997	\$ 3,097,297	\$ 3,456,140	\$ 358,843	\$ 3,456,140	ş -	\$
HVAC - Plumbing	US Engineering	2	\$ 49,133,598	\$ 11,514,962	\$ 48,677,982	\$ 37,163,020	\$ 48,747,790	\$ 69,808	\$ 69,
Electrical	Mark One Electric	4	\$ 25,656,074	\$ 9,379,438	\$ 26,632,071	\$ 17,252,633	\$ 28,135,932	\$ 1,503,861	\$ 1,503,
28A - Security Electronics 'SEC'	Cornerstone Detention	4	\$ 13,766,050	\$ 2,400,000	\$ 14,316,050	\$ 11,916,050	\$ 14,955,469	\$ 639,419	\$ 639
32A - Asphalt	Superior Bowen	4	\$ 1,690,448		\$ 1,690,448	\$ 1,690,448	\$ 1,453,510	\$ (236,938)	\$ (236
Jnit Paving	Not applicable	N/A	\$ 47,178		\$ 47,178	\$ -	\$ -	\$ (47,178)	Ş
32H - Fence	Collins and Herman	2	\$ 452,000		\$ 452,000	\$ -	\$ 677,750	225,750	\$ 677
32G - Landscape/Irrigation	Blue Cedar	3	\$ 717,734		\$ 717,734	\$ -	\$ 741,340	23,606	\$ 741
33A - Site Utilities	Kissick Construction	5	\$ 2,588,877		\$ 2,516,104	\$ 2,516,104	\$ 2,485,522	\$ (30,582)	\$ (30
ermits, Bonds, and Insurance			\$ 13,490,493	\$ 8,090,899	\$ 13,490,493	\$ 5,399,594	\$ 13,490,493	\$ -	Ş
Owner Contigency			\$ 1,024,883		\$ 5,048	\$ 5,048	\$ -	\$ (5,048)	\$ 1,546
General Contractor Contingency		ļ	\$ 3,225,662		\$ 4,502,785	\$ 4,502,785	\$ 4,441,709	\$ (61,076)	\$ (61
Design Contingency			\$ 2,663,901		\$ 2,663,901		\$ -	\$ (2,663,901)	\$ (2,663
scalation Allowance		↓	\$ 2,270,066		\$ 2,270,066	\$ 2,270,066	ş -	\$ (2,270,066)	\$ (2,270
Fee		ļ	\$ 6,474,984	\$ 2,084,079	\$ 6,474,984	\$ 4,390,905	\$ 6,474,984	\$ -	\$
	TOTAL BASE PROJECT	Rid with CD 2	\$ 301,162,067	\$ 101,517,979	\$ 301,162,067	\$ 193,996,230	\$ 301,162,067	\$ 0	5,647
		Bid with CP 3		1		1		1	I

	E	xhi	bi	t 2			
	Jackson County Detention Center ntingency Summary		L L	نىد	1		
	Description	Design/Owne r Contingency		Amount	Due Date	Y/N	Comments
1	Potential Change Items Recreation Yards - Insect Screening SS Wire Cloth	Owner	S	463,000		N	Not desired by client due to costs.
2	Recreation Yards - 2" square to 1" square	Owner	\$	120,000		N	Per JCDC/JCMO. 07.01.2024
3	Added Duress Buttons - 95% Comments	Owner	S	12,150		Y	Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum and fina price be reconciled with that Addendum.
4	Audio Recording at Cameras	Owner	s	642,600		TBD	JCMO/JCDC confirming intent. Once confirmed JED will price accordingly. Cost prohibitive depending on Scope.
5 6	Additional WiFi Coverage Added Cameras at Cash Transasctions	Owner	\$ \$	360,000 12,750		TBD	Will be priced within Addendum No .05 Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.
7 8	Added Inmate Phones Release Door changed to DEC Doors	Owner Owner	\$ \$	25,000 2,500		TBD Y	JCDC/JCMO have given direction to modify the sallyport and door loactions in lieu of storefront going to DEC door. Will be priced within Addendum No. 05.
ð	CATV Additions - 95% Comments	Owner	TBD			Y	CAUTC comments from JCDC/JCMO being reviewed in conjunction with Addendum No. 05. Previous Rough Order of Magnitude locations he changed since the 95% comments.
10	Card Readers at Existing Doors	Owner	s	11,000		TBD	Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.
11 12	Carpet in SP401 27" Camera Video Viewing Stations at Work Stations	Owner Owner	\$ \$	5,000 35,000		N	Did not get added in Addendum No .05 CCTV Video Viewing station revisions being
13	Media Outlet in Attorney Rooms	Owner	-			Y Y	reviewed in addition to Addendum No. 05. Per JCDC/JCMO 07.01.2024, will have Design
14	Video Viewing Stations in Admin Deduct	Owner				N	Team include in forthcoming Addendum. Awaiating direction from JCDC/JCMO to- reconcile doductive costs. This would be to remo- video viewing stations from offices located at Admin 2nd Floor. Line item should be ignored due to line item 17 and comments received from JCDC/JCMO.
16	CATV and HDMI Changes 6/20/24	Owner				TBD	
17	Video View Station Changes 6/20/2024	Owner				Y	(-20) CCTV Workstations, 11 for sure changed t 27" monitors in lieu of 42. Awaiting final confirmation from JCDC Partners on revisions
18 19 20	Addendum No. 05 Guardian Inmate Storage System and Room Expander 5	Owner/Design FFE	\$	35,000	In Design		Requested by JCMO, need to confirm infra as the property system is 208V
21	TOTAL Potential Owner (Approve	d) Change Item		72 400			
	TOTAL Potential Owner Approved TOTAL Potential Desi TOTAL Potential			73,400			
	101AL Potent	ial Change Item	s S	1,101,000			
	Approved Design Contingency Items						
1 2	Kissick - Balance of Environmental Oversight T+M CP 2B/2C Design Contingency Adjustment	Design Design	\$	39,939 1,731,535		Y Y	Per 12.07 email on reconciliation of EXT-001 Design Contingency credit to Owner Contingence
3	Parking Gate Adjustments/Loop Detectors	Design	\$	82,146	In Design	Y	Added gate arm for Fire Truck Access design
4	Various Camera/SEC Adjustments: Cameras, DEC/SEC design adjustments, etc. (Additional Intercoms, Electric Locks, Call Buttons, and Added DEC/Commercial Doors)	Design	\$	256,232	In Design	Y	Cost includes adjustments for approx. 30 additional intercoms, 35 electric locks, 3 durress buttons and 2 call buttons.
5	HSS Framing at Rec Yards	Design	s	154,875	In Design	Y	Additional Beams needed for Expanded Mesh spans and structural design. Cost includes 26 added pieces and approximately 34,000 pounds of weight.
6 7	Additional Cameras - Design Evolution	Design	\$ s	96,157	In Design	Y	
8	Handrail at Officer Station Verical Insulation at Parapets	Design Design	\$ \$	50,563 111,980	In Design In Design	Y Y	Adding mechanically fastened vertical insulation
9	Added PC Column in Secure Storage	Design	s \$	10,721	In Design	Y	Reconciled via 100% CDs
10	Seismic Requirement for EV 2	Design	\$	35,700	In Design	Y	Reconciled via 100% CDs
11	Addendum No. 04 - Structural Steel Revisions/Added Trench Drain	Design	\$	64,715	In Design	Y	Reconciled via 100% CDs.
12	Landscaping Adjustments	Design	\$	29,338	In Design	Y	Reconciled via 100% CDs. Adjusted drill seed to hydroseed at slopes, miscellaneous counts adjust for plantings at signage.
	TOTAL APPROVED Design C	ontingency Item	s S	2,663,901			
		sign Contingency	y \$	-			
1	Approved Owner Contingency Items	0	e	25.000		V	
1 2		Owner Owner	\$ \$ \$	35,000 550,000 140,000		Y Y Y	machines, new floor drains, increased HVAC Equipment to handle increased load and associate
	Approved Owner Contingency Items EV Charging Stations - (4) Charging Stations - Infrastructure Only Kissick T+M NTE for Additional Fill Ice Machines	Owner	\$	550,000 140,000		Y	Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associate power. Does not include BMS integration
2 3 4	Approved Owner Contingency Items EV Charging Stations - (4) Charging Stations - Infrastructure Only Kissick T+M NTE for Additional Fill			550,000		Y	Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associat power. Does not include BMS integration Proceeding with changing in design, JED will follow-up with cost adjustments. Design has been modified for sallyports off the
2	Approved Owner Contingency Items EV Charging Stations - (4) Charging Stations - Infrastructure Only Kissick T+M NTE for Additional Fill Ice Machines CERT Storage - CMU Partitions/Detention Doors	Owner	S S	550,000 140,000 35,000		Y Y Y	Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associat power. Does not include BMS integration Proceeding with changing in design, JED will follow-up with cost adjustments.

Owner \$

50,000

8 Additional Office at Lobby

Y Approved on 11.15 per Dan W. Email

	Description	Design/Owne r Contingency		Amount	Due Date	Y/N	Comments
9	Courts Readjustments - SD and DD Phase	Owner	\$	40,000		Y	Approved on 11.15 per Dan W. Email
10	Core Ready Mix - Prevailing Wage	Owner	S	127,748		Ν	Removed on 03.21 per recent County correspondence and has been absorbed in the
10	CP 2B/2C - Design Contingency Adjustment	Owner	s	(1,731,535)		Y	GMP.
13	Lobby Atrium - Glass Hand Rail Options	Owner	s	74,040	2.09.24	Y	AGP provided (2) options for increasing the glass railing height to 72". \$74,040 is most expensive option that involves a livers bronze mirage with glass railing system. Requires structural embeds.
14	Infared Heaters at Loading Dock	Owner	\$	79,998	In Design	Y	
15	Snowmelt System Deduct (Transporation Yard)	Owner	\$	(120,430)	2.09.24	Y	Need Mark One's pricing for power, currently providing a plug ROM estimate for the IR Heaters at the dock.
16	License Plate Readers and Added Cameras	Owner	\$	39,857	In Design	Y	Costs for (3) license plate readers.
17	Various Camera/SEC Adjustments: Video Viewing Stations in lieu of TSC Stations	Owner	\$	11,712	In Design	Y	Cost to include video viewing stations at locations TSC stations moved.
18	Evergy Primary Service - Option #2 (OH Option)	Owner	\$	122,700	2.16.24	Y	reference email on 02.08 for pricing breakdown
19	Concrete Batch Plant - Building - Prevailing Wage	Owner	\$	800,000	04.09.2024	Y	
20	Admin Wall Height Screening	Owner	\$	18,108	In Design	Y	Raising Precast at front of Admin 3.5' to screen front equipment
21	Added Sign for Detention Center	Owner	\$	16,374	In Design	Y	Added 50 SF sign for Detention Center Building
22	Deduct for all Dayroom Carpets		\$	(72,836)		Y	
23	Deduct all Carpet at stair treads, risers, and nosings from Officer Workstations		\$	(10,206)		Y	
	Remaining Own	ner Contingency	s	599,967			
	General Construction Contingency Items	ler contingency	"	377,707			
1	CP 2B/2C - General Contractor Contingency Adjustment		\$	(1,216,047)		Y	
24	Miscellaneous 95%/100% Adjustments - Master Clock Infrastructure	Owner	\$	148,559	In Design	Y	Includes 142 additional CAT 6 Cables and
25	Miscellaneous 95%/100% Adjustments - Printer/Floor Box Communications Cabling/Infrastruture from FFE Meetings	Owner - CP4	S	633,332	In Design	Y	Includes 556 additional CAT 6 Cables and associated jacks/patch panels along with added floor boxes in the nulti-purpose/class room areas of the dayrooms and the 2nd level of the Admin building. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology pacakge and will be reconciled upon the approval of that package.
26	Miscellaneous 95%/100% Adjustments - Added Floor Boxes in Multi-Purpose and Admin	Owner - CP4	S	121,917	In Design	Y	Added floor boxes for flexible FFE/Classroom Environments in Multi-purpose, classrooms, and training rooms. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package.
L							
	Remaining Construct	ion Contingency	\$	3,537,902			



Exhibit A – Documents Incorporated by Reference

JACKSON COUNTY DETENTION CENTER FACILITY 7000 E. US HIGHWAY 40 KANSAS CITY, MISSOURI 64129

Project No. 22026200

Subcontractor/Supplier acknowledges that a .pdf copy of the Prime Contract and other documents listed below are available for review and copying through the Project Website established for this Project at the following path: Project-22026200-Jackson County Detention Center Replacement Jail – Shared Documents - Construction Documents – Contract Documents.

- 1. Prime Contract dated <u>May 19, 2022</u>, including any General and Supplementary Conditions, and all exhibits and amendments thereto. Contractor is referred to as Design/Builder in the Prime Contract.
- 2. Contractor's Front End Documents dated October 11th, 2023.
- 3. Project documents, prepared by DLR Group dated <u>October 10, 2023</u>, including specification sections, in addition to drawings prepared by DLR Group as follows:

Sheet Number and Title	Date	Drawing Set	
Jackson County Detention Center			
G0.1 - Cover Sheet - Footing, Foundation, Building Under-Slab & Site Utilities	03.25.2024	Construction Drawings	
G1 - Cover Seet - Volume 1 of 2	03.25.2024	Construction Drawings	
G1.1 - General Notes and Abbreviations	03.25.2024	Construction Drawings	
CP0.1 - Building Use Analysis	03.25.2024	Construction Drawings	
CP0.2 - Occupancy Group Diagrams and Building Limitations	03.25.2024	Construction Drawings	
CP0.3 – Engineered Smoke Control System Zone Diagrams	03.25.2024	Construction Drawings	
CP0.4 – Code Separation Requirements	03.25.2024	Construction Drawings	
CP1.1.1 - Level 1 - Areas 1, 2, 5 & 6 - Code Plan	03.25.2024	Construction Drawings	
CP1.1.2 - Level 1 - Areas 3, 4, 7, 8, 11 & 12 - Code Plan	03.25.2024	Construction Drawings	
CP 1.1.3 - Level 1 - Areas 9, 10, 13, 14 & 15 - Code Plan	03.25.2024	Construction Drawings	
CP1.1T.1 - Level 1 Upper Tier - Areas 1, 2, 5 & 6 - Code Plan	03.25.2024	Construction Drawings	
CP1.1T.2 - Level 1 Upper Tier - Areas 3, 4, 7, 8, 11 &12 - Code Plan	03.25.2024	Construction Drawings	
CP1.1T.3 - Level 1 Upper Tier - Areas 9, 10, 13, 14 & 15 - Code Plan	03.25.2024	Construction Drawings	
CP1.2.1 - Level 2 - Areas 2 & 3 - Code Plan	03.25.2024	Construction Drawings	
CP2.2 – Fireproofing Requirements	03.25.2024	Construction Drawings	
CD1.01 Overall Site Demolition Plan	03.25.2024	Construction Drawings	
CD1.02 Enlarged Site Demolition Plan 1	03.25.2024	Construction Drawings	
CD1.03 Enlarged Site Demolition Plan 2	03.25.2024	Construction Drawings	
CD1.04 Enlarged Site Demolition Plan 3	03.25.2024	Construction Drawings	
CD1.05 Enlarged Site Demolition Plan 4	03.25.2024	Construction Drawings	
CD1.06 Enlarged Site Demolition Plan 5	03.25.2024	Construction Drawings	
CD1.07 Enlarged Site Demolition Plan 6	03.25.2024	Construction Drawings	
CD1.08 Enlarged Site Demolition Plan 7	03.25.2024	Construction Drawings	
CD1.09 Enlarged Site Demolition Plan 8	03.25.2024	Construction Drawings	

CD1.10 Enlarged Site Demolition Plan 9
CD1.11 Enlarged Site Demolition Plan 10
CD1.12 Enlarged Site Demolition Plan 11
CD1.13 Enlarged Site Demolition Plan 12
C1.01 Overall Site Layout Plan
C1.02 Enlarged Site Layout Plan 1
C1.03 Enlarged Site Layout Plan 2
C1.04 Enlarged Site Layout Plan 3
C1.05 Enlarged Site Layout Plan 4
C1.06 Enlarged Site Layout Plan 5
C1.07 Enlarged Site Layout Plan 6
C1.08 Enlarged Site Layout Plan 7
C1.09 Enlarged Site Layout Plan 8
C1.10 Enlarged Site Layout Plan 9
C1.11 Enlarged Site Layout Plan 10
C1.12 Overall Site Coordinate Line Tables
C1.13 Overall Site Coordinate Curve Tables
C2.01 Overall Site Grading Plan
C2.02 Enlarged Site Grading Plan 1
C2.03 Enlarged Site Grading Plan 2
C2.04 Enlarged Site Grading Plan 3
C2.05 Enlarged Site Grading Plan 4
C2.06 Enlarged Site Grading Plan 5
C2.07 Enlarged Site Grading Plan 6
C2.08 Enlarged Site Grading Plan 7
C2.09 Enlarged Site Grading Plan 8
C2.10 Enlarged Site Grading Plan 9
C2.11 Enlarged Site Grading Plan 10
C4.01 Overall Site Utility Plan
C4.02 Enlarged Site Utility Plan 1
C4.03 Enlarged Site Utility Plan 2
C4.04 Enlarged Site Utility Plan 3
C4.05 Enlarged Site Utility Plan 4
C4.06 Enlarged Site Utility Plan 5
C4.07 Enlarged Site Utility Plan 6
C4.08 Enlarged Site Utility Plan 7
C4.09 Enlarged Site Utility Plan 8
C4.10 Enlarged Site Utility Plan 9
C4.11 Enlarged Site Utility Plan 10
C4.21 Site Drainage Plan
C4.23 Private Storm Sewer Profile 1
C4.24 Private Storm Sewer Profile 2
C4.25 Private Storm Sewer Profile 3

C4.26 Private Storm Sewer Profile 4
C4.31 Private Sanitary Sewer Profiles
C4.41 Private Water Line Profiles 1
C4.42 Private Water Line Profiles 2
C4.43 Private Water Line Profiles 3
C5.02 Miscellaneous Details
C5.03 Miscellaneous Details
C5.04 Miscellaneous Details
C6.01 - PUBLIC IMPROVEMENT COVER SHEET
C6.02 - ROADWAY GEOMETRIC AND SURVEY CONTROL PLAN
C6.03 - ROADWAY TYPICAL SECTIONS AND GENERAL NOTES
C6.04 - ROADWAY PLAN & PROFILE 1
C6.05 - ROADWAY PLAN & PROFILE 2
C6.06 - ROADWAY GRADING PLAN 1
C6.07 - ROADWAY GRADING PLAN 2
C6.08 - INTERSECTION PLAN AND DETAILS
C6.09 - PUBLIC STORM SEWER PLAN & PROFILE 1
C6.10 - PUBLIC STORM SEWER PLAN & PROFILE 2
C6.11 - ROADWAY SIGN AND PAVEMENT MARKING PLAN
C6.12 - MISCELLANEOUS DETAILS
C6.13 - TRAFFIC CONTROL PLAN
C6.14 - ROADWAY TYPICAL SECTIONS 1
C6.15 - ROADWAY TYPICAL SECTIONS 2
C6.16 - ROADWAY TYPICAL SECTIONS 3
C6.17 - ROADWAY TYPICAL SECTIONS 4
C-100 - Erosion Control Cover
C-101 - Overall Site Erosion Control Plan
C-102 - Erosion Control Notes
C-103 - Enlarged Site Erosion Control - Phase 1-Plan1
C-104 - Enlarged Site Erosion Control - Phase 1-Plan2
C-105 - Enlarged Site Erosion Control - Phase 1-Plan3
C-106 - Detention Basin and Details
C-107 - Enlarged Site Erosion Control - Phase 2-Plan1
C-108 - Enlarged Site Erosion Control - Phase 2-Plan2
C-109 - Enlarged Site Erosion Control - Phase 2-Plan3
C-110 - Enlarged Site Erosion Control - Phase 3-Plan1
C-111 - Enlarged Site Erosion Control - Phase 3-Plan2
C-112 - Enlarged Site Erosion Control - Phase 3-Plan3
C-200 - Overall Site Grading Plan
C-201 - Enlarged Site Grading Plan 1
C-202 - Enlarged Site Grading Plan 2
C-400 - Sanitary Sewer Cover Sheet
C-401-General Notes

C-402 Sanitary Sewer Overall Site Plan
C-403-San-Plan Profile Line-1
C-404-San-Plan Profile Line-1
C-405-San-Plan Profile Line-1
CWW - 01 Cover Sheet
CWW - 02 - General Notes and Legend
CWW - 03 - Survey Control Sheet
CWW - 04 - Water Overall Site Plan
CWW - 05 - Line-1 Water Plan Profile Line-1
CWW - 06 - Line-2 Water Plan Profile Line-2
CWW - 07 - Line-2 Water Plan Profile-Line-2
CWW - 08 - Line-2 Water Plan Profile-Line-2
L-100 – Landscape Plan
L-101 – Enlarged Landscape Plan 1
L-102 – Enlarged Landscape Plan 2
L-103 – Enlarged Landscape Plan 3
L-104 – Landscape Plant Schedule and Details
L-200 – Site Schematic Irrigation Plan
L-201 – Enlarged Site Irrigation Plan 1
L-202 – Enlarged Site Irrigation Plan 2
L6.00 - Overall Landscape Plan
L6.01 - Enlarged Landscape Plan 1
L6.02 - Enlarged Landscape Plan 2
SP1.1.1 - Level 1 - Areas 1, 2, 5 & 6 - Architectural Security Plan
SP1.1.2 - Level 1 - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan
SP1.1.3 - Level 1 - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan
SP1.1T.1 - Level 1 Upper Tier - Areas 1, 2, 5 & 6 - Architectural Security Plan
SP1.1T.2 - Level 1 Upper Tier - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan
SP1.1T.3 - Level 1 Upper Tier - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan
SP1.2.1 - Level 2 & Clerestory - Areas 2, 5 & 6 - Architectural Security Plan
SP1.2.2 - Level 2 & Clerestory - Areas 3, 4, 7, 8, 11 & 12 - Architectural Security Plan
SP1.2.3 - Clerestory - Areas 9, 10, 13, 14 & 15 - Architectural Security Plan
SP2.1 - Security Separation Details
AS1.1 - Architectural Site Plan
AS2.1 - High Secuirty Chain Link Fence Types and Details
AS2.2 - High Security Chain Link Fence Vehicle Slide Gate Details
A0.0 - Architectural Notes, Symbols & Abbreviations
A0.1 - Level 1 - Orientation Plan
A0.1.1 - Level 1 - Area 1 - Dimensioning Plan
A0.1.2 - Level 1 - Area 2 - Dimensioning Plan
A0.1.3 - Level 1 - Area 3 - Dimensioning Plan
A0.1.4 - Level 1 - Area 4 - Dimensioning Plan
A0.1.5 - Level 1 - Area 5 - Dimensioning Plan

A0.1.6 - Level 1 - Area 6 - Dimensioning Plan
A0.1.7 - Level 1 - Area 7 - Dimensioning Plan
A0.1.8 - Level 1 - Area 8 - Dimensioning Plan
A0.1.9 - Level 1 - Area 9 - Dimensioning Plan
A0.1.10 - Level 1 - Area 10 - Dimensioning Plan
A0.1.11 - Level 1 - Area 11 - Dimensioning Plan
A0.1.12 - Level 1 - Area 11 - Dimensioning Plan
A0.1.13 - Level 1 - Area 13 - Dimensioning Plan
A0.1.14 - Level 1 - Area 14 - Dimensioning Plan
A0.1.15 - Level 1 - Area 15 - Dimensioning Plan
A0.1T - Level 1 Upper Tier - Orientation Plan
A0.1T.5 - Level 1 Upper Tier - Area 5 - Dimensioning Plan
A0.1T.7 - Level 1 Upper Tier - Area 7 - Dimensioning Plan
A0.1T.8 - Level 1 Upper Tier - Area 8 - Dimensioning Plan
A0.1T.11 - Level 1 Upper Tier - Area 11 - Dimensioning Plan
A0.1T.12 - Level 1 Upper Tier - Area 12 - Dimensioning Plan
A0.1T.14 - Level 1 Upper Tier - Area 14 - Dimensioning Plan
A0.1T.15 - Level 1 Upper Tier - Area 15 - Dimensioning Plan
A0.2 - Level 2 & Clerestory - Orientation Plan
A0.2.2 - Level 2 - Area 2 - Dimensioning Plan
A0.2.3 - Level 2 - Area 3 - Dimensioning Plan
A1.1.1 - Level 1 - Area 1 - Floor Plan
A1.1.2 - Level 1 - Area 2 - Floor Plan
A1.1.3 - Level 1 - Area 3 - Floor Plan
A1.1.4 - Level 1 - Area 4 - Floor Plan
A1.1.5 - Level 1 - Area 5 - Floor Plan
A1.1.6 - Level 1 - Area 6 - Floor Plan
A1.1.7 - Level 1 - Area 7 - Floor Plan
A1.1.8 - Level 1 - Area 8 - Floor Plan
A1.1.9 - Level 1 - Area 9 - Floor Plan
A1.1.10 - Level 1 - Area 10 - Floor Plan
A1.1.11 - Level 1 - Area 11 - Floor Plan
A1.1.12 - Level 1 - Area 12 - Floor Plan
A1.1.13 - Level 1 - Area 13 - Floor Plan
A1.1.14 - Level 1 - Area 14 - Floor Plan
A1.1.15 - Level 1 - Area 15 - Floor Plan
A1.1T.5 - Level 1 Upper Tier - Area 5 - Floor Plan
A1.1T.7 - Level 1 Upper Tier - Area 7 - Floor Plan
A1.1T.8 - Level 1 Upper Tier - Area 8 - Floor Plan
A1.1T.11 - Level 1 Upper Tier - Area 11 - Floor Plan
A1.1T.12 - Level 1 Upper Tier - Area 12 - Floor Plan
A1.1T.14 - Level 1 Upper Tier - Area 14 - Floor Plan
A1.1T.15 - Level 1 Upper Tier - Area 15 - Floor Plan

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A1.2.3 - Level 2 - Area 3 - Floor Plan A1.2.5 - Clerestory - Area 5 - Floor Plan
A1.2.5 - Clerestory - Area 5 - Floor Plan
,
A1.2.7 - Clerestory - Area 7 - Floor Plan
A1.2.8 - Clerestory - Area 8 - Floor Plan
A1.2.9 - Clerestory - Area 9 - Floor Plan
A1.2.11 - Clerestory - Area 11 - Floor Plan
A1.2.12 - Clerestory - Area 12 - Floor Plan
A1.2.13 - Clerestory - Area 13 - Floor Plan
A1.2.14 - Clerestory - Area 14 - Floor Plan
A1.2.15 - Clerestory - Area 15 - Floor Plan
A1.4 - Roof - Overall Plan
A1.5 - Roof - Entry Canopy Enlarged Plan
A2.1 - Enlarged Floor Plans
A2.2 - Enlarged Floor Plans
A2.3 - Enlarged Floor Plans
A2.4 - Enlarged Floor Plans
A2.5 - Enlarged Floor Plans
A2.6 - Enlarged Floor Plans
A2.7 - Enlarged Floor Plans
A2.10 - Enlarged Floor Plans
A2.11 - Enlarged Floor Plans
A2.12 - Enlarged Floor Plans
A2.13 - Enlarged Floor Plans
A2.14 - Enlarged Floor Plans
A2.15 - Enlarged Floor Plans
A2.16 - Enlarged Floor Plans
A2.17 - Enlarged Floor Plans
A2.18 - Enlarged Floor Plans
A2.19 - Enlarged Floor Plans
A2.20 - Enlarged Floor Plans
A3.1.1 - Level 1 - Area 1 - Reflected Ceiling Plan
A3.1.2- Level 1 - Area 2 - Reflected Ceiling Plan
A3.1.3 - Level 1 - Area 3 - Reflected Ceiling Plan
A3.1.4 - Level 1 - Area 4 - Reflected Ceiling Plan
A3.1.5 - Level 1 - Area 5 - Reflected Ceiling Plan
A3.1.6 - Level 1 - Area 6 - Reflected Ceiling Plan
A3.1.7 - Level 1 - Area 7 - Reflected Ceiling Plan
A3.1.8 - Level 1 - Area 8 - Reflected Ceiling Plan
A3.1.9 - Level 1 - Area 9 - Reflected Ceiling Plan
A3.1.10 - Level 1 - Area 10 - Reflected Ceiling Plan
A3.1.11 - Level 1 - Area 11 - Reflected Ceiling Plan
A3.1.12 - Level 1 - Area 12 - Reflected Ceiling Plan

03.25.2024	Construction Drawings
03.25.2024	Construction Drawings

A3.1.13 - Level 1 - Area 13 - Reflected Ceiling Plan
A3.1.14 - Level 1 - Area 14 - Reflected Ceiling Plan
A3.1.15 - Level 1 - Area 15 - Reflected Ceiling Plan
A3.1T.5 - Level 1 Upper Tier - Area 5 - Reflected Ceiling Plan
A3.1T.7 - Level 1 Upper Tier - Area 7 - Reflected Ceiling Plan
A3.1T.8 - Level 1 Upper Tier - Area 8 - Reflected Ceiling Plan
A3.1T.11 - Level 1 Upper Tier - Area 11 - Reflected Ceiling Plan
A3.1T.12 - Level 1 Upper Tier - Area 12 - Reflected Ceiling Plan
A3.1T.14 - Level 1 Upper Tier - Area 14 - Reflected Ceiling Plan
A3.1T.15 - Level 1 Upper Tier - Area 15 - Reflected Ceiling Plan
A3.2.2 - Level 2 - Area 2 - Reflected Ceiling Plan
A3.2.3 - Level 2 - Area 3 - Reflected Ceiling Plan
A4.0 - Overall Building - Exterior Elevations
A4.1 - Exterior Elevations - Front Building
A4.2 - Exterior Elevations - Front Building
A4.3 - Exterior Elevations
A4.4 - Exterior Elevations
A4.5 - Exterior Elevations
A4.6 - Exterior Elevations
A4.7 - Exterior Elevations
A4.8 - Exterior Elevations
A4.9 - Exterior Elevations
A4.10 - Exterior Elevations
A4.11 - Exterior Elevations
A4.12 - Exterior Elevations
A5.1 - Building Sections
A5.2 - Building Sections
A5.3 - Building Sections
A5.4 - Building Sections
A6.1 - Exterior Wall Sections
A6.2 - Exterior Wall Sections
A6.10 - Exterior Wall Sections
A6.11 - Exterior Wall Sections
A6.12 - Exterior Wall Sections
A6.13 - Exterior Wall Sections
A6.14 - Interior Wall Sections
A6.15 - Interior Wall Sections
A6.16 - Interior Wall Sections
A6.17 - Interior Wall Sections
A6.18 - Interior Wall Sections
A6.19 - Interior Wall Sections
A6.20 - Interior Wall Sections
A6.21 - Interior Wall Sections

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A6.22 - Interior Wall Sections	03.25.2024
A6.23 - Interior Wall Sections	03.25.2024
A6.24 - Interior Wall Sections	03.25.2024
A6.25 - Interior Wall Sections	03.25.2024
A6.26 - Interior Wall Sections	03.25.2024
A6.27 - Interior Wall Sections	03.25.2024
A6.28 - Interior Wall Sections	03.25.2024
A6.29 - Interior Wall Sections	03.25.2024
A6.30 - Interior Wall Sections	03.25.2024
A6.31 - Interior Wall Sections	03.25.2024
A6.32 - Interior Wall Sections	03.25.2024
A6.33 - Interior Wall Sections	03.25.2024
A6.34 - Interior Wall Sections	03.25.2024
A6.35 - Interior Wall Sections	03.25.2024
A7.1 - Stair 1 & 4 Enlarged Plans and Sections	03.25.2024
A7.2 - Stair 2& 3 Enlarged Plans and Sections	03.25.2024
A7.3 - Elevator 1 & 2 Enlarged Plans and Sections	03.25.2024
A7.4 Elevator 3 Enlarged Plans and Sections	03.25.2024
A7.5 - Stair and Railing Details	03.25.2024
A7.6 - Miscellaneous Stair, Ramp and Raised Floor Sections and Details	03.25.2024
A7.7 - Roof Access Stair Plans, Sections and Details	03.25.2024
A7.10 - Dayroom Stair Plans, Sections and Details	03.25.2024
A7.11 - Dayroom Stair Plans, Sections and Details	03.25.2024
A8.1 - Wall Types	03.25.2024
A8.10 - Commercial Door & Frame Schedules - Front Building	03.25.2024
A8.11 - Commercial Door & Frame Schedules - Main Building	03.25.2024
A8.12 - Commercial Door & Frame Schedules - Housing Areas A & B	03.25.2024
A8.13 - Commercial Door & Frame Schedules - Housing Areas E, F, G & J	03.25.2024
A8.14 - Commercial Door - Frame Types and Commercial Interior Window Schedule	03.25.2024
A8.20 - Curtainwall and Storefront Elevations	03.25.2024
A8.30 - Commercial Door & Frame Details - Exterior Precast Walls	03.25.2024
A8.31 - Commercial Door & Frame Details - Interior	03.25.2024
A8.32 - Commercial Door & Frame Details - Interior Aluminum Storefront	03.25.2024
A8.50 - Detention Door & Frame Schedules	03.25.2024
A8.51 - Detention Door & Frame Schedules - Housing Areas A & B	03.25.2024
A8.52 - Detention Door & Frame Schedules - Housing Areas E & F	03.25.2024
A8.53 - Detention Door & Frame Schedules - Housing Areas G & J	03.25.2024
A8.60 - Detention Door & Frame Types	03.25.2024
A8.61 - General Detention Hollow Metal Door & Frame Details	03.25.2024
A8.62 - Detention Door and Frame Details - Exterior Precast Walls	03.25.2024
A8.63 - Detention Door and Frame Interior Details	03.25.2024
A9.0 - Monument Sign and Exterior Mock Up	03.25.2024
A9.1 - General Roof Details	03.25.2024

A9.2 - Concrete Roof Details
A9.10 - Exterior Details
A9.11 - Exterior Details
A9.12 - Exterior Details
A9.13 - Exterior Details
A10.1- Interior Elevations - Precast Modules
A10.2 - Interior Elevations - Precast Modules
A10.3 - Interior Elevations - Precast Modules
A10.4 - Interior Elevations - Precast Modules
A10.5 - Interior Elevations - Precast Modules
A10.6 - Interior Elevations - Precast Modules
A10.7 - Interior Elevations - Precast Modules
A10.8 - Interior Elevations - Precast Modules
A10.9 - Interior Elevations - Precast Modules
A10.10 - Interior Elevations - Precast Modules
A10.20 - Interior Millwork Elevations
A10.21 - Interior Millwork Elevations
A10.22 - Interior Millwork Elevations
A10.23 - Interior Millwork Elevations
A10.24 - Millwork Details
A10.25 - Security Screening Desk Plans and Elevations
A10.26 - Security Screening Desk Details
A11.0 - Wall Types
A11.1 - General Building Details
A11.2 - General Building Details
A11.3 - General Building Details
A11.4 - General Building Details - Wire Mesh Partitions
A11.20 - Interior Details
A11.21 - Interior Details
A11.22 - Interior Details
A11.23 - Interior Details
A11.31 - Ceiling Details
A11.32 - Ceiling Details
A12.01 - Finish Schedules and Details
A12.1.1 - Level 1 - Area 1 - Finish Plan
A12.1.2 - Level 1 - Area 2 - Finish Plan
A12.1.3 - Level 1 - Area 3 - Finish Plan
A12.1.4 - Level 1 - Area 4 - Finish Plan
A12.1.5 - Level 1 - Area 5 - Finish Plan
A12.1.6 - Level 1 - Area 6 - Finish Plan
A12.1.7 - Level 1 - Area 7 - Finish Plan
A12.1.8 - Level 1 - Area 8 - Finish Plan
A12.1.9 - Level 1 - Area 9 - Finish Plan

A12.1.10 - Level 1 - Area 10 - Finish Plan
A12.1.11 - Level 1 - Area 11 - Finish Plan
A12.1.12 - Level 1 - Area 12 - Finish Plan
A12.1.13 - Level 1 - Area 13 - Finish Plan
A12.1.14 - Level 1 - Area 14 - Finish Plan
A12.1.15 - Level 1 - Area 15 - Finish Plan
A12.1T.5 - Level 1 Upper Tier - Area 5 - Finish Plan
A12.1T.7 - Level 1 Upper Tier - Area 7 - Finish Plan
A12.1T.8 - Level 1 Upper Tier - Area 8 - Finish Plan
A12.1T.11 - Level 1 Upper Tier - Area 11 - Finish Plan
A12.1T.12 - Level 1 Upper Tier - Area 12 - Finish Plan
A12.1T.14 - Level 1 Upper Tier - Area 14 - Finish Plan
A12.1T.15 - Level 1 Upper Tier - Area 15 - Finish Plan
A12.2.2 - Level 2 - Area 2 - Finish Plan
A12.2.3 - Level 2 - Area 3 - Finish Plan
A12.11 - Interior Elevations
A12.12 - Interior Elevations
A12.13 - Interior Elevations
A12.14 - Interior Elevations
A12.16 - Interior Elevations
A12.17 - Interior Elevations
A12.18 - Interior Elevations
A12.20 - Interior Elevations
A12.21 - Interior Elevations
A12.22 - Interior Elevations
A12.23 - Interior Elevations
A12.24 - Interior Elevations
A12.25 - Interior Elevations
A12.26 - Interior Elevations
A12.27 - Interior Elevations
A15.1 - Enlarged Floor Plan - Courtrooms Area Level 2
A15.2 - Courtroom Interior Elevations
A15.3 - Courtroom Interior Elevations
A15.4 - Courtroom Sections and Details
A15.5 - Courtroom Sections and Details
A15.6 - Courtroom Area Wall Panel Details
A15.7 - Courtroom Area Plan and Door Frame Details
FS1.1 - Level 1 - Food Service Equipment Plan
FS1.1S - Level 1 - Food Service Equipment Schedule
FS1.1U - Level 1 - Food Service Equipment Under Slab Plan
FS1.2 - Level 1 - Food Service Plumbing Plan
FS1.2S - Level 1 - Food Service Plumbing Schedule and Notes
FS1.3 - Level 1 - Food Service Mechanical - Depression Plan

FS1.4 - Level 1 - Food Service Electrical and Refrigeration Plan
FS1.4S - Level 1 - Food Service Electrical Schedule
FS2.1 - Level 1 - Food Service Canopy Hood Details
FS2.2- Level 1 - Food Service Canopy Hood Details
FS2.3- Level 1 - Food Service Canopy Hood Details
FS2.4- Level 1 - Food Service Canopy Hood Details
FS2.5 - Level 1 - Food Service Canopy Hood Details
FS2.6 - Level 1 - Food Service Canopy Hood Details
FS2.7 - Level 1 - Food Service Canopy Hood Details
FS2.8 - Level 1 - Food Service Canopy Hood Details
FS2.9 - Level 1 - Food Service Canopy Hood Details
FS2.10 - Level 1 - Food Service Canopy Hood Details
FS2.11 - Level 1 - Food Service Canopy Hood Details
FS2.12 - Level 1 - Food Service UDS Details
FS3.1 - Level 1 - Food Service Walk-In Details
FS3.2 - Level 1 - Food Service Refrigeration Details
FS3.3 - Level 1 - Food Service Warewashing Details
FS3.3A - Level 1 - Food Service Soiled Dishtable Details
FS3.4 - Level 1 - Food Service Staff Serving Counter Details
FS4.1 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.2 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.3 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.4 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.5 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.6 - Level 1 - Area A - Food Service Elevation and Fabrication Details
FS4.7 - Level 1 - Area A - Food Service Elevation and Fabrication Details
S0.1 - General Structural Notes
S0.2 - General Structural Notes & Special Inspections
S0.3 - Grid Geometry Plan
S0.4 - Snow Drift Plan
S0.5 - Structural Expansion Joint Plan
S0.6 - Structural Loading Plan
S0.7 - Structural Loading Plan
S1.1.1 - Level 1 - Area 1 - Foundation Plan
S1.1.2 - Level 1 - Area 2 - Foundation Plan
S1.1.3 - Level 1 - Area 3 - Foundation Plan
S1.1.4 - Level 1 - Area 4 - Foundation Plan
S1.1.5 - Level 1 - Area 5 - Foundation Plan
S1.1.6 - Level 1 - Area 6 - Foundation Plan
S1.1.7 - Level 1 - Area 7 - Foundation Plan
S1.1.8 - Level 1 - Area 8 - Foundation Plan
S1.1.9 - Level 1 - Area 9 - Foundation Plan
S1.1.10 - Level 1 - Area 10 - Foundation Plan

03.25.2024

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S1.1.11 - Level 1 - Area 11 - Foundation Plan
S1.1.12 - Level 1 - Area 12 - Foundation Plan
S1.1.13 - Level 1 - Area 13 - Foundation Plan
S1.1.14 - Level 1 - Area 14 - Foundation Plan
S1.1.15 - Level 1 - Area 15 - Foundation Plan
S1.1.16 - Level 1 - Area 16 - Foundation Plan
S2.1T.5 - Level 1 Upper Tier - Area 5 - Framing Plan
S2.1T.7 - Level 1 Upper Tier - Area 7 - Framing Plan
S2.1T.8 - Level 1 Upper Tier - Area 8 - Framing Plan
S2.1T.11 - Level 1 Upper Tier - Area 11 - Framing Plan
S2.1T.12 - Level 1 Upper Tier - Area 12 - Framing Plan
S2.1T.14 - Level 1 Upper Tier - Area 14 - Framing Plan
S2.1T.15 - Level 1 Upper Tier - Area 15 - Framing Plan
S2.2.1 - Level 2 - Area 1 - Framing Plan
S2.2.2 - Level 2 - Area 2 - Framing Plan
S2.2.3 - Level 2 - Area 3 - Framing Plan
S2.2.4 - Level 2 - Area 4 - Framing Plan
S2.3.2 - Roof - Area 2 - Framing Plan
S2.3.3 - Roof - Area 3 - Framing Plan
S2.3.5 - Roof - Area 5 - Framing Plan
S2.3.6 - Roof - Area 6 - Framing Plan
S2.3.7 - Roof - Area 7 - Framing Plan
S2.3.8 - Roof - Area 8 - Framing Plan
S2.3.9 - Roof - Area 9 - Framing Plan
S2.3.10 - Roof - Area 10 - Framing Plan
S2.3.11 - Roof - Area 11 - Framing Plan
S2.3.12 - Roof - Area 12 - Framing Plan
S2.3.13 - Roof - Area 13 - Framing Plan
S2.3.14 - Roof - Area 14 - Framing Plan
S2.3.15 - Roof - Area 15 - Framing Plan
S3.1 - Concrete Typical Details
S3.2 - Concrete Typical Details
S3.3 - Precast Typical Details
S3.4 - Precast Typical Details
S3.5 - Concrete Sections
S3.6 - Concrete Sections
S3.7 - Concrete Sections
S3.8 - Precast Sections
S3.9 - Precast Sections
S3.10 - Precast Sections
S3.11 - Precast Sections
S3.12 - Precast Sections
S4.1 - Masonry Typical Details

S5.1 - Steel Typical Details
S5.2 - Floor Framing Typical Details
S5.3 - Roof Framing Typical Details
S5.4 - Braced Frame Typical Details
S5.5 – Steel Sections
S5.6 - Steel Sections
S5.7 - Steel Sections
G2 - Cover Sheet - Volume 2 of 2
FP0.1 - Fire Protection General Notes, Legend, and Details
FP0.2 - Fire Protection General Notes, Legend, and Details Cont.
FP0.3 - Fire Protection, Site Plan
FP0.4 - Fire Protection Sprinkler Zone Map
FP1.1.1 - Level 1 - Fire Protection Plan - Area 1
FP1.1.2 - Level 1 - Fire Protection Plan - Area 2
FP1.1.3 - Level 1 - Fire Protection Plan - Area 3
FP1.1.4 - Level 1 - Fire Protection Plan - Area 4
FP1.1.5 - Level 1 - Fire Protection Plan - Area 5
FP1.1.6 - Level 1 - Fire Protection Plan - Area 6
FP1.1.7 - Level 1 - Fire Protection Plan - Area 7
FP1.1.8 - Level 1 - Fire Protection Plan - Area 8
FP1.1.9 - Level 1 - Fire Protection Plan - Area 9
FP1.1.10 - Level 1 - Fire Protection Plan - Area 10
FP1.1.11 - Level 1 - Fire Protection Plan - Area 11
FP1.1.12 - Level 1 - Fire Protection Plan - Area 12
FP1.1.13 - Level 1 - Fire Protection Plan - Area 13
FP1.1.14 - Level 1 - Fire Protection Plan - Area 14
FP1.1.15 - Level 1 - Fire Protection Plan - Area 15
FP1.2.2 - Level 2 - Fire Protection Plan - Area 2
FP1.2.3 - Level 2 - Fire Protection Plan - Area 3
FP1.2.4 - Level 2 - Fire Protection Plan - Area 4
P0.1 - Plumbing Legend & Notes
P1.0 - Underslab Overall Plumbing Plan
P1.0.1 - Underslab Plumbing Plan - Area 1
P1.0.2 - Underslab Plumbing Plan - Area 2
P1.0.3 - Underslab Plumbing Plan - Area 3
P1.0.4 - Underslab Plumbing Plan - Area 4
P1.0.5 - Underslab Plumbing Plan - Area 5
P1.0.6 - Underslab Plumbing Plan - Area 6
P1.0.7 - Underslab Plumbing Plan - Area 7
P1.0.8 - Underslab Plumbing Plan - Area 8
P1.0.9 - Underslab Plumbing Plan - Area 9
P1.0.10 - Underslab Plumbing Plan - Area 10
P1.0.11 - Underslab Plumbing Plan - Area 11

P1.0.12 - Underslab Plumbing Plan - Area 12
P1.0.13 - Underslab Plumbing Plan - Area 13
P1.0.14 - Underslab Plumbing Plan - Area 14
P1.0.15 - Underslab Plumbing Plan - Area 15
P1.1 - Level 1 - Overall Drain and Vent Plan
P1.1.1 - Level 1 - Drain and Vent Plan - Area 1
P1.1.2 - Level 1 - Drain and Vent Plan - Area 2
P1.1.3 - Level 1 - Drain and Vent Plan - Area 3
P1.1.4 - Level 1 - Drain and Vent Plan - Area 4
P1.1.5 - Level 1 - Drain and Vent Plan - Area 5
P1.1.6 - Level 1 - Drain and Vent Plan - Area 6
P1.1.7 - Level 1 - Drain and Vent Plan - Area 7
P1.1.8 - Level 1 - Drain and Vent Plan - Area 8
P1.1.9 - Level 1 - Drain and Vent Plan - Area 9
P1.1.10 - Level 1 - Drain and Vent Plan - Area 10
P1.1.11 - Level 1 - Drain and Vent Plan - Area 11
P1.1.12 - Level 1 - Drain and Vent Plan - Area 12
P1.1.13 - Level 1 - Drain and Vent Plan - Area 13
P1.1.14 - Level 1 - Drain and Vent Plan - Area 14
P1.1.15 - Level 1 - Drain and Vent Plan - Area 15
P1.1T - Level 1 Upper Tier - Overall Drain and Vent Plan
P1.1T.5 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 5
P1.1T.7 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 7
P1.1T.8 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 8
P1.1T.11 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 11
P1.1T.12 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 12
P1.1T.14 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 14
P1.1T.15 - Level 1 Upper Tier - Overall Drain and Vent Plan - Area 15
P1.2 - Level 2 & Clerestory - Overall Drain and Vent Plan
P1.2.2 - Level 2 - Drain and Vent Plan - Area 2
P1.2.3 - Level 2 - Drain and Vent Plan - Area 3
P2.1 - Level 1 - Overall Water and Gas Plan
P2.1.1 - Level 1 - Water and Gas Plan - Area 1
P2.1.2 - Level 1 - Water and Gas Plan - Area 2
P2.1.3 - Level 1 - Water and Gas Plan - Area 3
P2.1.4 - Level 1 - Water and Gas Plan - Area 4
P2.1.5 - Level 1 - Water and Gas Plan - Area 5
P2.1.6 - Level 1 - Water and Gas Plan - Area 6
P2.1.7 - Level 1 - Water and Gas Plan - Area 7
P2.1.8 - Level 1 - Water and Gas Plan - Area 8
P2.1.9 - Level 1 - Water and Gas Plan - Area 9
P2.1.10 - Level 1 - Water and Gas Plan - Area 10
P2.1.11 - Level 1 - Water and Gas Plan - Area 11

03.25.2024	Construction Drawings
03.25.2024	Construction Drawings

P2.1.12 - Level 1 - Water and Gas Plan - Area 12
P2.1.13 - Level 1 - Water and Gas Plan - Area 13
P2.1.14 - Level 1 - Water and Gas Plan - Area 14
P2.1.15 - Level 1 - Water and Gas Plan - Area 15
P2.1T - Level 1 Upper Tier - Overall Water and Gas Plan
P2.1T.5 - Level 1 Upper Tier - Water and Gas Plan - Area 5
P2.1T.7 - Level 1 Upper Tier - Water and Gas Plan - Area 7
P2.1T.8 - Level 1 Upper Tier - Water and Gas Plan - Area 8
P2.1T.11 - Level 1 Upper Tier - Water and Gas Plan - Area 11
P2.1T.12 - Level 1 Upper Tier - Water and Gas Plan - Area 12
P2.1T.14 - Level 1 Upper Tier - Water and Gas Plan - Area 14
P2.1T.15 - Level 1 Upper Tier - Water and Gas Plan - Area 15
P2.2 - Level 2 & Clerestory - Overall Water and Gas Plan
P2.2.2 - Level 2 - Water and Gas Plan - Area 2
P2.2.3 - Level 2 - Water and Gas Plan - Area 3
P3.1 - Enlarged Kitchen Plumbing Plan
P3.2 - Enlarged Plumbing Plans
P3.3 - Enlarged Plumbing Plans
P3.4 - Enlarged Plumbing Plans
P3.5 - Enlarged Plumbing Plans
P4.1 - Plumbing Details
P4.2 - Plumbing Details
P4.3 - Plumbing Details
P5.1 - Plumbing Schedules
P5.2 - Plumbing Schedules
P5.3 - Plumbing Schedules
P6.1 - Drain and Vent Risers - Area 1 & 2
P6.2 - Drain and Vent Risers - Area 3 & 4
P6.3 - Drain and Vent Risers - Area 5 & 9
P6.4 - Drain and Vent Risers - Area 6, 8 (Part), 10 & 12 (Part)
P6.5 - Drain and Vent Risers - Area 8 (Part) & 12 (Part)
P6.6 - Drain and Vent Risers - Area 13 & 14 (Part)
P6.7 - Drain and Vent Risers - Area 14 (Part) & 15
P6.8 - Natural Gas Riser
P6.9 - Natural Gas Riser
P7.1 - Water and Gas Chase Elevations Area 5
P7.2 - Water and Gas Chase Elevations Area 5
P7.3 - Water and Gas Chase Elevations Area 6
P7.4 - Water and Gas Chase Elevations Area 7
P7.5 - Water and Gas Chase Elevations Area 8
P7.6 - Water and Gas Chase Elevations Area 8
P7.7 - Water and Gas Chase Elevations Area 9
P7.8 - Water and Gas Chase Elevations Area 9

P7.9 - Water and Gas Chase Elevations Area 10
P7.10 - Water and Gas Chase Elevations Area 11
P7.11 - Water and Gas Chase Elevations Area 12
P7.12 - Water and Gas Chase Elevations Area 14
P7.13 - Water and Gas Chase Elevations Area 15
P7.14 - Water and Gas Chase Elevations Area 15
M0.1 - Mechanical Legend & Notes
M1.1 - Level 1 - Overall HVAC Plan
M1.1.1 - Level 1 - HVAC Plan - Area 1
M1.1.2 - Level 1 - HVAC Plan - Area 2
M1.1.3 - Level 1 - HVAC Plan - Area 3
M1.1.4 - Level 1 - HVAC Plan - Area 4
M1.1.5 - Level 1 - HVAC Plan - Area 5
M1.1.6 - Level 1 - HVAC Plan - Area 6
M1.1.7 - Level 1 - HVAC Plan - Area 7
M1.1.8 - Level 1 - HVAC Plan - Area 8
M1.1.9 - Level 1 - HVAC Plan - Area 9
M1.1.10 - Level 1 - HVAC Plan - Area 10
M1.1.11 - Level 1 - HVAC Plan - Area 11
M1.1.12 - Level 1 - HVAC Plan - Area 12
M1.1.13 - Level 1 - HVAC Plan - Area 13
M1.1.14 - Level 1 - HVAC Plan - Area 14
M1.1.15 - Level 1 - HVAC Plan - Area 15
M1.1T - Level 1 Upper Tier - Overall HVAC Plan
M1.1T.5 - Level 1 Upper Tier - HVAC Plan - Area 5
M1.1T.7 - Level 1 Upper Tier - HVAC Plan - Area 7
M1.1T.8 - Level 1 Upper Tier - HVAC Plan - Area 8
M1.1T.11 - Level 1 Upper Tier - HVAC Plan - Area 11
M1.1T.12 - Level 1 Upper Tier - HVAC Plan - Area 12
M1.1T.14 - Level 1 Upper Tier - HVAC Plan - Area 14
M1.1T.15 - Level 1 Upper Tier - HVAC Plan - Area 15
M1.2 - Level 2 & Clerestory - Overall HVAC Plan
M1.2.2 - Level 2 - HVAC Plan - Area 2
M1.2.3 - Level 3 - HVAC Plan - Area 3
M2.1 - Level 1 - Overall Hydronic Plan
M2.1.1 - Level 1 - Hydronic Plan - Area 1
M2.1.2 - Level 1 - Hydronic Plan - Area 2
M2.1.3 - Level 1 - Hydronic Plan - Area 3
M2.1.4 - Level 1 - Hydronic Plan - Area 4
M2.1.5 - Level 1 - Hydronic Plan - Area 5
M2.1.6 - Level 1 - Hydronic Plan - Area 6
M2.1.7 - Level 1 - Hydronic Plan - Area 7
M2.1.8 - Level 1 - Hydronic Plan - Area 8

03.25.2024	Construction Drawings
03.25.2024	Construction Drawings

M2.1.9 - Level 1 - Hydronic Plan - Area 9
M2.1.10 - Level 1 - Hydronic Plan - Area 10
M2.1.11 - Level 1 - Hydronic Plan - Area 11
M2.1.12 - Level 1 - Hydronic Plan - Area 12
M2.1.13 - Level 1 - Hydronic Plan - Area 13
M2.1.14 - Level 1 - Hydronic Plan - Area 14
M2.1.15 - Level 1 - Hydronic Plan - Area 15
M2.2 - Level 2 & Clerestory - Overall Hydronic Plan
M2.2.2 - Level 2 - Hydronic Plan - Area 2
M2.2.3 - Level 3 - Hydronic Plan - Area 3
M4.1 - HVAC Sections
M4.2 - HVAC Sections
M4.3 - HVAC Sections
M4.4 - HVAC Sections
M5.1 - Heating Water Schematic
M5.2 - Chilled Water Schematic
M5.3 - Mechanical Controls
M5.4 - Mechanical Controls
M5.5 - Mechanical Controls
M5.6 - Mechanical Controls
M6.1 - Captiveaire Details
M6.2 - Captiveaire Details
M6.3 - Captiveaire Details
M6.4 - Captiveaire Details
M6.5 - Captiveaire Details
M6.6 - Captiveaire Details
M6.7 - Captiveaire Details
M6.8 - Captiveaire Details
M6.9 - Captiveaire Details
M6.10 - Captiveaire Details
M6.11 - Captiveaire Details
M6.12 - Captiveaire Details
M6.13 - Captiveaire Details
M6.14 - Captiveaire Details
M7.I - Mechanical Details
M7.2 - Mechanical Details
M8.0 - Mechanical Schedules - FF
M8.1 - Mechanical Schedules
M8.2 - Mechanical Schedules
M8.3 - Mechanical Schedules
M8.4 - Mechanical Schedules
M8.5 - Mechanical Schedules
M8.6 - Mechanical Schedules

03.25.2024

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M8.7 - Mechanical Schedules
M8.8 - Mechanical Schedules
M8.9 - Mechanical Schedules
M8.10 - Mechanical Schedules
MP3.3.1 - Partial Mechanical and Plumbing Roof Plan
MP3.3.2 - Partial Mechanical and Plumbing Roof Plan
MP3.3.3 - Partial Mechanical and Plumbing Roof Plan
MS1.1 - Enlarged Mechanical Site Plan
E0.1 - Electrical Legend & Notes
E1.1 - Level 1 - Overall Power Plan
E1.1.1 - Level 1 - Power Plan - Area 1
E1.1.2 - Level 1 - Power Plan - Area 2
E1.1.3 - Level 1 - Power Plan - Area 3
E1.1.4 - Level 1 - Power Plan - Area 4
E1.1.5 - Level 1 - Power Plan - Area 5
E1.1.6 - Level 1 - Power Plan - Area 6
E1.1.7 - Level 1 - Power Plan - Area 7
E1.1.8 - Level 1 - Power Plan - Area 8
E1.1.9 - Level 1 - Power Plan - Area 9
E1.1.10 - Level 1 - Power Plan - Area 10
E1.1.11 - Level 1 - Power Plan - Area 11
E1.1.12 - Level 1 - Power Plan - Area 12
E1.1.13 - Level 1 - Power Plan - Area 13
E1.1.14 - Level 1 - Power Plan - Area 14
E1.1.15 - Level 1 - Power Plan - Area 15
E1.1T - Level 1 Upper Tier - Overall Power Plan
E1.1T.5 - Level 1 Upper Tier - Power Plan - Area 5
E1.1T.7 - Level 1 Upper Tier - Power Plan - Area 7
E1.1T.8 - Level 1 Upper Tier - Power Plan - Area 8
E1.1T.11 - Level 1 Upper Tier - Power Plan - Area 11
E1.1T.12 - Level 1 Upper Tier - Power Plan - Area 12
E1.1T.14 - Level 1 Upper Tier - Power Plan - Area 14
E1.1T.15 - Level 1 Upper Tier - Power Plan - Area 15
E1.2 - Level 2 & Clerestory - Overall Power Plan
E1.2.2 - Level 2 - Power Plan - Area 2
E1.2.3 - Level 2 - Power Plan - Area 3
E1.3.1 - Roof - Electrical Plan - Area 1
E1.3.2 - Roof - Electrical Plan - Area 2
E1.3.3 - Roof - Electrical Plan - Area 3
E2.1 - Level 1 - Overall Lighting Plan
E2.1.1 - Level 1 - Lighting Plan - Area 1
E2.1.2 - Level 1 - Lighting Plan - Area 2
E2.1.3 - Level 1 - Lighting Plan - Area 3

03.25.2024	Construction Drawings
03.25.2024	Construction Drawings

E2.1.4 - Level 1 - Lighting Plan - Area 4
E2.1.5 - Level 1 - Lighting Plan - Area 5
E2.1.6 - Level 1 - Lighting Plan - Area 6
E2.1.7 - Level 1 - Lighting Plan - Area 7
E2.1.8 - Level 1 - Lighting Plan - Area 8
E2.1.9 - Level 1 - Lighting Plan - Area 9
E2.1.10 - Level 1 - Lighting Plan - Area 10
E2.1.11 - Level 1 - Lighting Plan - Area 11
E2.1.12 - Level 1 - Lighting Plan - Area 12
E2.1.13 - Level 1 - Lighting Plan - Area 13
E2.1.14 - Level 1 - Lighting Plan - Area 14
E2.1.15 - Level 1 - Lighting Plan - Area 15
E2.1T - Level 1 Upper Tier - Overall Lighting Plan
E2.1T.5 - Level 1 Upper Tier - Lighting Plan - Area 5
E2.1T.7 - Level 1 Upper Tier - Lighting Plan - Area 7
E2.1T.8 - Level 1 Upper Tier - Lighting Plan - Area 8
E2.1T.11 - Level 1 Upper Tier - Lighting Plan - Area 11
E2.1T.12 - Level 1 Upper Tier - Lighting Plan - Area 12
E2.1T.14 - Level 1 Upper Tier - Lighting Plan - Area 14
E2.1T.15 - Level 1 Upper Tier - Lighting Plan - Area 15
E2.2 - Level 2 & Clerestory - Overall Lighting Plan
E2.2.2 - Level 2 - Lighting Plan - Area 2
E2.2.3 - Level 2 - Lighting Plan - Area 3
E3.1 - Enlarged Electrical Plans
E3.2 - Enlarged Electrical Plans
E3.3 - Enlarged Electrical Plans
E4.1 - Electrical One-Line Diagram
E4.2 - Electrical One-Line Diagram
E5.1 - Electrical Details
E6.1 - Electrical Schedules - Luminaires Schedules
E6.2 - Electrical Schedules - Lighting Control
E6.3 - Electrical Schedules - Lighting Control
E6.4 - Electrical Schedules - Lighting Control
E6.5 - Electrical Schedules - Lighting Control
E6.6 - Electrical Schedules
E6.7 - Electrical Schedules
E6.8 - Electrical Schedules
E6.9 - Electrical Schedules
E6.10 - Electrical Schedules
E6.11 - Panel Schedules
E6.12 - Panel Schedules
E6.13 - Panel Schedules
E6.14 - Panel Schedules

03.25.2024	Construction Drawings
03.25.2024	Construction Drawings

E6.15 - Panel Schedules	03.25.2024
E6.16 - Panel Schedules	03.25.2024
E6.17 - Panel Schedules	03.25.2024
E6.18 - Panel Schedules	03.25.2024
E6.19 - Panel Schedules	03.25.2024
E6.20 - Panel Schedules	03.25.2024
E6.21 - Panel Schedules	03.25.2024
E6.22 - Panel Schedules	03.25.2024
E6.23 - Panel Schedules	03.25.2024
E6.24 - Panel Schedules	03.25.2024
E6.25 - Panel Schedules	03.25.2024
E6.26 - Panel Schedules	03.25.2024
E6.27 - Panel Schedules	03.25.2024
E6.28 - Panel Schedules	03.25.2024
E6.29 - Panel Schedules	03.25.2024
E6.30 - Panel Schedules	03.25.2024
E6.31 - Panel Schedules	03.25.2024
E6.32 - Panel Schedules	03.25.2024
E6.33 - Panel Schedules	03.25.2024
E6.34 - Panel Schedules	03.25.2024
E6.35 - Panel Schedules	03.25.2024
E6.36 - Panel Schedules	03.25.2024
E6.37 - Panel Schedules	03.25.2024
E6.38 - Panel Schedules	03.25.2024
ES1.0 - Electrical Site Plan	03.25.2024
ES1.1 - Electrical Site Details	03.25.2024
TE0.1 - Telecomm., Legend	03.25.2024
TE1.1.1 - Telecomm., Level 1 - Area 1	03.25.2024
TE1.1.2 - Telecomm., Level 1 - Area 2	03.25.2024
TE1.1.3 - Telecomm., Level 1 - Area 3	03.25.2024
TE1.1.4 - Telecomm., Level 1 - Area 4	03.25.2024
TE1.1.5 - Telecomm., Level 1 - Area 5	03.25.2024
TE1.1.6 - Telecomm., Level 1 - Area 6	03.25.2024
TE1.1.7 - Telecomm., Level 1 - Area 7	03.25.2024
TE1.1.8 - Telecomm., Level 1 - Area 8	03.25.2024
TE1.1.9 - Telecomm., Level 1 - Area 9	03.25.2024
TE1.1.10 - Telecomm., Level 1 - Area 10	03.25.2024
TE1.1.11 - Telecomm., Level 1 - Area 11	03.25.2024
TE1.1.12 - Telecomm., Level 1 - Area 12	03.25.2024
TE1.1.13 - Telecomm., Level 1 - Area 13	03.25.2024
TE1.1.14 - Telecomm., Level 1 - Area 14	03.25.2024
TE1.1.15 - Telecomm., Level 1 - Area 15	03.25.2024
TE1.1T.5 - Telecomm., Level 1 Upper Tier - Area 5	03.25.2024

TE	1.1T.7 - Telecomm., Level 1 Upper Tier - Area 7
TE	1.1T.8 - Telecomm., Level 1 Upper Tier - Area 8
TE	1.1T.11 - Telecomm., Level 1 Upper Tier - Area 11
TE	1.1T.12 - Telecomm., Level 1 Upper Tier - Area 12
TE	1.1T.14 - Telecomm., Level 1 Upper Tier - Area 14
TE	1.1T.15 - Telecomm., Level 1 Upper Tier - Area 15
TE	1.2.2 - Telecomm., Level 2 - Area 2
TE	1.2.3 - Telecomm., Level 2 - Area 3
TE	2.1A - Telecomm., Large Scale Details and Views
TE	2.1B - Telecomm., Large Scale Details and Views
TE	2.1C - Telecomm., Large Scale Details and Views
TE	2.1D - Telecomm., Large Scale Details and Views
TE	2.1E - Telecomm., Large Scale Details and Views
TE	2.1F - Telecomm., Large Scale Details and Views
TE	3.1A - Telecomm., CATV Risers
TE	3.1B - Telecomm., CATV Risers
TE	6.1 - Telecomm., Teldata & AV Details
TE	U1.0 - Telecomm., Underground, Site
FA	0.1 - Fire Alarm Legend
FA	1.0 - Fire Alarm, Site Plan
FA	1.1.1 - Fire Alarm, Level 1 - Area 1
FA	1.1.2 - Fire Alarm, Level 1 - Area 2
FA	1.1.3 - Fire Alarm, Level 1 - Area 3
FA	1.1.4 - Fire Alarm, Level 1 - Area 4
FA	1.1.5 - Fire Alarm, Level 1 - Area 5
FA	1.1.6 - Fire Alarm, Level 1 - Area 6
FA	1.1.7 - Fire Alarm, Level 1 - Area 7
FA	1.1.8 - Fire Alarm, Level 1 - Area 8
FA	1.1.9 - Fire Alarm, Level 1 - Area 9
FA	1.1.10 - Fire Alarm, Level 1 - Area 10
FA	1.1.11 - Fire Alarm, Level 1 - Area 11
FA	1.1.12 - Fire Alarm, Level 1 - Area 12
FA	1.1.13 - Fire Alarm, Level 1 - Area 13
FA	1.1.14 - Fire Alarm, Level 1 - Area 14
FA	1.1.15 - Fire Alarm, Level 1 - Area 15
FA	1.1T.5 - Fire Alarm, Level 1 Upper Tier - Area 5
FA	1.1T.7 - Fire Alarm, Level 1 Upper Tier - Area 7
FA	1.1T.8 - Fire Alarm, Level 1 Upper Tier - Area 8
FA	1.1T.11 - Fire Alarm, Level 1 Upper Tier - Area 11
FA	1.1T.12 - Fire Alarm, Level 1 Upper Tier - Area 12
FA	1.1T.14 - Fire Alarm, Level 1 Upper Tier - Area 14
FA	1.1T.15 - Fire Alarm, Level 1 Upper Tier - Area 15
	1.2.2 - Fire Alarm, Level 2 - Area 2

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FA1.2.3 - Fire Alarm, Level 2 - Area 3
FA2.1 - Fire Alarm, Smoke Control Panel
FA6.1 - Fire Alarm, Fire Alarm Details
SE0.1 - Security Electronics, Legend
SE1.0 - Security Electronics, Camera Site Plan
SE1.1.1 - Security Electronics, Level 1 - Area 1
SE1.1.2 - Security Electronics, Level 1 - Area 2
SE1.1.3 - Security Electronics, Level 1 - Area 3
SE1.1.4 - Security Electronics, Level 1 - Area 4
SE1.1.5 - Security Electronics, Level 1 - Area 5
SE1.1.6 - Security Electronics, Level 1 - Area 6
SE1.1.7 - Security Electronics, Level 1 - Area 7
SE1.1.8 - Security Electronics, Level 1 - Area 8
SE1.1.9 - Security Electronics, Level 1 - Area 9
SE1.1.10 - Security Electronics, Level 1 - Area 10
SE1.1.11 - Security Electronics, Level 1 - Area 11
SE1.1.12 - Security Electronics, Level 1 - Area 12
SE1.1.13 - Security Electronics, Level 1 - Area 13
SE1.1.14 - Security Electronics, Level 1 - Area 14
SE1.1.15 - Security Electronics, Level 1 - Area 15
SE1.1T.5 - Security Electronics, Level 1 Upper Tier - Area 5
SE1.1T.7 - Security Electronics, Level 1 Upper Tier - Area 7
SE1.1T.8 - Security Electronics, Level 1 Upper Tier - Area 8
SE1.1T.11 - Security Electronics, Level 1 Upper Tier - Area 11
SE1.1T.12 - Security Electronics, Level 1 Upper Tier - Area 12
SE1.1T.14 - Security Electronics, Level 1 Upper Tier - Area 14
SE1.1T.15 - Security Electronics, Level 1 Upper Tier - Area 15
SE1.2.2 - Security Electronics, Level 2 - Area 2
SE1.2.3 - Security Electronics, Level 2 - Area 3
SE2.1 - Security Electronics, Control Stations Details
SE2.2 - Security Electronics, Equipment Room Details
SE2.3 - Security Electronics, Equipment Room Details
SE2.4 - Security Electronics, Equipment Room Details
SE2.5 - Security Electronics, Equipment Room Details
SE2.6 - Security Electronics, Stair Details
SE3.1A - Security Electronics, Fiber Riser
SE3.2A - Security Electronics, Power Risers
SE3.2B - Security Electronics, Power Risers
SE3.2C - Security Electronics, Power Risers
SE3.3A - Security Electronics, Camera Riser
SE3.3B - Security Electronics, Camera Riser
SE3.3C - Security Electronics, Camera Riser
SE3.4A - Security Electronics, Camera Schedule

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SE3.4B - Security Electronics, Camera Schedule
SE3.4C - Security Electronics, Camera Schedule
SE3.5A - Security Electronics, PLC_IC Riser
SE3.5B - Security Electronics, PLC_IC Riser
SE3.5C - Security Electronics, PLC_IC Riser
SE3.5D - Security Electronics, PLC_IC Riser
SE3.6 - Security Electronics, Card Access Riser & Details
SE5.0 - Security Electronics, Camera View Index
SE5.1 - Security Electronics, Camera Views
SE5.2 - Security Electronics, Camera Views
SE5.3 - Security Electronics, Camera Views
SE5.4 - Security Electronics, Camera Views
SE5.5 - Security Electronics, Camera Views
SE5.6 - Security Electronics, Camera Views
SE5.7 - Security Electronics, Camera Views
SE5.8 - Security Electronics, Camera Views
SE5.9 - Security Electronics, Camera Views
SE5.10 - Security Electronics, Camera Views
SE5.11 - Security Electronics, Camera Views
SE5.12 - Security Electronics, Camera Views
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SE5.34 - Security Electronics, Camera Views
SE5.35 - Security Electronics, Camera Views

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SE5.36 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.37 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.38 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.39 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.40 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.41 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.42 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE5.43 - Security Electronics, Camera Views	03.25.2024	Construction Drawings
SE6.1 - Security Electronics, Conduit Details	03.25.2024	Construction Drawings
SE6.2 - Security Electronics, Camera Details	03.25.2024	Construction Drawings
SE6.3 - Security Electronics, Intercom & Key Cabinet Details	03.25.2024	Construction Drawings
SE6.4 - Security Electronics, UPS Details	03.25.2024	Construction Drawings



ayout: Full Sche			Page 1	of 24						
vity ID	dule Exhibit 4	Orig Re	emaining Start	Finish		024				2025
			Duration		ЛJ	Jul A S	Oct N D	JFM	A M J	Jul /
Jackson Co	bunty Detention Center DD 5-27-24 May	922	433 21-Jun-22 A	12-Feb-26						
Summary (W	/ork Days)	922	433 21-Jun-22 A	12-Feb-26						
SUM-1000	Overall Project Duration	727	390 21-Jun-22 A	10-Dec-25					<u> </u>	<u> </u>
SUM-1510	Overall Design Duration	345	14 21-Jun-22 A	14-Jun-24		Overall Desig	n Duration			
SUM-2000	Overall Construction Duration	651	390 16-May-23 A	10-Dec-25						
JED-0200	Structure Complete	0	0	25-Nov-24			♦ St	ructure Comp	plete	
JED-0300	Skin Weather Tight	0	0	23-Dec-24			•	Skin Weath	ner Tight	
JED-0400	Permanent Power Startup	0	0	03-Jan-25				Permane	nt Power Sta	rtup
JED-0500	Start Up HVAC	0	0	22-Jan-25				 Start U 	Jþ HVAC	
SUM-1520	Planning for Transition into Facility	0	0 07-May-25						🔶 Plan	ning for
SUM-1530	Anticipated Weather Days - 45/77 Used	32	32 24-Oct-25	10-Dec-25						
JED-0600	Substantial Completion / Contract End Date	0	0	10-Dec-25*						
SUM-1540	Final Move In / Transition	43	43 11-Dec-25	12-Feb-26						
JED-0700	Project / Final Completion	0	0	12-Feb-26						
SUM-1550	Final Move In / Transition Complete	0	0	12-Feb-26						
Design Pack	age, Permit, Buyout	23	34 26-Mar-24 A	15-Jul-24	11					
JCMO Desigr		0	0 14-Jun-24	14-Jun-24						
OWN-1710	Component Package 3 - Finishes Approval (100% CDs)	0	0	14-Jun-24*	•	Component I	Package 3 - F	- inishes Appr	oval (100% C	CDs)
Trade Partner		20	34 26-Mar-24 A	15-Jul-24			J J		,	Í
TPB-1120	Remaining Trade Partners Selection	20	34 26-Mar-24 A	15-Jul-24		Remaini	ng Trade Par	thers Sele ctic	on	
Procurement	t	385	239 27-Oct-23 A	06-May-25	/ -			+		·
Submittal		200	54 27-Oct-23 A	12-Aug-24						
SUB-5360	Architectural Precast Submittal(Multiple break outs to Be Submitted Through Timeframe)	64	14 27-Oct-23 A	14-Jun-24		Architectural	Precast Subr	nittal(Multiple	break outs t	o Be Sı
SUB-5400	Security Electronics & Controls Submittal	60	24 15-Dec-23 A	28-Jun-24				ontrols Subm		
VDC-5800	Component Package 3B Submittal/Buyout	20	20 16-Jul-24	12-Aug-24	-	-		age 3B Subr		
Review & App		86	64 25-Apr-24 A	26-Aug-24	/					•
RA-5510	Structural Steel REV & APP	26	4 25-Apr-24 A	31-May-24	1 S	Structural Steel	REV & APP			
RA-5440	AHU REV & APP	10	3 16-May-24 A	30-May-24	·	HU REV & AF	P			
RA-5500	Architectural Precast REV & APP	10	10 17-Jun-24	28-Jun-24	_	Architectura		V & APP		
RA-5540	Security Electronics & Controls REV & APP	10	10 01-Jul-24	15-Jul-24	1			Controls RE		
VDC-5810	Component Package 3B REV & APP	10	10 13-Aug-24	26-Aug-24	+			ckage 3B RE		/- ·
Fabricate & D		306	239 27-Dec-23 A	06-May-25						
PRO-1070	Switchgear & Parallel Gears Procurement	215	122 27-Dec-23 A	15-Nov-24			Swi	tchgear & Pa	rallel Gears F	rocure
PRO-1100	Chillers Procurement	140	43 10-Jan-24 A	26-Jul-24		Chillers	Procuremen	-		
PRO-1110	Boilers Procurement	60	48 10-Jan-24 A	02-Aug-24			Procuremer			
PRO-5280	Cooling Tower Procurement	125	32 17-Jan-24 A	11-Jul-24			ower Procure			
PRO-1050	Security Glazing Procurement	70	28 09-Feb-24 A	05-Jul-24		-	lazing Procu			
PRO-1080	Generator Procurement	210	144 23-Feb-24 A	19-Dec-24		┬ ····, ·			Procurement	
PRO-1060	Roof Procurement	140	25 05-Mar-24 A	01-Jul-24		Roof Procu	rement			
PRO-5270	HVAC Pumps Procurement	130	84 22-Mar-24 A	24-Sep-24				nps Procurem	ient	
PRO-1090	AHU Procurement	90	90 31-May-24	07-Oct-24			AHU Pro			·
PRO-1040	Structural Steel Procurement	33	33 03-Jun-24	18-Jul-24		Structure	al Steel Procu			
PRO-1020	Architectural Precast Procurement	32	32 01-Jul-24	14-Aug-24	-			ast Procurem	nent	
PRO-1020	SEC internal Hardware/PLC/GUI engineering, Fabrication, Wiring, and in-house testing Procurement	200	200 16-Jul-24	29-Apr-25	-					interna
VDC-5820	Component Package 3 Procurement	175	175 27-Aug-24	06-May-25	-					nponen
CON-10460	Detention hardware Procurement(ALAP)	80	80 10-Sep-24	03-Jan-25	+			Detention		
Precast Jail C		154	72 01-Feb-24 A	06-Sep-24						June
LIGGAST JAIL		154	12 01-1 CD-24 A	00-00p-24	41	1	1	1		

Remaining Level of Effort

Actual Work

Critical Remaining Work

Remaining Work

DD:27-May-24 Run Date: 31-May-24

Actual Level of Effort

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Milestone

Jackson County Detention Center DD 5-27-24 May Monthly

JE Dunn Construction Company June 2023GMP Master Schedule(May 2024 Progress)

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Layout: Full Sched	lule		Page 2 o	of 24	TASK filters: In Progres	s, Not Starte
Activity ID	Activity Name	Orig Rer	maining Start	Finish	2024 2025 2026	2027
			Duration		I J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D .	J F M Ap
PRE-7423	Precast Module Fabrication & Delivery - 2E101	99	12 01-Feb-24 A	12-Jun-24	Precast Module Fabrication & Delivery - 2E101	
PRE-7424	Precast Module Fabrication & Delivery - 3E101, 3E102	54	17 01-Feb-24 A	19-Jun-24	Precast Module Fabrication & Delivery - 3E101, 3E102	
PRE-7426	Precast Module Fabrication & Delivery - 4E101	118	51 01-Feb-24 A	07-Aug-24		
PRE-7427	Precast Module Fabrication & Delivery - 1A101	92	4 01-Feb-24 A	31-May-24	Precast Module Fabrication & Delivery - 1A101	
PRE-7428	Precast Module Fabrication & Delivery - 2A101, 3A101	101	8 01-Feb-24 A	06-Jun-24	Precast Module Fabrication & Delivery - 2A101, 3A101	
PRE-7429	Precast Module Fabrication & Delivery - 4A101, 5A101, 6A101	143	67 01-Feb-24 A	29-Aug-24	Precast Module Fabrication & Delivery - 4A101, 5A101, 6A101	
PRE-7430	Precast Module Fabrication & Delivery - 4B101	154	72 01-Feb-24 A	06-Sep-24	Precast Module Fabrication & Delivery - 4B101	
PRE-7431	Precast Module Fabrication & Delivery - 1G101, 2G101, 1J101	124	59 01-Feb-24 A	19-Aug-24		
PRE-7660	Precast Module QC/QA Plant Visit	1	1 21-Jun-24	21-Jun-24	I Precast Module QC/QA Plant Visit	
PRE-7670	Precast Module QC/QA Plant Visit	1	1 16-Jul-24	16-Jul-24	Precast Module QC/QA Plant Visit	
VDC MEP Coo	ordination	112	90 23-Apr-24 A	02-Oct-24		
VDC-5500	Overhead MEP Coordination Area 13, 14 & 15	40	6 23-Apr-24 A	04-Jun-24	Overhead MEP Coordination Area 13, 14 & 15	
VDC-5510	Overhead MEP Coordination Area 7 & 11	30	25 20-May-24 A	01-Jul-24	Overhead MEP Coordination Area 7 & 11	
VDC-5730	Precast Blockout Signoff - Special Housing, Medical North, Medical South, Orientation Juvenile (Area 5, 6, 9, 10)	10	5 20-May-24 A	03-Jun-24	Precast Blockout Signoff - Special Housing, Medical North, Medical South, Orientation Juvenile (Area 5, 6, 9, 10)	
VDC-5530	Overhead MEP Coordination Area 9, 10 & 14	31	31 05-Jul-24	16-Aug-24		
VDC-5540	Overhead MEP Coordination Area 5, 6 & 10	31	31 05-Jul-24	16-Aug-24		
VDC-5550	Overhead MEP Coordination Area 3 & 4	30	30 10-Jul-24	20-Aug-24		
VDC-5520	Overhead MEP Coordination Area 8 & 12	30	30 19-Aug-24	30-Sep-24		
VDC-5560	Overhead MEP Coordination Area 1 & 2	30	30 21-Aug-24	02-Oct-24	Overhead MEP Coordination Area 1 & 2	
Construction		515	338 14-Sep-23 A	25-Sep-25		
Sitework		378	201 14-Sep-23 A	13-Mar-25		
CON-10540	Settlement Consolidation Time for Pavement	195	18 14-Sep-23 A	20-Jun-24	Settlement Consolidation Time for Pavement	
CON-4880	Install Water Main Extension	20	20 21-Jun-24	19-Jul-24	Install Water Main Extension	
CON-21440	Install Private Storm Culverts	8	8 21-Jun-24	02-Jul-24	Install Private Storm Culverts	
CON-21450	Install Public Sanitry	15	15 03-Jul-24	24-Jul-24	Install Public Sanitry	
CON-21470	Install Private Storm(North)	15	15 03-Jul-24	24-Jul-24	Install Private Storm(North)	
CON-21480	Install Private Sanitary (East)	15	15 25-Jul-24	14-Aug-24		
CON-21490	Install Private Storm (East)	12	12 01-Aug-24	16-Aug-24		
CON-21520	Install Private Sanitary (West)	20	20 15-Aug-24	12-Sep-24		
CON-21510	Install Private Storm (South - Building)	20	20 19-Aug-24	16-Sep-24	Install Private Storm (South - Building)	
CON-21500	Install Private Storm (South - Parking Lots)	20	20 17-Sep-24	14-Oct-24	Install Private Storm (South - Parking Lots)	
CON-21530	Install Private Storm (West)	20	20 15-Oct-24	11-Nov-24	Install Private Storm (West)	
CON-21570	Install Water Loop (South)	15	15 15-Oct-24	04-Nov-24		
CON-21560	Install Water Loop (East)	15	15 05-Nov-24	25-Nov-24		
CON-21580	Install Public Storm (Ewing)	10	10 12-Nov-24	25-Nov-24		
CON-21550	Install Water Loop (North)	15	15 26-Nov-24	18-Dec-24		
CON-21540	Install Water Loop (West)	15	15 19-Dec-24	10-Jan-25	Install Water Loop (West)	
CON-21420	UPN (JCMO) Fiber Installed and Terminated	5	5 07-Mar-25	13-Mar-25	UPN (JCMO) Fiber Installed and Terminated	
U/G MEP & FN		86	64 23-Apr-24 A			
Crew 1		69	64 23-Apr-24 A			
4E101	SW/8V/ in Chase 4P and Shouper	12	7 20-May-24 A			
CON-18880	SW&V in Chase 4B and Showers	1	2 20-May-24 A			
CON-18860 CON-18940	Shallow electrical dayroom	0 E	2 21-May-24 A		Shallow electrical dayroom Clean up Core SW&V 4E	
		60	5 30-May-24 60 03-Jun-24	05-Jun-24 26-Aug-24		
CON-20660	h/Special Needs TBD Med N Underground Dig and Pour Ftgs	60	60 03-Jun-24 6 03-Jun-24	26-Aug-24 10-Jun-24	Med N Underground Dig and Pour Ftgs	
CON-20660 CON-20670		2	3 04-Jun-24	06-Jun-24	Med N Footings Steps and Walls	
CON-20670 CON-20680	Med N Footings Steps and Walls Med N Sleeves Through Footings	1	3 04-Jun-24 1 07-Jun-24	06-Jun-24 07-Jun-24	I Med N Footings Steps and Wais	
CON-20680 CON-20700		1	1 07-Jun-24	07-Jun-24 07-Jun-24	I Sleeve Footings Tel Com room SP 302	
CON-20700 CON-20690	Sleeve Footings Elect room SP 302	1	1 07-Jun-24	11-Jun-24	I Sleeve Footings Elect room SP 301	
CON-20690 CON-20720		1 0	2 11-Jun-24	11-Jun-24 12-Jun-24	I DF 3P302 Ground Rough	
CON-20720 CON-20710		10	10 12-Jun-24	25-Jun-24	Shallow Elec Med N	
CON-20710 CON-20730	Med N Chase Home Runs	1	10 12-Jun-24	13-Jun-24	I Med N Chase Home Runs	
CON-20730 CON-20750		2	2 14-Jun-24	13-Jun-24 17-Jun-24	Chase 1M71/1M72 Ground Rough	
CON-20730		۷	2 14-JUII-24	17-Jun-24		

Layout: Full Schedu	le		Page 3	of 24						TASK filte	ers: In Progre	ess, Not Start
Activity ID	Activity Name	OrigRe	maining Start	Finish	2024		202	5		2026		2027
			Duration		/ J Jul A S Oct N	D J F M	A M J J	ul A S Oct N	DJFMAM	M J JUI A S	O N D	JFMA
CON-20760	Chase 2M71/2M72 Ground Rough	2	2 18-Jun-24	19-Jun-24	I Chase 2M71/2M72 Gr	ound Rough						
CON-20780	Food Svc Devices from SP302	2	2 20-Jun-24	21-Jun-24	I Food Svc Devices from	SP302						
CON-20810	Area 10 Shallow San	1	1 20-Jun-24	20-Jun-24	I Area 10 Shallow San							
CON-20740	Shallow Tel Com Med N	8	8 26-Jun-24	08-Jul-24	📮 Shallow Tel Com Me	d N						
CON-20860	Deep Elec Area 9	4	4 26-Jun-24	01-Jul-24	Deep Elec Area 9							
CON-20870	Area 9 Shallow Storm	4	4 02-Jul-24	08-Jul-24	Area 9 Shallow Stor	n						
CON-20770	Med N Branch Elec	9	9 09-Jul-24	19-Jul-24	Med N Branch Ele	c						
CON-20880	Area 9 Shallow San	4	4 09-Jul-24	12-Jul-24	Area 9 Shallow Sar							
CON-20920	Shallow Elec Med S	5	5 09-Jul-24	15-Jul-24	Shallow Elec Med							
CON-20890	Area 9 N Dig and Pour Footings	6	6 15-Jul-24	22-Jul-24	Area 9 N Dig and	Pour Footings						
CON-20900	Area 9 N Footings, Steps and Walls	3	3 15-Jul-24	17-Jul-24	Area 9 N Footings	Steps and Wa	s					
CON-20940	Shallow Telecom Med S	5	5 16-Jul-24	22-Jul-24	Shallow Telecom							
CON-20910	Special Needs Sleeves through Footings	1	1 18-Jul-24	18-Jul-24	I Special Needs Sle	eves through Fo	otings					
CON-20930	IDF F302 Ground Rough	5	5 23-Jul-24	29-Jul-24	IDF F302 Ground	+						
CON-20950	Food Svc Devices from F302	2	2 30-Jul-24	31-Jul-24	Food \$vc Device	-						
CON-20960	Spec Needs Chase Homeruns	3	3 01-Aug-24	05-Aug-24	Spec Needs Ch							
CON-20970	1F71/1F72 Ground Rough	3	3 06-Aug-24	08-Aug-24	I 1F71/1F72 Gro							
CON-20980	2F71/3F71/3F72 Ground Rough	4	4 09-Aug-24	14-Aug-24	2F71/3F71/3F	U U	h					
CON-20990	4F71/5F71 Ground Rough	4	4 15-Aug-24	20-Aug-24	∎ 4F71/5F71 G							
CON-21000	Special Needs Branch	4	4 21-Aug-24	26-Aug-24	Special Need	U U						
Medical South/		34	34 23-Apr-24 A	15-Jul-24								
CON-17330	U/G MEP & Foundation Medical South Clinic(TBD)	6	6 23-Apr-24 A	04-Jun-24	U/G MEP & Foundation	/ledical South (linic(TBD)					
CON-21170	Med S. Dig and Pour Footings	8	8 28-May-24	06-Jun-24	Med S. Dig and Pour Fo							
CON-21190	Med S. Sleeves Through FTG SAN/ST/ELECT	2	2 03-Jun-24	04-Jun-24	I Med S. Sleeves Through		FCT					
CON-21200	Shallow/Branch ST Piping Post Sleeves	4	4 05-Jun-24	10-Jun-24	Shallow/Branch ST Pipir							
CON-21180	Med S. FTG Steps and Walls	2	2 07-Jun-24	10-Jun-24	Med S. FTG Steps and	•						
CON-21210	Shallow/Branch SAN Piping Post Sleeves	4	4 11-Jun-24	14-Jun-24	Shallow/Branch SAN P		25					
CON-21220	Area 6 Shallow SEC U/G	10	10 17-Jun-24	28-Jun-24	Area 6 Shallow SEC	E .						
CON-21230	Area 6 Shallow Elect U/G	5	5 09-Jul-24	15-Jul-24	Area 6 Shallow Ele							
Crew2		57	35 25-Apr-24 A	16-Jul-24								
1A101		5	0 25-Apr-24 A									
	Shallow electrical dayroom	5	0 25-Apr-24 A		Shallow electrical dayroom							
2B101,3B101,3	-			03-Jun-24	T							
,.		5	5 28-May-24									
CON-17940		5	5 28-May-24 5 28-May-24		Shallow Electrical Davroc	∔ m.3B						
	Shallow Electrical Dayroom 3B	5 5 19	5 28-May-24	03-Jun-24	Shallow Electrical Dayroc	m 3B						
4A101,5A101,6	Shallow Electrical Dayroom 3B	5 5 19 7	5 28-May-24 15 21-May-24 A	03-Jun-24 17-Jun-24								
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Layout: Full Schedu	le	Page	1 of 24			TASK filt	ers: In Progress,	Not Starter
Activity ID	Activity Name	Orig Remaining Start	Finish	2024 2025		2026		2027
		Dur Duration		M J Jul A S Oct N D J F M A M J Jul A S	Oct N D J F M A M	/I J Jul A S	O N D J	
CON-18300	Core SW&V B/W 1G,1J	5 5 05-Jun-24	11-Jun-24	Core SW&V B/W 1G,1J				
CON-18310	G302 IT Room Stub out	5 5 10-Jun-24	14-Jun-24	G302 IT Room Stub out				
CON-18320	Deep Electrical & Tele Dayroom 1G,1J	5 5 12-Jun-24	18-Jun-24	Deep Electrical & Tele Dayroom 1G,1J				
CON-18330	3 Area Drains 1J,1G	5 5 12-Jun-24	18-Jun-24	□ 3 Area Drains 1J,1G				
CON-18340	Shallow electrical dayroom	5 5 17-Jun-24	21-Jun-24	Shallow electrical dayroom				
CON-18350	Dig and Pour Footings & Sleeves	6 6 19-Jun-24	26-Jun-24	 Dig and Pour Footings & Sleeves 				
CON-18360	SW&V in Chase 1G72.1J West and Showers	7 7 27-Jun-24	08-Jul-24	SW&V in Chase 1G72,1J West and Showers				
CON-18370	Form and Pour walls for plumbing lines area 1G,1J	2 2 27-Jun-24	28-Jun-24	Form and Pour walls for plumbing lines area 1G,1J				
CON-18380	SE Underground Dayroom 1G	4 4 27-Jun-24	02-Jul-24	SE Underground Dayroom 1G				
			02-Jul-24					
CON-18390	SE Underground Dayroom 1J	3 3 27-Jun-24	01-Jul-24 02-Jul-24	SE Underground Dayroom 1J SE Underground Chase 1G72,1G71				
CON-18400	SE Underground Chase 1G72,1G71	4 4 27-Jun-24						
CON-18410	SE Underground other devices	2 2 27-Jun-24	28-Jun-24	SE Underground other devices				
CON-18420	Clean up Core SW&V 1G	3 3 09-Jul-24	11-Jul-24	Clean up Core SW&V 1G				
2G101		19 19 19-Jun-24	16-Jul-24					
CON-18430	SW&V Storm mains/Storm in 2G	2 2 19-Jun-24	20-Jun-24	I SW&V Storm mains/Storm in 2G				
CON-18440	Core Storm 2G	2 2 21-Jun-24	24-Jun-24	Core Storm 2G				
CON-18450	Core SW&V B/W 2G	3 3 21-Jun-24	25-Jun-24	Core SW&V B/W 2G				
CON-18460	G302 IT Room Stub out	2 2 25-Jun-24	26-Jun-24	G302 IT Room Stub out				
CON-18470	Deep Electrical & Tele Dayroom 2G	5 5 26-Jun-24	02-Jul-24	Deep Electrical & Tele Dayroom 2G				
CON-18480	Area Drain 2G120	2 2 26-Jun-24	27-Jun-24	I Area Drain 2G120				
CON-18490	Shallow electrical dayroom	2 2 27-Jun-24	28-Jun-24	Shallow electrical dayroom				
CON-18500	Dig and Pour Footings & Sleeves	3 3 03-Jul-24	08-Jul-24	Dig and Pour Footings & Sleeves				
CON-18510	SW&V in Chase 2G71 and Showers	4 4 09-Jul-24	12-Jul-24	SW&V in Chase 2G71 and Showers				
CON-18520	Form and Pour walls for plumbing lines area 2G	2 2 09-Jul-24	10-Jul-24	Form and Pour walls for plumbing lines area 2G				
CON-18530	SE Underground Dayroom 2G	2 2 09-Jul-24	10-Jul-24	I SE Underground Dayroom 2G				
CON-18550	SE Underground Chase 2G North,2G71	2 2 09-Jul-24	10-Jul-24	SE Underground Chase 2G North,2G71				
CON-18560	SE Underground other devices	1 1 09-Jul-24	09-Jul-24	I SE Underground other devices				
CON-18570	Clean up Core SW&V 2G	2 2 15-Jul-24	16-Jul-24	I Clean up Core SW&V 2G				
Crew 3		62 55 16-May-24 /						
Admin East		1 1 13-Aug-24	13-Aug-24					
CON-20020	Pour Exterior Admin Leadership Parking Pad	1 1 13-Aug-24	13-Aug-24	Pour Exterior Admin Leadership Parking Pad				
Admin Lobby	Tour Extend Authin Leadership Faiking Fau	10 5 20-May-24						
CON-20410	Shallow UG Elec (Lobby)	10 5 20-May-24 A		Shallow UG Elec (Lobby)				
Admin West		-		Shallow Sanitary (Intake)				
CON-20370	Shallow Sanitary (Intake)	8 1 16-May-24 /	-					
CON-20420	Shallow UG Elec (Intake)	10 10 04-Jun-24	17-Jun-24	Shallow UG Elec (Intake)				
CON-20430	Shallow UG Elec (Sallyport)	4 4 18-Jun-24	21-Jun-24	Shallow UG Elec (Sallyport)				
CON-20380	Shallow Sanitary (Sallyport)	4 4 24-Jun-24	27-Jun-24	I Shallow Sahitary (Sallyport)				
Structure		138 135 22-May-24 /						
SOG		111 108 22-May-24 A						
SOG-6	1B101 SOG	5 2 22-May-24 A	29-May-24	1B101 SOG				
SOG-8	2B & 3B SOG	4 4 04-Jun-24	07-Jun-24	2B & 3B SOG				
SOG-19	Lobby / Intake South SOG	5 5 04-Jun-24	10-Jun-24	Lobby / Intake South SOG				
SOG-11	4E101 SOG	5 5 06-Jun-24	12-Jun-24	■ 4E101 SOG				
SOG-10	4A & 5A SOG	5 5 18-Jun-24	24-Jun-24	■ 4A & 5A SOG				
SOG-12	4B101 SOG	5 5 24-Jun-24	28-Jun-24	I 4B101 SOG				
SOG-13	Medical E. SOG	4 4 24-Jun-24	27-Jun-24	I Medical E. SOG				
SOG-21	Intake/Holding North SOG	5 5 28-Jun-24	05-Jul-24	Intake/Holding North SØG				
SOG-18	Medical South (Clinic) SOG	5 5 16-Jul-24	22-Jul-24	Medical South (Clinic) SOG				
SOG-15	Medical N./Special Needs/Receiving SOG	5 5 22-Jul-24	26-Jul-24	Medical N./Special Needs/Receiving SOG	-		1	
SOG-20	1J101 SOG	5 5 23-Jul-24	29-Jul-24	I 1J101 SOG				
SOG-22	1G101 SOG	5 5 30-Jul-24	05-Aug-24	■ 1G101 SOG				
SOG-23	Vehicle Sally Port/Judges Parking SOG	5 5 06-Aug-24	12-Aug-24	Vehicle Sally Port/Judges Parking SOG				
SOG-24	2G101 SOG	5 5 06-Aug-24	12-Aug-24					
000-24	20101 000	5 00-Aug-24	12-77uy-24					

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tivity ID	Activity Name		emaining Start	Finish	2024 2025 2026	20
		Dur	Duration		M J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A	SONDJF
SOG-17	2F101 SOG	5	5 27-Aug-24	03-Sep-24	■ 2F101 SOG	
CON-5270	Admin SOD - Prep & Pour Level 2 Elevated Deck	15	15 08-Oct-24	28-Oct-24	Admin SOD - Prep & Pour Level 2 Elevated Deck	
Precast		130	130 28-May-24	27-Nov-24		
Crew A - Walls	s & HC	130	130 28-May-24	27-Nov-24		
CON-18980	1E101 - West Medium / Min Housing - Modules	2	2 28-May-24	29-May-24	1E101 - West Medium / Min Housing - Modules	
CON-4460	2A CUP Precast Walls(Cr-A)	10	10 30-May-24	12-Jun-24	A CUP Precast Walls(Cr-A)	
CON-4060	Food Service / Laundry - Walls & HC(Cr-A)	10	10 13-Jun-24	26-Jun-24	Food Service / Laundry - Walls & HC(Cr-A)	
CON-3940	2E101 - West Medium / Min Housing - Modules(Cr-A)	4	4 27-Jun-24	02-Jul-24	2E101 - West Medium / Min Housing - Modules(Cr-A)	
CON-3960	3E101,3E102 - East Medium / Min Housing - Modules(Cr-A)	4	4 03-Jul-24	09-Jul-24	3E101,3E102 - East Medium / Min Housing - Modules(Cr-A)	
CON-4510	1E101,2E101 - North Medium / Min Housing - Walls & HC(Cr-A)	10	10 17-Jul-24	30-Jul-24	1E101,2E101 - North Medium / Min Housing - Walls & HC(Cr-A)	
CON-4590	3E101,3E102 - North Medium / Min Housing - Walls & HC(Cr-A)	10	10 31-Jul-24	13-Aug-24	■ 3E101,3E102 - North Medium / Min Housing - Walls & HC(Cr-A)	
CON-18990	4E101 - North Medium / Min Housing - Modules(Cr-A)	3	3 14-Aug-24	16-Aug-24	4E101 - North Medium / Min Housing - Modules(Cr-A)	
CON-19000	4E101,Food Service - North Medium / Min Housing - Walls & HC(Cr-A)	11	11 19-Aug-24	03-Sep-24	4E101,Food Service - North Medium / Min Housing - Walls & HC(Cr-A)	
CON-4170	4A101,5A101,6A101 - East Medium / Min Housing - Modules(Cr-A)	2	2 05-Sep-24	06-Sep-24	4A101,5A101,6A101 - East Medium / Min Housing - Modules(Cr-A)	
CON-4490	4A101,5A101,6A101 - East Medium / Minimum - Walls & HC(Cr-A)	10	10 09-Sep-24	20-Sep-24	4A101,5A101,6A101 - East Medium / Minimum - Walls & HC(Cr-A)	
CON-4640	4B101 - East Medium / Min Housing - Modules(Cr-A)	3	3 23-Sep-24	25-Sep-24	4B101 - East Medium / Min Housing - Modules(Cr-A)	
CON-4570	4B101 East Medium / Minimum - Walls & HC(Cr-A)	10	10 26-Sep-24	09-Oct-24	4B101 East Medium / Minimum - Walls & HC(Cr-A)	
CON-4080	Medical North & Special Needs - Walls & HC(Cr-A)	20	20 10-Oct-24	06-Nov-24	Medical North & Special Needs - Walls & HC(Cr-A)	
CON-4070	Medical South Clinic - Walls & HC(Cr-A)	15	15 07-Nov-24	27-Nov-24	Medical South Clinic - Walls & HC(Cr-A)	
Crew B - Mod	lules & HC	102	102 10-Jun-24	31-Oct-24		
CON-3950	1A, 2A, 3A 101 - South Medium / Min Housing/ South Half - Modules(Cr-B)	5	5 10-Jun-24	14-Jun-24	IA, 2A, 3A 101 - South Medium / Min Housing/ South Half - Modules(Cr-B)	
CON-21120	1A, 2A, 3A 101 - East Medium / Min Housing / South Half (Wall Hollow Core)(CR-B)	19	19 17-Jun-24	12-Jul-24	1A, 2A, 3A 101 - East Medium / Min Housing / Sputh Half (Wall Hollow Core)(CR-B)	
CON-19400	Admin Precast Walls (Load Bearing)	21	21 15-Jul-24	12-Aug-24	Admin Precast Walls (Load Bearing)	
CON-5200N		4	4 13-Aug-24	16-Aug-24	■ 1A, 2A, 3A 101 - Module North half (Cr-B)	
CON-4470	1A101,2A101,3A101 East Medium / Minimum / North Half - Walls & HC(Cr-B)	6	6 19-Aug-24	26-Aug-24	 IA101.2A101.3A101 East Medium / Minimum / North Half - Walls & HC(Cr-B) 	
CON-4630	1B101,2B101,3B101 - East Medium / Min Housing - Modules(Cr-B)	6	6 27-Aug-24	04-Sep-24	■ 1B101,2B101,3B101 - East Medium / Min Housing - Modules(Cr-B)	
CON-5260N	1B101,2B101,3B101 - Walls & HC(Cr-B)	22	22 05-Sep-24	04-Oct-24	1B101,2B101,3B101 - Walls & HC(Cr-B)	
CON-3970	1G101,2G101,1J101 - Orientation - Modules(Cr-B)	4	4 07-Oct-24	10-Oct-24	□ 1G101,2G101,1J101 - Orientation - Modules(Cr-₽)	
CON-4670	1G101,2G101,1J101 - Orientation - Walls & HC(Cr-B)	15	15 11-Oct-24	31-Oct-24	IG101,2G101,1J101 - Orientation - Walls & HC(Cr-B)	
Crew C - Wal		20	20 29-Oct-24	25-Nov-24		
CON-5060	Admin Precast Skin Walls (East)(Cr-C)	10	10 29-Oct-24	11-Nov-24	Admin Precast Skin Walls (East)(Cr-C)	
CON-4160	Admin Precast Skin Walls (West)(Cr-C)	10	10 29-001-24 10 12-Nov-24	25-Nov-24	Admin Precast Skin Walls (West)(Cr-C)	
Steel	Authin Frecast Shiri Walls (West)(CFC)	40	40 12-Aug-24	07-Oct-24		
	Admin / Intel/a / Courte - Structurel Steel				Admin / Intel/o / Country Structural Stack	
CON-3420	Admin / Intake / Courts - Structural Steel	40	40 12-Aug-24	07-Oct-24	Admin / Intake / Courts - Structural Steel	
Pour Backs	44404 Fast Madium / Min Hausing Challey H/O MED & COO @ Davy Bask	121	121 17-Jun-24	06-Dec-24		
CON-4530	1A101 - East Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	5	5 17-Jun-24	21-Jun-24	I 1A101 - East Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	
CON-5210N	2A101, 2B101 - Shallow U/G MEP & SOG @ Pour Back	5	5 19-Aug-24	23-Aug-24	2A101, 2B101 - Shallow U/G MEP & SOG @ Pour Back 1B101 - Station (Min Hausing Shallow U/C MER & SOC @ Pour Back	
CON-4680	1B101 - East Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	5	5 05-Sep-24	11-Sep-24	■ 1B101 - East Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	
CON-4550	1E101,2E101 - North Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	5	5 12-Sep-24	18-Sep-24	1E101,2E101 - North Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	
CON-4700	3E101,3E102,4E101 - North Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	5	5 19-Sep-24	25-Sep-24	■ 3E101,3E102,4E101 - North Medium / Min Housing - Shallow U/G MEP & SOG @ Pour Back	
CON-4560	1G101,2G101 - Orientation - Shallow U/G MEP & SOG @ Pour Back	5	5 11-Oct-24	17-Oct-24	■ 1G101,2G101 - Orientation - Shallow U/G MEP & SOG @ Pour Back	
CON-5100	Special Needs - Shallow U/G MEP & SOG @ Pour Back	5	5 07-Nov-24	13-Nov-24	Special Needs - Shallow U/G MEP & SOG @ Pour Back	
CON-4710	Medical - Shallow U/G MEP & SOG @ Pour Back	5	5 02-Dec-24	06-Dec-24	Medical - Shallow U/G MEP & SOG @ Pour Back	
Enclosure		174	174 13-Jun-24	20-Feb-25		
Skin		126	126 13-Jun-24	11-Dec-24		
CON-3500	Zone 1 - CUP, North Dayrooms, & Additional Support - Enclosure	10	10 13-Jun-24	26-Jun-24	Zone 1 - CUP, North Dayrooms, & Additional Support - Enclosure	
CON-3510	Zone 2 - East Dayrooms - Enclosure	10	10 27-Jun-24	11-Jul-24	Zone 2 - East Dayrooms - Enclosure	
CON-5080	Admin Glazing - Enclosure	10	10 26-Nov-24	11-Dec-24	Admin Glazing - Enclosure	
Roof		174	174 13-Jun-24	20-Feb-25		
Crew 1		121	121 02-Jul-24	23-Dec-24		
CON-3460	Food Service / Laundry / Receiving Roof Blocking & Dry-in	12	12 02-Jul-24	18-Jul-24	Food Service / Laundry / Receiving Roof Blocking & Dry-in	
CON-2710	1B101 Roof Dry-in	15	15 18-Sep-24	08-Oct-24	1B101 Roof Dry-in	
CON-2730	3A101, 4A101, 5A101, 6A101 Roof Dry-in	15	15 23-Sep-24	11-Oct-24	3A101, 4A101, 5A101, 6A101 Roof Dry-in	
					2A101, 2B101 Roof Dry-in	

Layout: Full Schedu	ule		Page	6 of 24	TASK filters: In Progress, Not Start
ctivity ID	Activity Name	Orig Remain		Finish	2024 2025 2026 2027
		Dur Dura	ation		I J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A S Oct N D J F M A M J Jul A S O N D J F M A
CON-2740	3B101, 3B102, 4B101 Roof Dry-in	15	15 10-Oct-24	30-Oct-24	3B101, 3B102, 4B101 Roof Dry-n
CON-3450	Medical South / Clinic -Roof Dry-in	19	19 31-Oct-24	26-Nov-24	Medical South / Clinic -Roof Dry-in
CON-2690	1G101,2G101,1J101 Roof Dry-in	17	17 27-Nov-24	23-Dec-24	1G101,2G101,1J101 Roof Dry-in
Crew 2		174	174 13-Jun-24	20-Feb-25	
CON-3480	CUP - Roof Blocking & Dry-in	10	10 13-Jun-24	26-Jun-24	CUP - Roof Blocking & Dry-in
CON-2660	1E101,2E101 Roof Dry-in	15	15 03-Jul-24	24-Jul-24	■ 1E101,2E101 Roof Dry-in
CON-2680	3E101,3E102,4E101 Roof Dry-in	15	15 14-Aug-24	04-Sep-24	3E101,3E102,4E101 Roof Dry-in
CON-2700	1A101 Roof Dry-in	15	15 27-Aug-24	17-Sep-24	1A101 Roof Dry-in
CON-3470	Admin / Intake / Courts - Roof Blocking & Dry-in (East)	30	30 29-Oct-24	11-Dec-24	Admin / Intake / Courts - Roof Blocking & Dry-in (East)
CON-5070	Admin / Intake / Courts - Roof Blocking & Dry-in (West)	27	27 12-Dec-24	22-Jan-25	Admin / Intake / Courts - Roof Blocking & Dry-in (West)
CON-3440	Medical North / Special Needs - Roof Dry-in	21	21 23-Jan-25	20-Feb-25	Medical North / \$pecial Needs - Roof Dry-in
Interior Finishe	es	326	326 13-Jun-24	25-Sep-25	
Chase MEP		265	265 30-Jul-24	15-Aug-25	
Crew 1		158	158 26-Aug-24	11-Apr-25	
Chase 1A72,	,1A71	60	60 26-Aug-24	19-Nov-24	
CON-12650	Structure Complete 1A72,1A71	0	0	26-Aug-24	♦ Structure Complete 1A72,1A71
CON-12660	Grout Module Bases 1A72,1A71	4	4 27-Aug-24	30-Aug-24	Grout Module Bases 1A72,1A71
CON-12670	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1A72,1A71	2	2 03-Sep-24	04-Sep-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1A72,1A71
CON-12680	HV/LV above slab Conduits 1A72,1A71	4	4 05-Sep-24	10-Sep-24	HV/LV above slab Conduits 1A72,1A71
CON-12690	Sprinkler piping Mezz level mains and branch 1A72,1A71	3	3 11-Sep-24	13-Sep-24	Sprinkler piping Mezz level mains and branch 1A72,1A71
CON-12700	Roof drains and High ST piping / any SAN vent stacks above duct 1A72,1A71	3	3 16-Sep-24	18-Sep-24	Roof drains and High ST piping / any SAN vent stacks above duct 1A72,1A71
CON-12710	Insulate roof drain verts/DWV/HHW/CHW Piping 1A72,1A71	2	2 19-Sep-24	20-Sep-24	I Insulate roof drain verts/DWV/HHW/CHW Piping 1A72,1A71
CON-12720	HVAC Trunks and Mains / Top Taps 1A72,1A71	5	5 23-Sep-24	27-Sep-24	HVAC Trunks and Mains / Top Taps 1A72,1A71
CON-12730		2	2 30-Sep-24	01-Oct-24	Insulate high duct 1A72 1A71
CON-12740		3	3 02-Oct-24	04-Oct-24	Sprinkler piping mains and lower module taps 1A72,1A71
CON-12750		4	4 07-Oct-24	10-Oct-24	Hot/Cold Domestic water mains and branch 1A72.1A71
CON-12760		3	3 11-Oct-24	15-Oct-24	Pull HV /LV wire 1A72.1A71
CON-12770		5	5 16-Oct-24	22-Oct-24	Pull LV/Security Wire 1A72,1A71
CON-12780		6	6 23-Oct-24	30-Oct-24	DWV lower piping and domestic final connections 1A72,1A71
CON-12790		1	1 31-Oct-24	31-Oct-24	Domestic Water & DWV Testing 1A72,1A71
	Lower Duct Taps 1A72,1A71	4	4 01-Nov-24		Lower Duct Taps 1A72.1A71
	Insulate all lower duct taps and Domestic water assemblies 1A72,1A71	7	7 07-Nov-24	15-Nov-24	Insulate all lower duct taps and Domestic water assemblies 1A72,1A71
	Fire Alarm/Light Fixture Install 1A72,1A71	2	2 18-Nov-24	19-Nov-24	Fire Alarm/Light Fixture Install 1A72,1A71
Chase 1B72,		85	85 11-Sep-24	14-Jan-25	
	Structure Complete 1B72,1B71	0	0	11-Sep-24	♦ \$tructure Complete 1B72,1B71
CON-13020		4	4 12-Sep-24	17-Sep-24	Grout Module Bases 1B72,1B71
CON-13030		2	2 30-Oct-24	31-Oct-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1B72,1B71
CON-13030		<u> </u>	4 05-Nov-24	08-Nov-24	 I HV/LV above slab Conduits 1B72,1B71
CON-13040		3	3 11-Nov-24	13-Nov-24	Sprinkler piping Mezz level mains and branch 1B72,1B71
CON-13060		3	3 14-Nov-24	18-Nov-24	Roof drains and High ST piping / any SAN vent stacks above duct 1B72,1B71
CON-13070		2	2 19-Nov-24	20-Nov-24	Insulate roof drain verts/DWV/HHW/CHW Piping 1B72,1B71
CON-13070		5	5 21-Nov-24	20-Nov-24 27-Nov-24	HVAC Trunks and Mains / Top Taps 1B72,1B71
		5	2 02-Dec-24	03-Dec-24	
CON-13090		2			Insulate high duct 1B72,1B71
CON-13100		<u>ئ</u>	3 04-Dec-24	06-Dec-24	Sprinkler piping mains and lower module taps 1B72,1B71
CON-13110		3	3 09-Dec-24	11-Dec-24	Hot/Cold Domestic water mains and branch 1B72,1B71
CON-13120		3	3 12-Dec-24	16-Dec-24	Pull HV / LV wire 1B72,1B71
CON-13130		5	5 17-Dec-24	23-Dec-24	Pull LV/Security Wire 1B72,1B71
CON-13140		3	3 24-Dec-24	27-Dec-24	DWV lower piping and domestic final connections 1B72,1B71
CON-13150		1	1 30-Dec-24	30-Dec-24	Domestic Water & DWV Testing 1B72, 1B71
CON-13160		4	4 31-Dec-24	06-Jan-25	Lower Duct Taps 1B72,1B71
CON-13170		4	4 07-Jan-25	10-Jan-25	Insulate all lower duct taps and Domestic water assemblies 1B72,1B71
	Fire Alarm/Light Fixture Install 1B72,1B71	2	2 13-Jan-25	14-Jan-25	Fire Alarm/Light Fixture Install 1B72,1B71
Chase 2A72,		117	117 18-Sep-24	06-Mar-25	
CON-12840	Grout Module Bases 2A72,2A71,3A71	7	7 18-Sep-24	26-Sep-24	Grout Module Bases 2A72,2A71,3A71

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vity ID	Activity Name	Orig Remaining Start Dur Duration	Finish	2024 2025 2026 2027
001140050			00 No. 04	I J JUI A S Oct N D J F M A M J JUI A S Oct N D J F M A M J JUI A S O N D J F M
CON-12850		4 4 01-Nov-24	06-Nov-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 2A72,2A71,3A71
CON-12860		7 7 07-Nov-24	15-Nov-24	HV/LV above slab Conduits 2A72,2A71,3A71
CON-12870		5 5 18-Nov-24	22-Nov-24	Sprinkler piping Mezz level mains and branch 2A72,2A71,3A71
CON-12880		7 7 25-Nov-24	05-Dec-24	■ Roof drains and High ST piping / any SAN vent stacks above duct 2A72,2A71,3A71
CON-12890		4 4 06-Dec-24	11-Dec-24	■ Insulate roof drain verts/DWV/HHW/CHW Piping 2A72,2A71,3A71
CON-12900		7 7 12-Dec-24	20-Dec-24	HVAC Trunks and Mains / Top Taps 2A72,2A71,3A71
CON-12910		3 3 23-Dec-24	26-Dec-24	Insulate high duct 2A72,2A71,3A71
CON-12920		5 5 27-Dec-24	03-Jan-25	Sprinkler piping mains and lower module taps 2A72,2A71,3A71
CON-12930		6 6 06-Jan-25	13-Jan-25	Hot/Cold Domestic water mains and branch 2A72,2A71,3A71
CON-12940		6 6 14-Jan-25	22-Jan-25	Pull HV / LV wire 2A72,2A71,3A71
CON-12950		7 7 23-Jan-25	31-Jan-25	Pull LV/Security Wire 2A72,2A71,3A71
CON-12960		7 7 03-Feb-25	11-Feb-25	■ DWV lower piping and domestic final connections 2A72,2A71,3A71
CON-12970		2 2 2 12-Feb-25	13-Feb-25	Domestic Water & DWV Testing 2A72,2A71,3A71
CON-12980	Lower Duct Taps 2A72,2A71,3A71	5 5 14-Feb-25	20-Feb-25	Lower Duct Taps 2A72,2A71,3A71
CON-12990		7 7 21-Feb-25	03-Mar-25	Insulate all lower duct taps and Domestic water assemblies 2A72,2A71,3A71
CON-13000	Fire Alarm/Light Fixture Install 2A72,2A71,3A71	3 3 04-Mar-25	06-Mar-25	Fire Alarm/Light Fixture Install 2A72,2A71,3A71
Chase 2B71,2		110 110 04-Oct-24	14-Mar-25	
CON-14270	Structure Complete 2B71,2B72,3B71	0 0	04-Oct-24	Structure Complete 2B71,2B72,3B71
CON-14280	Grout Module Bases 2B71,2B72,3B71	7 7 07-Oct-24	15-Oct-24	Grout Module Bases 2B71,2B72,3B71
CON-14290	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 2B71,2B72,3B71	4 4 07-Nov-24	12-Nov-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 2B71,2B72,3B71
CON-14300	HV/LV above slab Conduits 2B71,2B72,3B71	7 7 7 18-Nov-24	26-Nov-24	HV/LV above slab Conduits 2B71,2B72,3B71
CON-14310	Sprinkler piping Mezz level mains and branch 2B71,2B72,3B71	5 5 27-Nov-24	05-Dec-24	Sprinkler piping Mezz level mains and branch 2B71,2B72,3B71
CON-14320	Roof drains and High ST piping / any SAN vent stacks above duct 2B71,2B72,3B71	5 5 06-Dec-24	12-Dec-24	Roof drains and High ST piping / any SAN vent stacks above duct 2B71,2B72,3B71
CON-14330	Insulate roof drain verts/DWV/HHW/CHW Piping 2B71,2B72,3B71	4 4 13-Dec-24	18-Dec-24	Insulate roof drain verts/DWV/HHW/CHW Piping 2B71,2B72,3B71
CON-14340	HVAC Trunks and Mains / Top Taps 2B71,2B72,3B71	7 7 23-Dec-24	02-Jan-25	HVAC Trumks and Mains / Top Taps 2B71,2B72,3B71
CON-14350	Insulate high duct 2B71,2B72,3B71	3 3 03-Jan-25	07-Jan-25	Insulate high duct 2B71,2B72,3B71
CON-14360	Sprinkler piping mains and lower module taps 2B71,2B72,3B71	5 5 08-Jan-25	14-Jan-25	Sprinkler piping mains and lower module taps 2B71,2B72,3B71
CON-14370		4 4 15-Jan-25	21-Jan-25	Hot/Cold Domestic water mains and branch 2B71,2B72,3B71
CON-14380	Pull HV / LV wire 2B71,2B72,3B71	6 6 22-Jan-25	29-Jan-25	■ Pull HV / LV wire 2B71,2B72,3B71
CON-14390		7 7 30-Jan-25	07-Feb-25	■ Pull LV/Security Wire 2B71,2B72,3B71
	DWV lower piping and domestic final connections 2B71,2B72,3B71	4 4 10-Feb-25	13-Feb-25	DWV lower piping and domestic final connections 2B71,2B72,3B71
	Domestic Water & DWV Testing 2B71,2B72,3B71	2 2 14-Feb-25	17-Feb-25	Domestic Water & DWV Testing 2B71,2B72,3B71
CON-14420		5 5 18-Feb-25	24-Feb-25	Lower Duct Taps 2B71,2B72,3B71
CON-14430		6 6 04-Mar-25	11-Mar-25	 Insulate all lower duct taps and Domestic water assemblies 2B71,2B72,3B71
	Fire Alarm/Light Fixture Install 2B71,2B72,3B71	3 3 12-Mar-25	14-Mar-25	Fire Alarm/Light Fixture Install 2B71,2B72,3B71
CON-14440 Chase 4A72,4		126 126 20-Sep-24	24-Mar-25	
	Structure Complete 4A72,4A71	0 0	24-Mar-23 20-Sep-24	♦ Structure Complete 4A72 4A71
CON-14460		4 4 16-Oct-24	21-Oct-24	Grout Module Bases 4A72,4A71
CON-14470		2 2 22-Oct-24	23-Oct-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 4A72,4A71
CON-14470 CON-14480		4 4 24-Oct-24	23-Oct-24 29-Oct-24	HV/LV above slab Conduits 4A72.4A71
CON-14490		3 3 30-Oct-24	01-Nov-24	Sprinkler piping Mezz level mains and branch 4A72,4A71
CON-14500		3 3 04-Nov-24	06-Nov-24	Roof drains and High ST piping/ any SAN vent stacks above duct 4A72,4A71
CON-14510		2 2 19-Dec-24	20-Dec-24	I Insulate roof drain verts/DWV/HHW/CHW Piping 4A72,4A71
CON-14520		5 5 03-Jan-25	09-Jan-25	HVAC Trunks and Mains / Top Taps 4A72,4A71
CON-14530		2 2 10-Jan-25	13-Jan-25	Insulate high duct 4A72,4A71
CON-14540		3 3 15-Jan-25	17-Jan-25	Sprinkler piping mains and lower module taps 4A72,4A71
CON-14550		5 5 22-Jan-25	28-Jan-25	Hot/Cold Domestic water mains and branch 4A72,4A71
CON-14560		3 3 30-Jan-25	03-Feb-25	
CON-14570		5 5 10-Feb-25	14-Feb-25	Pull LV/Security Wire 4A72,4A71
CON-14580		6 6 17-Feb-25	24-Feb-25	DWV lower piping and domestic final connections 4A72,4A71
CON-14590		1 1 25-Feb-25	25-Feb-25	I Domestic Water & DWV Testing 4A72,4A71
CON-14600		4 4 26-Feb-25	03-Mar-25	Lower Duct Taps 4A72,4A71
	Inculate all lower dust tone and Demostic water accomplian 1472 1471	7 7 40 Ман ОГ	20 Mar 25	Includes all lower dust tank and Demostic unter accomplice 4072 4074
CON-14610	Insulate all lower duct taps and Domestic water assemblies 4A72,4A71	7 7 12-Mar-25	20-Mar-25	Insulate all lower duct taps and Domestic water assemblies 4A72,4A71

Layout: Full Schedu	ule		Page	8 of 24	TASK filters: In Progress, Not S
tivity ID	Activity Name		emaining Start	Finish	2024 2025 2026 202
		Dur	Duration		1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A J Jul F N A S Oct N D J F M A M J Jul A S O N D J F M
Chase 4B71,		120	120 09-Oct-24	02-Apr-25	
	Structure Complete 4B71,4B72	0	0	09-Oct-24	◆ Structure Complete 4B71,4B72
.	Grout Module Bases 4B71,4B72	4	4 22-Oct-24	25-Oct-24	Grout Module Bases 4B71,4B72
CON-14650		2	2 28-Oct-24	29-Oct-24	I Joint Sealants / Fire Stopping between modules, wall panels, HC panels 4B71,4B72
CON-14660		4	4 30-Oct-24	04-Nov-24	HV/LV above slab Conduits 4B71,4B72
CON-14670		3	3 05-Nov-24	07-Nov-24	Sprinkler piping Mezz level mains and branch 4B71,4B72
CON-14680		3	3 08-Nov-24	12-Nov-24	Roof drains and High ST piping / any SAN vent stacks above duct 4B71,4B72
CON-14690		2	2 23-Dec-24	24-Dec-24	I Insulate roof drain verts/DWV/HHW/CHW Piping 4B71,4B72
CON-14700		5	5 10-Jan-25	16-Jan-25	HVAC Trunks and Mains / Top Taps 4B71,4B72
CON-14710		2	2 17-Jan-25	21-Jan-25	Insulate high duct 4B71,4B72
CON-14720		3	3 22-Jan-25	24-Jan-25	Sprinkler piping mains and lower module taps 4B71,4B72
CON-14730		4	4 29-Jan-25	03-Feb-25	Hot/Cold Domestic water mains and branch 4B71,4B72
CON-14740		3	3 04-Feb-25	06-Feb-25	Pull HV / LV wire 4B71,4B72
CON-14750		5	5 17-Feb-25	21-Feb-25	Pull LV/Security Wire 4B71,4B72
CON-14760		6	6 25-Feb-25	04-Mar-25	DWV lower piping and domestic final connections 4B71,4B72
CON-14770	Domestic Water & DWV Testing 4B71,4B72	1	1 05-Mar-25	05-Mar-25	I Domestic Water & DWV Testing 4B71,4B72
CON-14780	Lower Duct Taps 4B71,4B72	4	4 06-Mar-25	11-Mar-25	Lower Duct Taps 4B71,4B72
CON-14790		7	7 21-Mar-25	31-Mar-25	Insulate all lower duct taps and Domestic water assemblies 4B71,4B72
CON-14800	Fire Alarm/Light Fixture Install 4B71,4B72	2	2 01-Apr-25	02-Apr-25	Fire Alarm/Light Fixture Install 4B71,4B72
Chase 1G72,	1671	111	111 31-Oct-24	11-Apr-25	
CON-13730	Structure Complete 1G72,1G71	0	0	31-Oct-24	◆ Structure Complete 1G72,1G71
CON-13740	Grout Module Bases 1G72,1G71	4	4 01-Nov-24	06-Nov-24	Grout Module Bases 1G72,1G71
CON-13750	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1G72,1G71	2	2 07-Nov-24	08-Nov-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1G72,1G71
CON-13760	HV/LV above slab Conduits 1G72,1G71	4	4 11-Nov-24	14-Nov-24	I HV/LV above slab Conduits 1G72,1G71
CON-13770	Sprinkler piping Mezz level mains and branch 1G72,1G71	3	3 15-Nov-24	19-Nov-24	Sprinkler piping Mezz level mains and branch 1G72,1G71
CON-13780	Roof drains and High ST piping / any SAN vent stacks above duct 1G72,1G71	3	3 20-Nov-24	22-Nov-24	Roof drains and High ST piping / any SAN vent stacks above duct 1G72,1G71
CON-13790	Insulate roof drain verts/DWV/HHW/CHW Piping 1G72,1G71	2	2 26-Dec-24	27-Dec-24	I Insulate roof drain verts/DWV/HHW/CHW Piping 1G72,1G71
CON-13800	HVAC Trunks and Mains / Top Taps 1G72,1G71	5	5 17-Jan-25	24-Jan-25	HVAC Trunks and Mains / Top Taps 1G72,1G71
CON-13810	Insulate high duct 1G72,1G71	2	2 27-Jan-25	28-Jan-25	I Insulate high duct 1G72,1G71
CON-13820	Sprinkler piping mains and lower module taps 1G72,1G71	3	3 29-Jan-25	31-Jan-25	Sprinkler piping mains and lower module taps 1G72,1G71
CON-13830	Hot/Cold Domestic water mains and branch 1G72,1G71	4	4 04-Feb-25	07-Feb-25	Hot/Cold Domestic water mains and branch 1G72,1G71
CON-13840	Pull HV / LV wire 1G72,1G71	3	3 10-Feb-25	12-Feb-25	Pull HV / LV wire 1G72,1G71
CON-13850	Pull LV/Security Wire 1G72,1G71	5	5 24-Feb-25	28-Feb-25	Pull LV/Security Wire 1G72,1G71
CON-13860	DWV lower piping and domestic final connections 1G72,1G71	6	6 05-Mar-25	12-Mar-25	DWV lower piping and domestic final connections 1G72,1G71
CON-13870	Domestic Water & DWV Testing 1G72,1G71	1	1 13-Mar-25	13-Mar-25	Domestic Water & DWV Testing 1G72,1G71
CON-13880	Lower Duct Taps 1G72,1G71	4	4 14-Mar-25	19-Mar-25	Lower Duct Taps 1G72,1G71
CON-13890	Insulate all lower duct taps and Domestic water assemblies 1G72,1G71	7	7 01-Apr-25	09-Apr-25	Insulate all lower duct taps and Domestic water assemblies 1G72,1G71
CON-13900	Fire Alarm/Light Fixture Install 1G72,1G71	2	2 10-Apr-25	11-Apr-25	Fire Alarm/Light Fixture Install 1G72,1G71
Crew 2		265	265 30-Jul-24	15-Aug-25	
Chase 1E72,	1E71	68	68 30-Jul-24	04-Nov-24	
CON-14810	Structure Complete 1E72,1E71	0	0	30-Jul-24	♦ Structure Complete 1E72,1E71
CON-14820	Grout Module Bases 1E72,1E71	4	4 31-Jul-24	05-Aug-24	Grout Module Bases 1E72,1E71
CON-14830		2	2 06-Aug-24	07-Aug-24	I Joint Sealants / Fire Stopping between modules, wall panels, HC panels 1E72,1E71
CON-14840		4	4 19-Aug-24	22-Aug-24	HV/LV above slab Conduits 1E72,1E71
CON-14850		3	3 23-Aug-24	27-Aug-24	Sprinkler piping Mezz level mains and branch 1E72,1E71
CON-14860		3	3 28-Aug-24	30-Aug-24	Roof drains and High ST piping / any SAN vent stacks above duct 1E72,1E71
CON-14870		2	2 03-Sep-24	04-Sep-24	Insulate roof drain verts/DWV/HHW/CHW Piping 1E72,1E71
CON-14880		5	5 05-Sep-24	11-Sep-24	HVAC Trunks and Mains / Top Taps 1E72,1E71
CON-14890		2	2 12-Sep-24	13-Sep-24	I Insulate high duct 1E72,1E71
CON-14900	-	3	3 16-Sep-24	18-Sep-24	Sprinkler piping mains and lower module taps 1E72,1E71
CON-14910		5	5 19-Sep-24	25-Sep-24	 Hot/Cold Domestic water mains and branch 1E72,1E71
CON-14910 CON-14920		3	3 26-Sep-24	30-Sep-24	Pull HV / LV wire 1E72,1E71
CON-14920		5	5 01-Oct-24	07-Oct-24	Pull LV/Security Wire 1E72,1E71
	DWV lower piping and domestic final connections 1E72,1E71	J	6 08-Oct-24	15-Oct-24	
UUN-14940		Ö	0 00-001-24	10-001-24	DWV lower piping and domestic final connections 1E72,1E71

Layout: Full Sched	ule		Page 9 of 24	TASK filters: In Progress, No
Activity ID	Activity Name	Orig Remaining Star	-	2024 2025 2026 2
		Dur Duration		I J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A S O N D J F M A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M A M Jul A S O N D Jul A S O N D Jul A S O N
CON-14950		1 1 16-0	Oct-24 16-Oct-24	I Domestic Water & DWV Testing 1E72,1E71
CON-14960		4 4 17-0		Lower Duct Taps 1E72,1E71
	Insulate all lower duct taps and Domestic water assemblies 1E72,1E71	7 7 23-0		Insulate all lower duct taps and Domestic water assemblies 1E72,1E71
CON-14980	Fire Alarm/Light Fixture Install 1E72,1E71	2 2 01-1	lov-24 04-Nov-24	Fire Alarm/Light Fixture Install 1E72,1E71
Chase 2E71,	,2E72	75 75 30-		
CON-11401	Structure Complete 2E71,2E72	0 0	30-Jul-24	♦ Structure Complete 2E71,2E72
CON-11400	Grout Module Bases 2E71,2E72	4 4 06-4	Aug-24 09-Aug-24	Grout Module Bases 2E71,2E72
CON-11410		2 2 12-4	0 0	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 2E71,2E72
CON-11420	HV/LV above slab Conduits 2E71,2E72	4 4 23-4	° °	HV/LV above slab Conduits 2E71,2E72
CON-11430		3 3 29-4		Sprinkler piping Mezz level mains and branch 2E71,2E72
CON-11440		3 3 04-5	· ·	Roof drains and High ST piping / any SAN vent stacks above duct 2E71,2E72
CON-11450	Insulate roof drain verts/DWV/HHW/CHW Piping 2E71,2E72	2 2 09-5	Sep-24 10-Sep-24	I Insulate roof drain verts/DWV/HHW/CHW Piping 2E71,2E72
CON-11460	HVAC Trunks and Mains / Top Taps 2E71,2E72	5 5 12-5	· ·	HVAC Trunks and Mains / Top Taps 2E71,2E72
CON-11470	Insulate high duct 2E71,2E72	2 2 19-5	· ·	I Insulate high duct 2E71,2E72
CON-11480		3 3 23-5	· ·	Sprinkler piping mains and lower module taps 2E71,2E72
CON-11490	Hot/Cold Domestic water mains and branch 2E71,2E72	5 5 26-5	•	Hot/Cold Domestic water mains and branch 2E71,2E72
CON-11500	Pull HV / LV wire 2E71,2E72	3 3 03-0	Oct-24 07-Oct-24	Pull HV / LV wire 2E71,2E72
CON-11510		5 5 08-0		Pull LV/Security Wire 2E71,2E72
CON-11520	DWV lower piping and domestic final connections 2E71,2E72	6 6 16-0		DWV lower piping and domestic final connections 2E71,2E72
CON-11530		1 1 24-0		I Domestic Water & DWV Testing 2E71,2E72
CON-11540		4 4 25-0	Oct-24 30-Oct-24	Lower Duct Taps 2E71,2E72
CON-11550	Insulate all lower duct taps and Domestic water assemblies 2E71,2E72	7 7 01-1	lov-24 11-Nov-24	Insulate all lower duct taps and Domestic water assemblies 2E71,2E72
CON-11560	Fire Alarm/Light Fixture Install 2E71,2E72	2 2 12-1	lov-24 13-Nov-24	Fire Alarm/Light Fixture Install 2E71,2E72
Chase 3E71,		72 72 13-4	Aug-24 22-Nov-24	
CON-11750	Structure Complete 3E71,3E72	0 0	13-Aug-24	◆ Structure Complete 3E71,3E72
CON-11760	Grout Module Bases 3E71,3E72	4 4 14-4	Aug-24 19-Aug-24	Grout Module Bases 3E71,3E72
CON-11770	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 3E71,3E72	2 2 20-4	° °	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 3E71,3E72
CON-11780	HV/LV above slab Conduits 3E71,3E72	4 4 29-4	Aug-24 04-Sep-24	HV/LV above slab Conduits 3E71,3E72
CON-11790		3 3 05-5	Sep-24 09-Sep-24	Sprinkler piping Mezz level mains and branch 3E71,3E72
CON-11800		3 3 10-5	· ·	Roof drains and High ST piping / any SAN vent stacks above duct 3E71,3E72
CON-11810		2 2 13-5		Insulate roof drain verts/DWV/HHW/CHW Piping 3E71,3E72
CON-11820		5 5 19-5		HVAC Trunks and Mains / Top Taps 3E71,3E72
CON-11830		2 2 26-5		I Insulate high duct 3E71,3E72
CON-11840		3 3 30-5		Sprinkler piping mains and lower module taps 3E71,3E72
CON-11850		5 5 03-0	Oct-24 09-Oct-24	Hot/Cold Domestic water mains and branch 3E71,3E72
CON-11860		3 3 10-0		D Pull HV / LV wire 3E71,3E72
CON-11870		5 5 15-0		Pull LV/\$ecurity Wire 3E71,3E72
CON-11880		6 6 24-0		DWV lower piping and domestic final connections 3E71,3E72
CON-11890		1 1 01-1		Domestic Water & DWV Testing 3E71,3E72
CON-11900		4 4 04-1		Lower Duct Taps 3E71,3E72
CON-11910		7 7 12-1		Insulate all lower duct taps and Domestic water assemblies 3E71,3E72
	Fire Alarm/Light Fixture Install 3E71,3E72	2 2 21-1		Fire Alarm/Light Fixture Install 3E71,3E72
Chase 4E71,		65 65 03-5	· · · · · · · · · · · · · · · · · · ·	
CON-14990		0 0	03-Sep-24	◆ Structure Complete 4E71,4E72
CON-15000		4 4 04-5	· ·	Grout Module Bases 4E71,4E72
CON-15010		2 2 10-5	• •	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 4E71,4E72
CON-15020		4 4 12-5		I HV/LV above slab Conduits 4E71,4E72
CON-15030		3 3 18-5	· ·	Sprinkler piping Mezz level mains and branch 4E71,4E72
CON-15040		3 3 23-5		Roof drains and High ST piping / any SAN vent stacks above duct 4E71,4E72
CON-15050		2 2 26-5		I Insulate roof drain verts/DWV/HHW/CHW Piping 4E71,4E72
CON-15060		5 5 30-5		HVAC Trunks and Mains / Top Taps 4E71,4E72
CON-15070		2 2 07-0		I Insulate high duct 4E71,4E72
CON-15080	Sprinkler piping mains and lower module taps 4E71,4E72	3 3 09-0	Oct-24 11-Oct-24	Sprinkler piping mains and lower module taps 4E71,4E72
CON-15090	Hot/Cold Domestic water mains and branch 4E71,4E72	5 5 14-0	Oct-24 18-Oct-24	I Hot/Cold Domestic water mains and branch 4E71,4E72

Layout: Full Schedu	ule	Page	10 of 24	TASK filters: In Progress, Not Sta
ctivity ID	Activity Name	Orig Remaining Start Dur Duration	Finish	2024 2025 2026 2027
CON 45400	Pull HV / LV wire 4E71,4E72			M J Jul A M J Jul A S Oct N D J F M A S Oct N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M
		3 3 21-Oct-24	23-Oct-24	Pull HV/LV wire 4E71,4E72
CON-15110		5 5 24-Oct-24	30-Oct-24	Pull LV/Security Wire 4E71,4E72 DV/V Issues piping and demostin final connections 4E71,4E72
	DWV lower piping and domestic final connections 4E71,4E72	6 6 01-Nov-24	08-Nov-24	DWV lower piping and domestic final connections 4E71,4E72
CON-15130		1 1 11-Nov-24	11-Nov-24	I Domestic Water & DWV Testing 4E71,4E72
CON-15140		4 4 12-Nov-24	15-Nov-24	Lower Duct Taps 4E71,4E72
	Insulate all lower duct taps and Domestic water assemblies 4E71,4E72	7 7 21-Nov-24	03-Dec-24	Insulate all lower duct taps and Domestic water assemblies 4E71,4E72
	Fire Alam/Light Fixture Install 4E71,4E72	2 2 04-Dec-24	05-Dec-24	I Fire Alarm/Light Fixture Install 4E71,4E72
Chase 2M71,		0 0 0	· · · ·	♦ Structure Complete 2M71.2M72
	Structure Complete 2M71,2M72		06-Nov-24	
	Grout Module Bases 2M71,2M72	3 3 07-Nov-24	11-Nov-24	Grout Module Bases 2M71,2M72
CON-12130		2 2 12-Nov-24	13-Nov-24	Joint Sealants / Fire Stopping between modules, wall panels, HC panels 2M71,2M72
CON-12140		2 2 14-Nov-24	15-Nov-24	HV/LV above slab Conduits 2M71,2M72
CON-12150		2 2 18-Nov-24	19-Nov-24	Sprinkler piping Mezz level mains and branch 2M71,2M72
CON-12160		1 1 20-Nov-24	20-Nov-24	Roof drains and High ST piping / any SAN vent stacks above duct 2M71,2M72
CON-12170		1 1 21-Feb-25	21-Feb-25	I Insulate roof drain verts/DWV/HHW/CHW Piping 2M71 2M72
CON-12180		3 3 24-Feb-25	26-Feb-25	HVAC Trunks and Mains / Top Taps 2M71,2M72
CON-12190		1 1 27-Feb-25	27-Feb-25	I Insulate high duct 2M71,2M72
CON-12200		2 2 28-Feb-25	03-Mar-25	Sprinkler piping mains and lower module taps 2M71,2M72
CON-12210		4 4 04-Mar-25	07-Mar-25	Hot/Cold Domestic water mains and branch 2M71,2M72
CON-12220		2 2 10-Mar-25	11-Mar-25	Pull HV / LV wire 2M71,2M72
CON-12230		3 3 12-Mar-25	14-Mar-25	I Pull LV/Security Wire 2M71,2M72
CON-12240		4 4 17-Mar-25	20-Mar-25	DWV lower piping and domestic final connections 2M71,2M72
	Domestic Water & DWV Testing 2M71,2M72	1 1 21-Mar-25	21-Mar-25	I Domestic Water & DWV Testing 2M71,2M72
CON-12260		5 5 24-Mar-25	28-Mar-25	Lower Duct Taps 2M71,2M72
	Insulate all lower duct taps and Domestic water assemblies 2M71,2M72	5 5 31-Mar-25	04-Apr-25	Insulate all lower duct taps and Domestic water assemblies 2M/71,2M72
	Fire Alarm/Light Fixture Install 2M71,2M72	2 2 07-Apr-25	08-Apr-25	Fire Alarm/Light Fixture Install 2M71,2M72
Chase 1F72,1		57 57 09-Apr-25	30-Jun-25	
	Structure Complete 1F72,1F71,2F71	0 0	09-Apr-25	◆ Structure Complete 1F72,1F71,2F71
CON-12320		6 6 10-Apr-25	17-Apr-25	HV/LV above slab Conduits 1F72,1F71,2F71
	Sprinkler piping 1F72,1F71,2F71	3 3 18-Apr-25	22-Apr-25	Sprinkler piping 1F72,1F71,2F71
	Roof drains and High ST piping / any SAN vent stacks above duct 1F72,1F71,2F71	5 5 23-Apr-25	29-Apr-25	Roof drains and High ST piping / any SAN vent stacks above duct 1F72,1F71,2F71
CON-12350		3 3 30-Apr-25	02-May-25	Insulate roof drain verts/DWV/HHW/CHW Piping 1F72,1F71,2F71
	HVAC Trunks and Mains / Top Taps 1F72,1F71,2F71	5 5 05-May-25	,	HVAC Trunks and Mains / Top Taps 1F72,1F71,2F71
	Insulate high duct 1F72,1F71,2F71	3 3 12-May-25	,	I Insulate high duct 1F72,1F71,2F71
CON-12380		3 3 15-May-25	19-May-25	Sprinkler piping mains and lower module taps 1F72,1F71,2F71
CON-12390				
		4 4 20-May-25	,	Hot/Cold Domestic water mains and branch 1F72,1F71,2F71
	Pull HV / LV wire 1F72,1F71,2F71	3 3 27-May-25	29-May-25	I Pull HV / LV wire 1F72,1F71,2F71
CON-12410	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25	29-May-25 04-Jun-25	Pull HV / LV wire 1F72,1F71,2F71
CON-12410 CON-12420	Pull HV / LV wire 1F72,1F71,2F71Pull LV/Security Wire 1F72,1F71,2F71DWV lower piping and domestic final connections 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25	29-May-25 04-Jun-25 10-Jun-25	 Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430 CON-12440	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25 26-Jun-25	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25 26-Jun-25 30-Jun-25	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 Chase 4F71,3 CON-15170	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25 26-Jun-25 30-Jun-25 30-Jul-25 09-Apr-25	 Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 CON-15170 CON-15180	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 8 8 18-Apr-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 18-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 29-Apr-25	 Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 Chase 4F71,3 CON-15170 CON-15180 CON-15190	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 4 4 4 30-Apr-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 29-Apr-25 05-May-25	 Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 CON-15170 CON-15170	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 8 8 18-Apr-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 29-Apr-25 05-May-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12450 CON-12460 CON-12460 CON-15170 CON-15180 CON-15190 CON-15200	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 4 4 4 30-Apr-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 29-Apr-25 05-May-25 13-May-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12450 CON-12460 CON-12460 CON-15170 CON-15180 CON-15190 CON-15200	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 VLV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 4 4 4 30-Apr-25 6 6 6 6 6	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 30-Jun-25 29-Apr-25 29-Apr-25 05-May-25 13-May-25 16-May-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 CON-15170 CON-15180 CON-15190 CON-15200 CON-15210	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 Structure Complete 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72 HVAC Trunks and Mains / Top Taps 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 4 4 30-Apr-25 6 6 6 78 06-May-25 78 3 3	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 09-Apr-25 05-May-25 13-May-25 16-May-25 28-May-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 CON-15170 CON-15170 CON-15180 CON-15190 CON-15210 CON-15220	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72 HVAC Trunks and Mains / Top Taps 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 4 4 30-Apr-25 6 6 6 78 78 09-Apr-25 6 6 06-May-25 3 3 14-May-25 7 7 19-May-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 30-Jun-25 09-Apr-25 09-Apr-25 05-May-25 13-May-25 16-May-25 28-May-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72 HV/AC Trunks and Mains / Top Taps 4F71,3F72
CON-12410 CON-12420 CON-12430 CON-12440 CON-12450 CON-12460 CON-12460 CON-12460 CON-15170 CON-15170 CON-15180 CON-15200 CON-15210 CON-15220 CON-15220 CON-15230	Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Domestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alam/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Sprinkler piping 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72 HVAC Trunks and Mains / Top Taps 4F71,3F72 Insulate high duct 4F71,3F72	3 3 27-May-25 4 4 30-May-25 4 4 05-Jun-25 2 2 11-Jun-25 4 4 13-Jun-25 6 6 19-Jun-25 2 2 27-Jun-25 78 78 09-Apr-25 0 0 0 8 8 18-Apr-25 6 6 06-May-25 3 3 14-May-25 7 7 19-May-25 4 4 29-May-25	29-May-25 04-Jun-25 10-Jun-25 12-Jun-25 26-Jun-25 30-Jun-25 30-Jun-25 30-Jun-25 29-Apr-25 09-Apr-25 05-May-25 13-May-25 16-May-25 28-May-25 03-Jun-25	 I Pull HV / LV wire 1F72,1F71,2F71 Pull LV/Security Wire 1F72,1F71,2F71 DWV lower piping and domestic final connections 1F72,1F71,2F71 Dornestic Water & DWV Testing 1F72,1F71,2F71 Lower Duct Taps 1F72,1F71,2F71 Insulate all lower duct taps and Domestic water assemblies 1F72,1F71,2F71 Fire Alarm/Light Fixture Install 1F72,1F71,2F71 Structure Complete 4F71,3F72 HV/LV above slab Conduits 4F71,3F72 Roof drains and High ST piping / any SAN vent stacks above duct 4F71,3F72 Insulate roof drain verts/DWV/HHW/CHW Piping 4F71,3F72 HV/AC Trunks and Mains / Top Taps 4F71,3F72 Insulate high dµct 4F71,3F72

Layout: Full Sched	lule		Page 1	1 of 24					TASK filters: In Progress, Not Start
tivity ID	Activity Name		emaining Start	Finish	2024				25 2026 2027
		Dur	Duration		1 J Jul A S	Oct N D	J F M	A M J	Jul A S Oct N D J F M A M J Jul A S O N D J F M A
CON-15270		5	5 24-Jun-25	30-Jun-25					Pull LV/Security Wire 4F71,3F72
CON-15280		5	5 01-Jul-25	08-Jul-25					DWV lower piping and domestic final connections 4F71,3F72
CON-15290		2	2 09-Jul-25	10-Jul-25					Domestic Water & DWV Testing 4F71,3F72
CON-15300		6	6 11-Jul-25	18-Jul-25					Lower Duct Taps 4F71,3F72
	Insulate all lower duct taps and Domestic water assemblies 4F71,3F72	6	6 21-Jul-25	28-Jul-25					Insulate all lower duct taps and Domestic water assemblies 4F71,3F72
	Fire Alarm/Light Fixture Install 4F71,3F72	2	2 29-Jul-25	30-Jul-25					Fire Alarm/Light Fixture Install 4F71,3F72
Chase 4F72,		84	84 09-Apr-25	07-Aug-25					
CON-15330		0	0	09-Apr-25					Complete 4F72,5F71,3F71
CON-15340		0	6 30-Apr-25	07-May-25					/ above slab Conduits 4F72,5F71,3F71
CON-15350		3	3 08-May-25	12-May-25 20-May-25					kler piping 4F72,5F71,3F71 f drains and High ST piping / any SAN vent stacks above duct 4F72,5F71,3F71
CON-15360 CON-15370		D	5 14-May-25 3 21-May-25	20-May-25 23-May-25					ulate roof drain verts/DWV/HHW/CHW Piping 4F72,5F71,3F71
				04-Jun-25					
CON-15380		5	5 29-May-25 3 05-Jun-25	04-Jun-25 09-Jun-25					VAC Trunks and Mains / Top Taps 4F72,5F71,3F71
CON-15390		<u> </u>	3 05-Jun-25 3 10-Jun-25	12-Jun-25					hsulate high duct 4F72,5F71,3F71 Sprinkler piping mains and lower module taps 4F72,5F71,3F71
CON-15400 CON-15410		3							
		4	4 18-Jun-25	23-Jun-25					Hot/Cold Domestic water mains and branch 4F72,5F71,3F71 Pull HV / LV wire 4F72,5F71,3F71
CON-15420		3	3 24-Jun-25	26-Jun-25 07-Jul-25				1	
CON-15430 CON-15440		4	4 01-Jul-25 4 09-Jul-25	07-Jul-25 14-Jul-25					 Pull LV/Security Wire 4F72,5F71,3F71 DWV lower piping and domestic final connections 4F72,5F71,3F71
		4							Domestic Water & DWV Testing 4F72,5F71,3F71
CON-15450		2	2 15-Jul-25	16-Jul-25					
CON-15460		4	4 21-Jul-25 6 29-Jul-25	24-Jul-25					 Lower Duct Taps 4F72,5F71,3F71 Insulate all lower duct taps and Domestic water assemblies 4F72,5F71,3F71
CON-15470		0		05-Aug-25					
CON-15460 Chase 2M73	Fire Alarm/Light Fixture Install 4F72,5F71,3F71	2	2 06-Aug-25 90 09-Apr-25	07-Aug-25					Fire Alarm/Light Fixture Install 4F72,5F71,3F71
CON-15490		90	0 09-Api-25	15-Aug-25 09-Apr-25					Complete 2M73,2M74
		0	6 08-May-25						
CON-15500 CON-15510		0	3 16-May-25	15-May-25 20-May-25					V above slab Conduits 2M73,2M74
CON-15510		5	5 21-May-25	20-May-25 28-May-25					nkler piping 2M73,2M74 of drains and High ST piping / any SAN vent stacks above duct 2M73,2M74
CON-15520 CON-15530			3 29-May-25	02-Jun-25					sulate roof drain verts/DWV/HHW/CHW Piping 2M73,2M74
CON-15540		5	5 05-Jun-25	11-Jun-25					HVAC Trunks and Mains / Top Taps 2M73,2M74
			3 12-Jun-25	16-Jun-25					
	Insulate high duct 2M73,2M74 Sprinkler piping mains and lower module taps 2M73,2M74	3	3 17-Jun-25						Insulate high duct 2M73,2M74 Sprinkler piping mains and lower module taps 2M73,2M74
CON-15560	 Hot/Cold Domestic water mains and branch 2M73,2M74 	3	4 24-Jun-25	19-Jun-25 27-Jun-25					Hot/Cold Domestic water mains and branch 2M73,2M74
CON-15570 CON-15580			3 30-Jun-25	02-Jul-25				U	Pull HV / LV wire 2M73.2M74
CON-15580 CON-15590		3	4 08-Jul-25	11-Jul-25					Pull LV/Security Wire 2M73,2M74
CON-15590		4	4 15-Jul-25	18-Jul-25					DWV lower piping and domestic final connections 2M73,2M74
CON-15610			2 21-Jul-25	22-Jul-25					Dowestic Water & DWV Testing 2M73,2M74
CON-15620			4 25-Jul-25	30-Jul-25					Lower Duct Taps 2M73,2M74
CON-15630		6	6 06-Aug-25	13-Aug-25					 Lower put raps 21073,21074 Insulate all lower duct taps and Domestic water assemblies 2M73,2M74
	 Fire Alarm/Light Fixture Install 2M73,2M74 	0	2 14-Aug-25	15-Aug-25					Fire Alarm/Light Fixture Install 2M73,2M74
		326	326 13-Jun-24	25-Sep-25					
Support CMU		208	208 13-Jun-24	09-Apr-25			+		
Crew 1		191	191 13-Jun-24	17-Mar-25					
CON-21240) CUP - CMU	16	16 13-Jun-24	05-Jul-24		/11.1			
) Laundry - CMU	30	30 08-Jul-24	16-Aug-24		indry - CMU			
	3E/4E - CMU	20	20 19-Aug-24	16-Sep-24		3E/4E - CMU			
) 3A/4A/5A/6A - CMU	30	30 17-Sep-24	28-Oct-24		3A/4A	+	 J	
CON-21270		35	35 29-Oct-24	18-Dec-24				sing N - CMU	
CON-21200		30	30 19-Dec-24	03-Feb-25			·	Ŭ	Release - CMU
	Admin LVL2 - CMU	30	30 04-Feb-25	17-Mar-25				Admin LVL2	
Crew 2		139	139 03-Jul-24	22-Jan-25					
) Kitchen - CMU	25	25 03-Jul-24	07-Aug-24	Kitch	en - CMU	+		
) 1E/2E - CMU	23	22 08-Aug-24	07-Aug-24 09-Sep-24		1E/2E - CMU			
			-						
CON-21320) 1A/2A - CMU	22	22 10-Sep-24	09-Oct-24		🔲 1A/2A - C	:MU		

Layout: Full Schedu	le	Page 12	2 of 24		TASK filters: In Progress, Not Star
Activity ID	Activity Name	Orig Remaining Start	Finish	2024 2025	2026 2027
		Dur Duration		1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M .	A M J JUI A S O N D J F M
	Intake West - CMU	40 40 10-Oct-24	06-Dec-24	Intake West - CMU	
	Intake East - CMU	30 30 09-Dec-24	22-Jan-25	Intake East - CMU	
Crew 3		99 99 11-Oct-24	05-Mar-25		
CON-21360		22 22 11-Oct-24	11-Nov-24		
CON-21370		22 22 12-Nov-24	13-Dec-24	3B/4B - CMU	
CON-21380		35 35 16-Dec-24	05-Feb-25		
CON-21390	MED N - CMU	20 20 06-Feb-25	05-Mar-25	MED N - CMU	
Crew 4		90 90 02-Dec-24	09-Apr-25		
	MED S CMU	60 60 02-Dec-24	26-Feb-25		
	Special Housing S CMU	30 30 27-Feb-25	09-Apr-25	Special Housing S CMU	
	CUP Buildout	60 60 08-Oct-24	03-Jan-25		
CON-3530		60 60 08-Oct-24	03-Jan-25		
CON-5160	Set & Terminate Switchgear	10 10 18-Nov-24	03-Dec-24	Set & Terminate Switchgear	
	/ Laundry / Receiving	125 125 19-Jul-24	16-Jan-25		
Rough In & Fi	Hanger/Ceiling Rough Install - Food/Laundry/Receiving	125 125 19-Jul-24 5 5 19-Jul-24	16-Jan-25 25-Jul-24	Hanger/Ceiling Rough Install - Food/Laundry/Receiving	
CON-10120 CON-10140		30 30 19-Jul-24	25-Jui-24 29-Aug-24	In-Wall Mechanical Rough - Food/Laundry/Receiving	
CON-10140		30 30 19-Jul-24	29-Aug-24 29-Aug-24	In-Wall Electric at Rough/Security - Food/Laundry/Receiving	
CON-10170		30 30 19-Jul-24	29-Aug-24 29-Aug-24	In-Wall Plumbing at Rough - Food/Laundry/Receiving	
CON-10200		5 5 19-Jul-24	25-Jul-24	 Door Frames Install - Food/Laundry/Receiving 	
CON-10210		30 30 19-Jul-24	29-Aug-24	CMU Room Walls - Food/Laundry/Receiving	
CON-10130		30 30 26-Jul-24	06-Sep-24	Overhead Mechanical - Food/Laundry/Receiving	
CON-10150		25 25 26-Jul-24	29-Aug-24	Overhead Electrical - Food/Laundry/Receiving	
CON-10160		5 5 26-Jul-24	01-Aug-24	Overhead Fire Protection - Food/Laundry/Receiving	
CON-10220		30 30 30-Aug-24	11-Oct-24	CMU cure time - Food/Laundry/Receiving	
CON-10290		12 12 09-Sep-24	24-Sep-24	ACT Ceiling Install grid - Food/Laundry/Receiving	
CON-10410		1 1 09-Sep-24	09-Sep-24	I Overhead Inspection - Food/Laundry/Receiving	
CON-10310		5 5 25-Sep-24	01-Oct-24	Install ACT tile - Food/Laundry/Receiving	
CON-10230		7 7 14-Oct-24	22-Oct-24	Prime and 1st Coat of Paint - Food/Laundry/Receiving	
CON-10240	Mechanical Grills & Diffusers - Food/Laundry/Receiving	5 5 23-Oct-24	29-Oct-24	Mechanical Grills & Diffusers - Food/Laundry/Receiving	
CON-10270	Detention Doors & Locks - Food/Laundry/Receiving	10 10 23-Oct-24	05-Nov-24	Detention Doors & Locks - Food/Laundry/Receiving	
	Final Paint - Food/Laundry/Receiving	8 8 30-Oct-24	08-Nov-24	■ Final Paint - Food/Laundry/Receiving	
CON-10190	Penetration Firestopping - Food/Laundry/Receiving	5 5 11-Nov-24	15-Nov-24	Penetration Firestopping - Food/Laundry/Receiving	
CON-10250	Joint Firestopping - Food/Laundry/Receiving	5 5 11-Nov-24	15-Nov-24	Joint Firestopping - Food/Laundry/Receiving	
CON-10260	Electrical Lights/Trim - Food/Laundry/Receiving	15 15 11-Nov-24	03-Dec-24	Electrical Lights/Trim - Food/Laundry/Receiving	
CON-10360	Epoxy floor Coatings - Food/Laundry/Receiving	15 15 11-Nov-24	03-Dec-24	Epoxy floor Coatings - Food/Laundry/Receiving	
CON-10400	Seal concrete and SOG Joint Sealants - Food/Laundry/Receiving	5 5 11-Nov-24	15-Nov-24	Seal concrete and SOG Joint Sealants - Food/Laundry/Receiving	
CON-10280	Security Electronics - Food/Laundry/Receiving	7 7 18-Nov-24	26-Nov-24	Security Electronics - Food/Laundry/Receiving	
CON-10300	Millwork Install - Food/Laundry/Receiving	5 5 18-Nov-24	22-Nov-24	Millwork Install - Food/Laundry/Receiving	
CON-10380	Install Laundry Equipment - Food/Laundry/Receiving	5 5 18-Nov-24	22-Nov-24	Install Laundry Equipment - Fpod/Laundry/Receiving	
CON-10390	Install Kitchen Equipment/Coolers/Freezers - Food/Laundry/Receiving	10 10 18-Nov-24	03-Dec-24	Install Kitchen Equipment/Coolers/Freezers - Food/Laundry/Receiving	
CON-10420	Laundry/Kitchen Hook up - Food/Laundry/Receiving	5 5 25-Nov-24	03-Dec-24	Laundry/Kitchen Hook up - Food/Laundry/Receiving	
CON-10320	Plumbing Fixtures - Food/Laundry/Receiving	5 5 04-Dec-24	10-Dec-24	Plumbing Fixtures - Food/Laundry/Receiving	
CON-10330	Interior Overhead Coiling Doors - Food/Laundry/Receiving	10 10 04-Dec-24	17-Dec-24	Interior Overhead Coiling Doors - Food/Laundry/Receiving	
CON-10340		5 5 04-Dec-24	10-Dec-24	\$teel Bollards - Food/Laundry/Receiving	
CON-10430		5 5 18-Dec-24	24-Dec-24	Construction Clean - Food/Laundry/Receiving	
CON-21050		5 5 26-Dec-24	02-Jan-25	SEC Testing - Food/Laundry/Receiving	
CON-21060		5 5 26-Dec-24	02-Jan-25	TAB - Food/Laundry/Receiving	
CON-4910	JED Pre-Punch & Correction - Food/Laundry/Receiving	10 10 03-Jan-25	16-Jan-25	JED Pre-Punch & Correction - Food/Laundry/Receiving	
· ·	s(1F101,2F101,3F101,4F101,5F101)	173 173 23-Jan-25	25-Sep-25		
	Is - Rough In & Finishes	173 173 23-Jan-25	25-Sep-25		
	Interior Storefronts - Courtyards - Special Needs	10 10 23-Jan-25	05-Feb-25	Interior Storefronts - Courtyards - Special Needs	
CON-10630		5 5 23-Jan-25	29-Jan-25	Hanger/Ceiling Rough Install - Special Needs	
CON-10640	Overhead Mechanical - Special Needs	20 20 30-Jan-25	26-Feb-25	Overhead Mechanical - Special Needs	

ayout: Full Schedul			Page 1	3 of 24	TASK filters: In Progress, Not
ity ID	Activity Name	Orig Dur	Remaining Start Duration	Finish	2024 2025 2026 20
CON-10650	Overhead Plumbing - Special Needs	20	20 30-Jan-25	26-Feb-25	J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D J F Overhead Plumbing - Special Needs
CON-10650	Overhead Electrical - Special Needs	20	20 30-Jan-25	26-Feb-25	Overhead Floring - Special Needs
CON-10670	Overhead Fire Protection - Special Needs	8	8 30-Jan-25	10-Feb-25	Overhead Fire Protection - Special Needs
CON-10680	Overhead Inspections and Corrections - Special Needs	3	3 27-Feb-25	03-Mar-25	Overhead Inspections and Corrections - Special Needs
CON-10700	Metal Stud Framing - Special Needs	5	5 27-Feb-25	05-Mar-25	Metal Stud Framing - Special Needs
CON-10690	CMU Cure Time - Special Needs	20	20 10-Apr-25	07-May-25	CMU Cure Time - Special Needs
CON-10710	In-Wall Rough-In Mechanical - Special Needs	10	10 10-Apr-25	23-Apr-25	In-Wall Rough-In Mechanical - Special Needs
CON-10720	In-Wall Rough-In Plumbing - Special Needs	10	10 10-Apr-25	23-Apr-25	■ In-Wall Rough-In Plumbing - Special Needs
CON-10730	In-Wall Rough-In Electrical - Special Needs	25	25 10-Apr-25	14-May-25	In-Wall Rough-In Electrical - Special Needs
CON-10740	Shared Chases MEP - Special Needs	15	15 10-Apr-25	30-Apr-25	Shared Chases MEP - Special Needs
CON-10770	Low Voltage / SEC Wiring - Special Needs	20	20 28-Apr-25	23-May-25	Low Voltage / SEC Wiring - Special Needs
CON-10760	BAS Control Wiring - Special Needs	5	5 15-May-25	21-May-25	BA\$ Control Wiring - Special Needs
CON-10790	In-Wall Inspections and Corrections - Special Needs	3	3 15-May-25	19-May-25	In-Wall Inspections and Corrections - Special Needs
CON-10820	Install Drywall - Special Needs	5	5 20-May-25	27-May-25	Install Drywall - Special Needs
CON-11210	Security Metal Ceilings - Special Needs	10	10 20-May-25	03-Jun-25	Security Metal Ceilings - Special Needs
CON-10780	Penetration Fire Stopping - Special Needs	5	5 28-May-25	03-Jun-25	Penetration Fire Stopping - Special Needs
CON-10830	RTF Drywall - Special Needs	10	10 28-May-25	10-Jun-25	RTF Drywall - Special Needs
CON-10840	Prime and 1st Coat of Paint - Special Needs	15	15 11-Jun-25	01-Jul-25	Prime and 1st Coat of Paint - Special Needs
CON-10800	Security Ceiling Assemblies - Special Needs	15	15 02-Jul-25	23-Jul-25	Security Ceiling Assemblies - Special Needs
CON-10850	Interior Joint Sealants - Special Needs	6	6 02-Jul-25	10-Jul-25	Interior Joint Sealants - Special Needs
CON-10860	Install Acoustical Ceiling Grid - Special Needs	10	10 02-Jul-25	16-Jul-25	Install Acoustical Ceiling Grid - Special Needs
CON-10870	Fire Sprinkler Shrouds - Special Needs	10	10 02-Jul-25	16-Jul-25	Fire Sprinkler Shrouds - Special Needs
CON-10880	Security Glazing and Sealants - Special Needs	15	15 02-Jul-25	23-Jul-25	Security Glazing and Sealants - Special Needs
CON-10900	Tile Installed, Bathrooms - Special Needs	5	5 02-Jul-25	09-Jul-25	Tile Installed, Bathrooms - Special Needs
CON-10910	Millwork Install - Special Needs	5	5 02-Jul-25	09-Jul-25	Millwork Install - Special Needs
CON-10920	Casework Install - Special Needs	15	15 02-Jul-25	23-Jul-25	Casework Install - Special Needs
CON-10980	Detention Doors, Hardware/Locks, & Accessories - Special Needs	20	20 02-Jul-25	30-Jul-25	Detention Doors, Hardware/Locks, & Accessories - Special Needs
CON-10960	Plumbing Fixtures - Special Needs	20	20 10-Jul-25	06-Aug-25	Plumbing Fixtures Special Needs
CON-10990	Doors and Hardware - Special Needs	5	5 10-Jul-25	16-Jul-25	Doors and Hardware - Special Needs
CON-10930	Electrical Lights/Trim - Special Needs	25	25 17-Jul-25	20-Aug-25	Electrical Lights/Trim - Special Needs
CON-11040		5	5 17-Jul-25	23-Jul-25	Seal concrete and SOG Joint Sealants - Special Needs
CON-11050	Resinous System Install - Special Needs	25	25 17-Jul-25	20-Aug-25	Resinous System Install - Special Needs
CON-10890	ACT Tile Installed - Special Needs	15	15 24-Jul-25	13-Aug-25	ACT Tile Installed - Special Needs
CON-10940		20	20 24-Jul-25	20-Aug-25	Security Electronics - Special Needs
CON-11030	Detention Equipment and Accessories - Special Needs	20	20 24-Jul-25	20-Aug-25	Detention Equipment and Accessories - Special Needs
CON-11070	Final Paint - Special Needs	15	15 24-Jul-25	13-Aug-25	Final Paint - Special Needs
CON-11000	Flooring Installed - Special Needs	20	20 04-Aug-25	29-Aug-25	Flooring Installed - Special Needs
CON-10970	Bathroom Accessories - Special Needs	10	10 07-Aug-25	20-Aug-25	Bathroom Accessories - Special Needs
CON-11020	Joint Firestopping - Special Needs	5	5 07-Aug-25	13-Aug-25	Joint Firestopping - Special Needs
CON-11060	Joint Sealants and Fixtures, Accessories and Misc Joints - Special Needs	5	5 07-Aug-25	13-Aug-25	Joint Sealants and Fixtures, Accessories and Misc Joints - Special Needs
CON-10950	Mechanical Grills & Diffusers - Special Needs	7	7 14-Aug-25	22-Aug-25	Mechanical Grills & Diffusers - Special Needs
CON-11010	Spinkler Trim - Special Needs	5	5 14-Aug-25	20-Aug-25	Sprikler Trim - Special Needs
CON-11090	Medical FFE - Special Needs	- 10	10 14-Aug-25	27-Aug-25	
CON-11110	Landscaping - Courtyard - Special Needs	5	5 14-Aug-25	20-Aug-25	Landscaping - Courtyard - Special Needs
CON-11130	Medical Equipment Pre-Test - Special Needs	5	5 14-Aug-25	20-Aug-25	Medical Equipment Pre-Test - Special Needs
CON-11140	Construction Clean - Special Needs	5	5 28-Aug-25	04-Sep-25	
		5	5 05-Sep-25	11-Sep-25	SEC Systems Pre-Test - Special Needs
CON-21600		5	5 05-Sep-25	11-Sep-25	
CON-11100	Recreational Equipment - Special Needs	5	5 12-Sep-25	18-Sep-25	Recreational Equipment - Special Needs
CON-11150	JED Pre-Punchlist & Corrections - Special Needs	10	10 12-Sep-25	25-Sep-25	JED Pre-Punchlist & Conections - Special Needs
Clinic / Medica		197	197 09-Dec-24	17-Sep-25	
	c - Rough In & Finishes	197	197 09-Dec-24	17-Sep-25	
	Interior Storefronts - Courtyards - Medical Clinic	10	10 09-Dec-24	20-Dec-24	Interior Storefronts - Courtyards - Medical Clinic
CONMED-00	Hanger/Ceiling Rough Install - Medical Clinic	5	5 09-Dec-24	13-Dec-24	I Hanger/Ceiling Rough Install - Medical Clinic

yout: Full Schedul			Page 1	4 of 24	TASK filters: In Progress, Not Start
ity ID	Activity Name	Orig Dur	Remaining Start Duration	Finish	2024 2025 2026 2027 1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D J F M A
CONMED-00	Overhead Mechanical - Medical Clinic	20	20 16-Dec-24	14-Jan-25	Overhead Mechanical - Medical Clinic
	Overhead Plumbing - Medical Clinic	10	10 16-Dec-24	30-Dec-24	Overhead Plumbing - Medical Clinic
	Overhead Electrical - Medical Clinic	20	20 16-Dec-24	14-Jan-25	Overhead Electrical - Medical Clinic
	Metal Stud Framing - Medical Clinic	10	10 31-Dec-24	14-Jan-25	Metal Stud Framing - Medical Clinic
	Overhead Fire Protection - Medical Clinic	10	10 15-Jan-25	29-Jan-25	Overhead Fire Protection - Medical Clinic
	Overhead Inspections and Corrections - Medical Clinic	3	3 30-Jan-25	03-Feb-25	Overhead Inspections and Corrections - Medical Clinic
	In-Wall Rough-In Mechanical - concurrent with CMU - Medical Clinic	10	10 06-Feb-25	19-Feb-25	In-Wall Rough-In Mechanical - concurrent with CMU - Medical Clinic
	In-Wall Rough-In Plumbing - concurrent with CMU - Medical Clinic	10	10 06-Feb-25	19-Feb-25	In-Wall Rough-In Plumbing - concurrent with CMU - Medical Clinic
	In-Wall Rough-In Electrical - concurrent with CMU - Medical Clinic	20	20 06-Feb-25	05-Mar-25	In-Wall Rough-In Electrical - concurrent with CMU - Medical Clinic
	CMU Cure Time - Medical Clinic	20	20 06-Mar-25	02-Apr-25	CMU Cure Time - Mediçal Clinic
CONMED-00	Shared Chases MEP - Medical Clinic	15	15 06-Mar-25	26-Mar-25	Shared Chases MEP - Medical Clinic
CONMED-00	Install Head Walls - Medical Clinic	5	5 06-Mar-25	12-Mar-25	Install Head Walls - Medical Clinic
CONMED-00	BAS Control Wiring - Medical Clinic	5	5 06-Mar-25	12-Mar-25	BAS Control Wiring - Medical Clinic
CONMED-00	Low Voltage / SEC Wiring - Medical Clinic	15	15 06-Mar-25	26-Mar-25	Low Voltage / SEC Wiring - Medical Clinic
CONMED-00	Penetration Fire Stopping - Medical Clinic	5	5 06-Mar-25	12-Mar-25	Penetration Fire Stopping - Medical Clinic
	Install Drywall - Medical Clinic	10	10 06-Mar-25	19-Mar-25	Install Drywall - Medical Clinic
CON-10470	Hard Lid Framing Ceilings - Medical Clinic	10	10 20-Mar-25	02-Apr-25	Hard Lid Framing Ceilings - Medical Clinic
CONMED-00	In-Wall Inspections and Corrections - Medical Clinic	3	3 27-Mar-25	31-Mar-25	In-Wall Inspections and Corrections - Medical Clinic
CON-10480	MEP Hard Lid - Medical Clinic	5	5 03-Apr-25	09-Apr-25	MEP Hard Lid - Medical Clinic
CON-10490	Overhead Hard Lid Inspection - Medical Clinic	1	1 10-Apr-25	10-Apr-25	I Overhead Hard Lid Inspection - Medical Clinic
CONMED-00	Hard Lid/TFS Ceilings - Medical Clinic	10	10 11-Apr-25	24-Apr-25	Hard Lid/TFS Ceilings - Medical Clinic
CONMED-00	TSF Drywall - Medical Clinic	15	15 25-Apr-25	15-May-25	TSF Drywall - Medical Clinic
CONMED-00	Prime and 1st Coat of Paint - Medical Clinic	15	15 16-May-25	06-Jun-25	Prime and 1st Coat of Paint - Medical Clinic
CONMED-00	Security Ceiling Assemblies - Medical Clinic	15	15 09-Jun-25	27-Jun-25	Security Ceiling Assemblies - Medical Clinic
CONMED-00	Interior Joint Sealants - Medical Clinic	6	6 09-Jun-25	16-Jun-25	Interior Joint Sealants - Medical Clinic
CONMED-00	Install Acoustical Ceiling Grid - Medical Clinic	10	10 09-Jun-25	20-Jun-25	Install Acoustical Ceiling Grid - Medical Clinic
CONMED-00	Tile Installed, Bathrooms - Medical Clinic	5	5 09-Jun-25	13-Jun-25	Tile Installed, Bathrooms - Medical Clinic
CONMED-00	Millwork Install - Medical Clinic	5	5 09-Jun-25	13-Jun-25	Millwork Instal - Medical Clinic
CONMED-00	Casework Install - Medical Clinic	15	15 09-Jun-25	27-Jun-25	Casework Install - Medical Clinic
CONMED-00	Detention Doors, Hardware/Locks, & Accessories - Medical Clinic	20	20 09-Jun-25	07-Jul-25	Detention Doors, Hardware/Locks, & Accessories - Medical Clinic
CONMED-00	Plumbing Fixtures - Medical Clinic	20	20 16-Jun-25	14-Jul-25	Plumbing Fixtures - Medical Clinic
CONMED-00	Doors and Hardware - Medical Clinic	5	5 16-Jun-25	20-Jun-25	Doors and Hardware - Medical Clinic
CONMED-00	Security Glazing and Sealants - Medical Clinic	15	15 17-Jun-25	08-Jul-25	Security Glazing and Sealants - Medical Clinic
CONMED-00	Flooring Installed - Medical Clinic	20	20 23-Jun-25	21-Jul-25	Flooring Installed - Medical Clinic
CONMED-00	Seal concrete and SOG Joint Sealants - Medical Clinic	5	5 23-Jun-25	27-Jun-25	Seal concrete and SOG Joint Sealants - Medical Clinic
	Fire Sprinkler Shrouds - Medical Clinic	10	10 30-Jun-25	14-Jul-25	Fire Sprinkler Shrouds - Medical Clinic
	Resinous System Install - Medical Clinic	25	25 30-Jun-25	04-Aug-25	Resinous System Install - Medical Clinic
	ACT Tile Installed - Medical Clinic	15	15 09-Jul-25	29-Jul-25	ACT Tile Installed - Medical Clinic
	Bathroom Accessories - Medical Clinic	10	10 15-Jul-25	28-Jul-25	Bathroom Accessories - Medical Clinic
	Joint Firestopping - Medical Clinic	5	5 15-Jul-25	21-Jul-25	Joint Firestopping - Medical Clinic
	Joint Sealants and Fixtures, Accessories and Misc Joints - Medical Clinic	5	5 15-Jul-25	21-Jul-25	Joint Sealants and Fixtures, Accessories and Misc Joints - Medical Clinic
	Detention Equipment and Accessories - Medical Clinic	20	20 22-Jul-25	18-Aug-25	Detention Equipment and Accessories - Medical Clinic
	Final Paint - Medical Clinic	15	15 22-Jul-25	11-Aug-25	Final Paint - Medical Clinic
	Electrical Lights/Trim - Medical Clinic	25	25 30-Jul-25	03-Sep-25	Electrical Lights/Trim - Medical Clinic
	Security Electronics - Medical Clinic	20	20 30-Jul-25	26-Aug-25	Security Electronics - Medical Clinic
	Mechanical Grills & Diffusers - Medical Clinic	10	10 30-Jul-25	12-Aug-25	Mechanical Grills & Diffusers - Medical Clinic Specific Trim Medical Clinic
	Sprnkler Trim - Medical Clinic	5	5 30-Jul-25	05-Aug-25	Spmkler Trim - Medical Clinic
	Construction Clean - Medical Clinic	5	5 06-Aug-25	12-Aug-25	Construction Clean - Medical Clinic
	Medical FFE - Medical Clinic	10	10 12-Aug-25	25-Aug-25	
	Recreational Equipment - Medical Clinic	5	5 12-Aug-25	18-Aug-25	Recreational Equipment - Medical Clinic
	Landscaping - Courtyard - Medical Clinic	5	5 12-Aug-25	18-Aug-25	Landscaping - Courtyard - Medical Clinic
	Medical Equipment Pre-Test - Medical Clinic	5	5 12-Aug-25	18-Aug-25	Medical Equipment Pre-Test - Medical Clinic
	SEC Systems Pre-Test - Medical Clinic	- 5	5 13-Aug-25	19-Aug-25	SEC Systems Pre-Test - Medical Clinic
CON-21620	IAD	5	5 13-Aug-25	19-Aug-25	

Layout: Full Sched	ule		Page 1	5 of 24	TASK filters: In Prog	ress, Not Starter
tivity ID	Activity Name	Orig Re	emaining Start	Finish	2024 2025 2026	2027
		Dur	Duration		/ J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D	J F M Ap
CON-4930	JED Pre-Punchlist & Corresction - Medical Clinic	10	10 04-Sep-25	17-Sep-25	JED Pre-Punchlist &Corresction - Medical Clinic	
Housing		176	176 18-Sep-24	29-May-25		
Crew 1		176	176 18-Sep-24	29-May-25		
1A101		161	161 18-Sep-24	07-May-25		
Rough In &	Finishes	161	161 18-Sep-24	07-May-25		
CON-0004	1 Install Exterior Door/Window Frames / Security Bars -1A101	5	5 18-Sep-24	24-Sep-24	Install Exterior Door/Window Frames / Security Bars -1A101	
CON-0006	Overhead Electrical -1A101	10	10 25-Sep-24	08-Oct-24	Overhead Electrical -1A101	
CON-0995		5	5 09-Oct-24	15-Oct-24	Paint HC Panel Ceiling -1A101	
CON-0004	Hanger/Ceiling Rough Install -1A101	2	2 16-Oct-24	17-Oct-24	I Hanger/Ceiling Rough Install -1A101	
CON-0005		15	15 17-Oct-24	06-Nov-24	Overhead Mechanical -1A101	
CON-0010	<u> </u>	8	8 18-Oct-24	29-Oct-24	Mechanical Rough-In -1A101	
CON-0011		10	10 01-Nov-24	14-Nov-24	Plumbing Rough-In -1A101	
CON-0015		15	15 01-Nov-24	21-Nov-24	CMU at Core and Shower (move ahead) -1A101	
CON-0012		3	3 07-Nov-24	11-Nov-24	Drywall Framing -1A101	
CON-0018		5	5 07-Nov-24	13-Nov-24	Interior Door/Window Frame -1A101	
CON-0013		15	15 12-Nov-24	04-Dec-24	Electrical Rough-In -1A101	
CON-0014		15	15 15-Nov-24	09-Dec-24	Sprinkler Rough-In -1A101	
CON-0016		5	5 05-Dec-24	11-Dec-24 16-Dec-24	Drywall -1A101	
CON-0019		5	5 10-Dec-24		Fire Sprinkelr Shroud -1A101	
CON-0020		5	5 12-Dec-24	18-Dec-24		
CON-0022		10	10 19-Dec-24	03-Jan-25	Prime & 1st Coat of Paint -1A101	
CON-0023	5	10	10 06-Jan-25	17-Jan-25	Electrical Lights/Trim -1A101 Deterrition Deserrition and Approximation 1A101	
CON-0025		10	10 06-Jan-25	17-Jan-25	 Detention Doors, Hardware and Accessories -1A101 Acoustical Ceiling Panels -1A101 	
CON-0026 CONB-002		5	5 06-Jan-25 5 06-Jan-25	10-Jan-25 10-Jan-25	Acoustical Wall Panels -1A101	
CONB-002 CON-0028		5	5 06-Jan-25	10-Jan-25	Acoustical Wain Failers - TATOT Sprinkler Trim Out -1A101	
CON-0028 CON-0035		15	15 06-Jan-25	27-Jan-25	Resousous Shower Coating -1A101	
CON-0033			5 13-Jan-25	17-Jan-25	Mechanical Grills and Diffusers -1A101	
CON-0027		5	5 13-Jan-25	17-Jan-25	Beverage Counter -1A101	
CON-0024		15	15 21-Jan-25	10-Feb-25	Security Electronics -1A101	
	Security Galzing and Sealants -1A101	5	5 21-Jan-25	27-Jan-25	Security Galzing and Sealants -1A101	
	Plumbing Fixtures -1A101	5	5 28-Jan-25	03-Feb-25	Plumbing Fixtures -1A101	
CON-0033		5	5 04-Feb-25	10-Feb-25	Detention Furniture -1A101	
CON-0037		10	10 11-Feb-25	24-Feb-25	Final Paint -1A101	
CON-0034		5	5 25-Feb-25	03-Mar-25	Seal Concrete and SOG -1A101	
CON-0039		5	5 25-Feb-25	03-Mar-25		
CON-0038		6	6 04-Mar-25	11-Mar-25	■ Interor Joint Sealant and Firestopping -1A101	
CON-7620		10	10 03-Apr-25	16-Apr-25	Construction Clean -1A101	
CON-7630		5	5 17-Apr-25	23-Apr-25	SEC Systems Pre-Test -1A101	
	0 TAB -1A101	5	5 17-Apr-25	23-Apr-25	TAB -1A101	
CON-4960	JED Pre-Punch & Correction -1A101	10	10 24-Apr-25	07-May-25	JED Pre-Punch & Correction -1A101	
1B101		145	145 09-Oct-24	06-May-25		
Rough In &	Finishes	145	145 09-Oct-24	06-May-25		
CON-7650	Install Exterior Door/Window Frames / Security Bars -1B101	5	5 09-Oct-24	15-Oct-24	Install Exterior Door/Window Frames / Security Bars -1B101	
CON-7660	Overhead Electrical -1B101	10	10 16-Oct-24	29-Oct-24	Overhead Electrical -1B101	
CON-7670	Paint HC Panel Ceiling -1B101	5	5 30-Oct-24	05-Nov-24	Paint HC Panel Ceiling -1B101	
CON-7680	Hanger/Ceiling Rough Install -1B101	2	2 06-Nov-24	07-Nov-24	I Hanger/Ceiling Rough Install -1B101	
CON-7690	Overhead Mechanical -1B101	15	15 07-Nov-24	27-Nov-24	Overhead Mechanical -1B101	
CON-7700	Mechanical Rough-In -1B101	8	8 08-Nov-24	19-Nov-24	Mechanical Rough-In -1B101	
CON-7710	Plumbing Rough-In -1B101	10	10 22-Nov-24	09-Dec-24	Plumbing Rough-In -1B101	
CON-7720	CMU at Core and Shower (move ahead) -1B101	15	15 22-Nov-24	16-Dec-24	CMU at Core and Shower (move ahead) -1B101	
CON-7730		3	3 02-Dec-24	04-Dec-24	Drywall Framing -1B101	
CON-7740	Interior Door/Window Frame -1B101	5	5 02-Dec-24	06-Dec-24	Interior Door/Window Frame -1B101	
CON-7750	Electrical Rough-In -1B101	15	15 05-Dec-24	26-Dec-24	Electrical Rough-In -1B101	

Layout: Full Sched	lule	Page 1	6 of 24	TASK filters: In Progress, Not S
ctivity ID	Activity Name	Orig Remaining Start	Finish	2024 2025 2026 202
		Dur Duration		1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J Jul A S Oct N D J F M A M J Jul A S O N D J F M
CON-7760		15 15 10-Dec-24	31-Dec-24	Sprinkler Rough-In -1B101
CON-7770		5 5 27-Dec-24	03-Jan-25	Drywall -18101
CON-7780		5 5 02-Jan-25	08-Jan-25	Fire Sprinkelr Shroud -1B101
CON-7790		5 5 06-Jan-25	10-Jan-25	TSF Drywall -1B101
CON-7800		10 10 13-Jan-25	27-Jan-25	Prime & 1st Coat of Paint -1B101
CON-7810		10 10 28-Jan-25	10-Feb-25	Electrical Lights/Trim -1B101
CON-7820		10 10 28-Jan-25	10-Feb-25	Detention Doors, Hardware and Accessories 1B101
CON-7830		5 5 28-Jan-25	03-Feb-25	Acoustical Ceiling Panels -1B101
CON-7840		5 5 28-Jan-25	03-Feb-25	Acoustical Wall Panels -1B101
CON-7850		5 5 28-Jan-25	03-Feb-25	Sprinkler Trim Out -1 B101
CON-7860		15 15 28-Jan-25	17-Feb-25	Resousous Shower Coating -1B101
CON-7870		5 5 04-Feb-25	10-Feb-25	Mechanical Grills and Diffusers -1B101
CON-7880		5 5 04-Feb-25	10-Feb-25	Beverage Counter -1B101
CON-7890		15 15 11-Feb-25	03-Mar-25	Security Electronics -1B101
CON-7900		5 5 11-Feb-25	17-Feb-25	Security Galzing and Sealants -1B101
CON-7910		5 5 18-Feb-25	24-Feb-25	Plumbing Fixtures -1B101
CON-7920		5 5 25-Feb-25	03-Mar-25	Detention Fumiture -1B101
CON-7930		10 10 04-Mar-25	17-Mar-25	Final Paint -1B101
CON-7940		5 5 18-Mar-25	24-Mar-25	Seal Concrete and SOG 1B101
CON-7950	11.0	5 5 18-Mar-25	24-Mar-25	Penetrative Fire Stopping -1B101
CON-7960		6 6 25-Mar-25	01-Apr-25	Interor Joint Sealant and Firestopping -1B101
CON-7970		10 10 02-Apr-25	15-Apr-25	Construction Clean -1B101
CON-7980		5 5 16-Apr-25	22-Apr-25	SEC Systems Pre-Test -1B101
	0 TAB-1B101	5 5 16-Apr-25	22-Apr-25	
2A101, 2B10	JED Pre-Punch & Correction -1B101	10 10 23-Apr-25 145 145 28-Oct-24	06-May-25 23-May-25	JED Pre-Punch & Correction -1B101
Rough In &		145 145 26-Oct-24	23-May-25	
CON-8350				
	Install Exterior Door/window Frames / Security dars -2ATUT.2DTUT	5 5 28-Oct-24	01-NOV-24	Install Exterior Door/Window Frames / Security Bars -2A101.2B101
CON-8360			01-Nov-24 15-Nov-24	 Install Exterior Door/Window Frames / Security Bars -2A101,2B101 Overhead Electrical -2A101.2B101
CON-8360 CON-8370	Overhead Electrical -2A101,2B101	10 10 04-Nov-24	15-Nov-24	Overhead Electrical -2A101,2B101
CON-8360 CON-8370 CON-8380	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101	10 04-Nov-24 5 5 18-Nov-24	15-Nov-24 22-Nov-24	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101
CON-8370 CON-8380	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101	10 10 04-Nov-24 5 5 18-Nov-24 2 2 25-Nov-24	15-Nov-24 22-Nov-24 26-Nov-24	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101
CON-8370 CON-8380 CON-8390	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101	10 04-Nov-24 5 5 18-Nov-24 2 2 25-Nov-24 15 15 26-Nov-24	15-Nov-24 22-Nov-24	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101
CON-8370 CON-8380	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101	10 10 04-Nov-24 5 5 18-Nov-24 2 2 25-Nov-24	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Mechanical Rough-In -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101	10 04-Nov-24 5 5 2 25-Nov-24 15 15 15 26-Nov-24 8 8 27-Nov-24 10 10	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101	10 04-Nov-24 10 04-Nov-24 15 15 12 22 15 15 15 26-Nov-24 16 18 17 15 18 8 19 10 10 13-Dec-24 15 15	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Mechanical Rough-In -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101	10 04-Nov-24 5 5 2 25-Nov-24 15 15 15 26-Nov-24 8 8 27-Nov-24 10 10	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8430	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101	10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 26-Nov-24 8 8 27-Nov-24 10 10 10 13-Dec-24 15 15 16 13-Dec-24 17 13-Dec-24 18 3 19-Dec-24 10 19-Dec-24	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8430 CON-8440	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101	10 04-Nov-24 10 04-Nov-24 15 18-Nov-24 2 2 10 15 15 26-Nov-24 15 15 20 27-Nov-24 10 10 11 10 12 10 13-Dec-24 14 13 15 13-Dec-24 15 13-Dec-24	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8430 CON-8440 CON-8450	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101Sprinkler Rough-In -2A101,2B101	10 04-Nov-24 10 04-Nov-24 15 15 12 2 15 15 15 15 15 26-Nov-24 16 10 17 13-Dec-24 18 13 19-Dec-24 14 15 15 16 15 17 15 18 14 19-Dec-24 15 10 19-Dec-24 15 15 16 15	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 15-Jan-25	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101Sprinkler Rough-In -2A101,2B101Drywall -2A101,2B101	10 04-Nov-24 10 04-Nov-24 15 18-Nov-24 2 2 15 25-Nov-24 15 115 26-Nov-24 10 10 115 26-Nov-24 10 10 115 13-Dec-24 115 13-Dec-24 115 13-Dec-24 115 13-Dec-24 115 13-Dec-24 115 19-Dec-24 115 15 115 15 115 15 115 15	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 15-Jan-25 21-Jan-25	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Drywall Framing -2A101,2B101 Electrical Rough-In -2A101,2B101 Electrical Shroud -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460 CON-8470	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Electrical Rough-In -2A101,2B101Sprinkler Rough-In -2A101,2B101Drywall -2A101,2B101Fire Sprinkler Shroud -2A101,2B101	10 04-Nov-24 5 18-Nov-24 2 2 2 2 15 15 15 26-Nov-24 15 15 2 2-Nov-24 15 15 26-Nov-24 10 10 13-Dec-24 15 15 15 13-Dec-24 15 13-Dec-24 15 15 16 19-Dec-24 15 15 16 15 17 19-Dec-24 15 15 24-Dec-24 15 15 30-Dec-24 15 15 16-Jan-25 16-Jan-25	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 15-Jan-25 21-Jan-25 23-Jan-25	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Drywall Framing -2A101,2B101 Drywall 2A101,2B101 Drywall -2A101,2B101 Drywall -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8420 CON-8440 CON-8450 CON-8460 CON-8470 CON-8480	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Electrical Rough-In -2A101,2B101Electrical Rough-In -2A101,2B101Drywall Framing -2A101,2B101Fires Prinkler Rough-In -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fires Prinkler Shroud -2A101,2B101Fires Prinkler Shroud -2A101,2B101	10 04-Nov-24 5 18-Nov-24 2 2 2 2 15 15 15 26-Nov-24 15 15 2 2 10 10 11 10 12 10 13 13-Dec-24 15 15 15 15 16 15 15 19-Dec-24 15 15 16 15 17 19-Dec-24 18 30-Dec-24 15 15 24-Dec-24 15 15 30-Dec-24 15 15 30-Dec-24 15 15 30-Dec-24 15 15 30-Dec-24 15 15 30-Dec-24 15 16-Jan-25 15 22-Jan-25	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 15-Jan-25 21-Jan-25 23-Jan-25 28-Jan-25	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Drywall -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460 CON-8460 CON-8470 CON-8480	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101Drywall Framing -2A101,2B101Fire Sprinkler Rough-In -2A101,2B101Drywall -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fire & 1st Coat of Paint -2A101,2B101	10 04-Nov-24 10 04-Nov-24 15 15 12 2 15 15 15 25-Nov-24 15 15 16 15 17 26-Nov-24 18 8 27-Nov-24 10 10 13-Dec-24 15 15 15 15 16 15 15 19-Dec-24 15 15 16 15 17 19-Dec-24 15 15 16 15 17 19-Dec-24 15 15 24-Dec-24 15 15 30-Dec-24 15 15 24-Dec-24 15 15 16-Jan-25 15 16-Jan-25 15 24-Jan-25	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 25-Jan-25 23-Jan-25 28-Jan-25 30-Jan-25	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 TSF Drywall -2A101,2B101 TSF Drywall -2A101,2B101
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CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8410 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460 CON-8460 CON-8460 CON-8500 CON-8510 CON-8510 CON-8520 CON-8530	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101Drywall Framing -2A101,2B101Frie Sprinkler Rough-In -2A101,2B101Frie Sprinkler Shroud -2A101,2B101Frie Sprinkler Shroud -2A101,2B101Frie Sprinkler Shroud -2A101,2B101Prime & 1st Coat of Paint -2A101,2B101Electrical Lights/Trim -2A101,2B101Detention Doors,Hardware and Accessories -2A101,2B101Acoustical Ceiling Panels -2A101,2B101Acoustical Wall Panels -2A101,2B101Sprinkler Trim Out -2A101,2B101Firesinous Shower Coating -2A101,2B101	10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 26-Nov-24 15 15 16 175 175 26-Nov-24 18 8 27-Nov-24 10 10 13-Dec-24 11 15 11 13-Dec-24 11 15 11 13-Dec-24 11 13-Dec-24 11 13-Dec-24 11 14-Dec-24 11 15 11 19-Dec-24 11 15 11 14-Dec-24 11 15 11 15 11 15 11 16-Jan-25 11 10 11 14-Feb-25 11 10 11 14-Feb-25 11 10 11 14-Feb-25 15	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 15-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 27-Feb-25 27-Feb-25 20-Feb-25 20-Feb-25 20-Feb-25 20-Feb-25	Overhead Electrical -2A101,2B101 I Paint HC Panel Ceiling -2A101,2B101 I Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 I Hanger/Ceiling Rough-In -2A101,2B101 I Mechanical Rough-In -2A101,2B101 I Plumbing Rough-In -2A101,2B101 I Plumbing Rough-In -2A101,2B101 I Drywall Framing -2A101,2B101 I Interior Door/Window Frame -2A101,2B101 I Interior Door/Window Frame -2A101,2B101 I Drywall Framing -2A101,2B101 I Drywall Framing -2A101,2B101 I Drywall Framing -2A101,2B101 I Interior Door/Window Frame -2A101,2B101 I Drywall Framing -2A101,2B101 I Drywall -2A101,2B101 I Detention Doors, Hardware and Accessories -2A101,2B101 I Accustical Ceiling Panels -2A101,2B101 I Accustical Ceiling Panels -2A101,2B101 I Accustical Wall Panels -2A101,2B101 I Accustical Wall Panels -2A101,2B101 I Ac
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8420 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460 CON-8460 CON-8460 CON-8480 CON-8510 CON-8510 CON-8520 CON-8520 CON-8550 CON-8550	Overhead Electrical -2A101,2B101Paint HC Panel Ceiling -2A101,2B101Hanger/Ceiling Rough Install -2A101,2B101Overhead Mechanical -2A101,2B101Mechanical Rough-In -2A101,2B101Plumbing Rough-In -2A101,2B101CMU at Core and Shower (move ahead) -2A101,2B101Drywall Framing -2A101,2B101Interior Door/Window Frame -2A101,2B101Electrical Rough-In -2A101,2B101Drywall Framing -2A101,2B101Drywall -In -2A101,2B101Fire Sprinkler Rough-In -2A101,2B101Fire Sprinkler Rough-In -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Fire Sprinkler Shroud -2A101,2B101Detention Doors,Hardware and Accessories -2A101,2B101Detention Doors,Hardware and Accessories -2A101,2B101Acoustical Wall Panels -2A101,2B101Acoustical Wall Panels -2A101,2B101Kert Trim Out -2A101,2B101 <td>10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 25-Nov-24 15 15 15 15 16 175 10 10 11 10 12 27-Nov-24 13 13-Dec-24 15 15 15 13-Dec-24 15 15 15 19-Dec-24 15 15 16 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 16-Jan-25 16 10 170 24-Jan-25 18 24-Jan-25 19 10 10 10 110 14-Feb-25 110 10 14-Feb-25 <!--</td--><td>15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 15-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 20-Jan-25 20-Jan-25 20-Jan-25 20-Feb-25 20-Feb-25</td><td> Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Frarning -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Drywall -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 TSF Dywall -2A101,2B101 Drywall -2A101,2B101 Detention Doors,Hardware and Accessories -2A101,2B101 Accustical Ceiling Panels -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 </td></td>	10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 25-Nov-24 15 15 15 15 16 175 10 10 11 10 12 27-Nov-24 13 13-Dec-24 15 15 15 13-Dec-24 15 15 15 19-Dec-24 15 15 16 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 16-Jan-25 16 10 170 24-Jan-25 18 24-Jan-25 19 10 10 10 110 14-Feb-25 110 10 14-Feb-25 </td <td>15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 15-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 20-Jan-25 20-Jan-25 20-Jan-25 20-Feb-25 20-Feb-25</td> <td> Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Frarning -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Drywall -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 TSF Dywall -2A101,2B101 Drywall -2A101,2B101 Detention Doors,Hardware and Accessories -2A101,2B101 Accustical Ceiling Panels -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 </td>	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 15-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 20-Jan-25 20-Jan-25 20-Jan-25 20-Feb-25	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Frarning -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Drywall -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 TSF Dywall -2A101,2B101 Drywall -2A101,2B101 Detention Doors,Hardware and Accessories -2A101,2B101 Accustical Ceiling Panels -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101 Sprinkler Trim Qut -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8410 CON-8420 CON-8430 CON-8440 CON-8450 CON-8460 CON-8460 CON-8470 CON-8470 CON-8500 CON-8510 CON-8520 CON-8550 CON-8550 CON-8550	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Drywall Framing -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Electrical Rough-In -2A101,2B101 Drywall -2A101,2B101 Prime & 1st Coat of Paint -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 Prime & 1st Coat of Paint -2A101,2B101 Detention Doors,Hardware and Accessories -2A101,2B101 Acoustical Ceiling Panels -2A101,2B101 Acoustical Wall Panels -2A101,2B101 Acoustical Ceiling Panels -2A101,2B101 Sprinkler Trim Out -2A101,2B101 Acoustical Wall Panels -2A101,2B101 Primo Shower Coating -2A101,2B101 Mechanical Grills and Diffusers -2A101,2B101 Beverage Counter -2A101,2B101	10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 26-Nov-24 15 15 16 15 17 26-Nov-24 18 8 27-Nov-24 10 10 13-Dec-24 15 15 15 13-Dec-24 15 15 15 13-Dec-24 15 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 15 24-Dec-24 15 16-Jan-25 16 10 170 24-Jan-25 18 24-Jan-25 19 10 10 10 14-F	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 26-Dec-24 26-Dec-24 23-Jan-25 23-Jan-25 28-Jan-25 20-Jan-25 27-Feb-25 27-Feb-25 20-Feb-25 20-Feb-25	 Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Electrical Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Electrical Rough-In -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 Fire Sprinkler Shroud -2A101,2B101 Drywall -2A101,2B101 Drywall -2A101,2B101 Drywall -2A101,2B101 Detention Doors, Hardware and Accessories -2A101,2B101 Accustical Ceiling Panels -2A101,2B101 Sprinkler Trim Qt -2A101,2B101 Sprinkler Trim Qt -2A101,2B101 Mechanical Gilis and Diffusers -2A101,2B101
CON-8370 CON-8380 CON-8390 CON-8400 CON-8410 CON-8410 CON-8420 CON-8430 CON-8430 CON-8450 CON-8460 CON-8470 CON-8490 CON-8500 CON-8510 CON-8510 CON-8530 CON-8550 CON-8550 CON-8550 CON-8550	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Hanger/Ceiling Rough Install -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Plumbing Rough-In -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Interior Door/Window Frame -2A101,2B101 Electrical Rough-In -2A101,2B101 Drywall Framing -2A101,2B101 Plumbing Rough-In -2A101,2B101 Sprinkler Rough-In -2A101,2B101 Prime Rough-In -2A101,2B101 Prime Rough-In -2A101,2B101 Prime Rough-In -2A101,2B101 Prime & 1st Coat of Paint -2A101,2B101 Prime & 1st Coat of Paint -2A101,2B101 Electrical Lights/Trim -2A101,2B101 Detention Doors,Hardware and Accessories -2A101,2B101 Accoustical Ceiling Panels -2A101,2B101 Accoustical Wall Panels -2A101,2B101 Prisnous Shower Coating -2A101,2B101 Prisnous Shower Coating -2A101,2B101 Mechanical Grills and Diffusers -2A101,2B101 Beverage Counter -2A101,2B101 Beverage Counter -2A101,2B101 Beverage Counter	10 04-Nov-24 5 18-Nov-24 2 25-Nov-24 15 15 15 26-Nov-24 15 15 16 15 17 26-Nov-24 18 8 27-Nov-24 10 10 13-Dec-24 15 15 15 13-Dec-24 15 15 15 19-Dec-24 15 15 16 15 17 19-Dec-24 18 30-Dec-24 15 15 16 30-Dec-24 15 15 16 15 17 24-Dec-24 15 16-Jan-25 16 15 17 24-Jan-25 10 10 110 14-Feb-25 110 10 14-Feb-25 14-Feb-25 15 14-Feb-25 15<	15-Nov-24 22-Nov-24 26-Nov-24 18-Dec-24 10-Dec-24 27-Dec-24 06-Jan-25 23-Dec-24 26-Dec-24 26-Dec-24 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 23-Jan-25 27-Feb-25 27-Feb-25 20-Feb-25 20-Feb-25	Overhead Electrical -2A101,2B101 Paint HC Panel Ceiling -2A101,2B101 Overhead Mechanical -2A101,2B101 Overhead Mechanical -2A101,2B101 Overhead Mechanical -2A101,2B101 Mechanical Rough-In -2A101,2B101 Overhead Mechanical -2A101,2B101 Overhead Mechanical -2A101,2B101 Overhead Mechanical -2A101,2B101 CMU at Core and Shower (move ahead) -2A101,2B101 Drywall Framing -2A101,2B101 Electrical Rough-In -2A101,2B101 Electrical Colling Panels -2A101,2B101 Electrical Ceiling Panels -2A101,2B101 Accustical Wall Panels -2A101,2B101 Electrical Colling Panels -2A101,2B101 Electrical Colling Panels -2A101,2B101 Electrical Ceiling Panels -2

Layout: Full Schedu		Page 1		TASK filters: In Progress, Not Star
tivity ID	Activity Name	Orig Remaining Start Dur Duration	Finish	2024 2025 2026 2027 1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D J F M .
CON-8620	Detention Furniture -2A101.2B101	5 5 14-Mar-25	20-Mar-25	Detention Furniture -2A101.2B101
CON-8630		10 10 21-Mar-25	03-Apr-25	□ Final Paint -2A101.2B101
CON-8640	Seal Concrete and SOG -2A101,2B101	5 5 04-Apr-25	10-Apr-25	Seal Concrete and SOG -2A101,2B101
CON-8650	Penetrative Fire Stopping -2A101,2B101	5 5 04-Apr-25	10-Apr-25	Penetrative Fire Stopping -2A101,2B101
CON-8660		6 6 11-Apr-25	18-Apr-25	Interor Joint Sealant and Firestopping -2A101,2B101
CON-8670		10 10 21-Apr-25	02-May-25	Construction Clean -2A101,2B101
CON-8680	SEC Systems Pre-Test -2A101,2B101	5 5 05-May-25	09-May-25	SEC Systems Pre-Test -2A101,2B101
	D TAB -2A101,2B101	5 5 05-May-25	09-May-25	□ TAB-2A101,2B101
	JED Pre-Punch & Correction -2A101.2B101	10 10 12-May-25	23-May-25	■ JED Pre-Punch & Correction -2A101,2B101
3A101, 4A101	1, 5A101, 6A101	145 145 14-Oct-24	09-May-25	
Rough In & F		145 145 14-Oct-24	09-May-25	
CON-8700		5 5 14-Oct-24	18-Oct-24	Install Exterior Door/Window Frames / Security Bars -3A101, 4A101, 5A101, 6A101
	Overhead Electrical -3A101, 4A101, 5A101, 6A101	10 10 21-Oct-24	01-Nov-24	Overhead Electrical -3A101, 4A101, 5A101
CON-8720		5 5 04-Nov-24	08-Nov-24	Paint HC Panel Ceiling -3A101, 4A101, 5A101, 6A101
CON-8730		2 2 11-Nov-24	12-Nov-24	Hanger/Ceiling Rough Install -3A101, 4A101, 5A101, 6A101
CON-8740		15 15 12-Nov-24	04-Dec-24	Overhead Mechanical -3A101, 4A101, 5A101, 6A101
CON-8750		8 8 13-Nov-24	22-Nov-24	Mechanical Rough-In -3A101, 4A101, 5A101, 6A101
CON-8760		10 10 27-Nov-24	12-Dec-24	Plumbing Rough-In -3A101, 4A101, 5A101, 6A101
CON-8770		15 15 27-Nov-24	19-Dec-24	CMU at Core and Shower (move ahead) -3A101, 4A101, 5A101, 6A101
CON-8780	Drywall Framing -3A101, 4A101, 5A101, 6A101	3 3 05-Dec-24	09-Dec-24	Drywall Framing -3A101, 4A101, 5A101, 6A101
CON-8790	Interior Door/Window Frame -3A101, 4A101, 5A101, 6A101	5 5 05-Dec-24	11-Dec-24	Interior Door/Window Frame -3A101, 4A101, 5A101, 6A101
CON-8800	Electrical Rough-In -3A101, 4A101, 5A101, 6A101	15 15 10-Dec-24	31-Dec-24	Electrical Rough-In -3A101, 4A101, 5A101, 6A101
CON-8810		15 15 13-Dec-24	06-Jan-25	Sprinkler Rough-In -3A101, 4A101, 5A101
CON-8820	Drywall -3A101, 4A101, 5A101, 6A101	5 5 02-Jan-25	08-Jan-25	Drywall -3A101, 4A101, 5A101, 6A101
CON-8830		5 5 07-Jan-25	13-Jan-25	Fire Sprinkelr Shroud -3A101, 5A101, 5A101, 6A101
CON-8840		5 5 09-Jan-25	15-Jan-25	TSF Drywall -3A101, 4A101, 5A101, 6A101
CON-8850	Prime & 1st Coat of Paint -3A101, 4A101, 5A101, 6A101	10 10 16-Jan-25	30-Jan-25	Prime & 1st Coat of Paint -3A101, 4A101, 5A101, 6A101
CON-8860		10 10 10 31-25	13-Feb-25	Electrical Lights/Trim -3A101, 4A101, 5A101, 6A101
CON-8870		10 10 31-Jan-25	13-Feb-25	Detention Doors, Hardware and Accessories -3A101, 4A101, 5A101, 6A101
CON-8880		5 5 31-Jan-25	06-Feb-25	
CON-8890	Acoustical Ceiling Panels -3A101, 4A101, 5A101, 6A101	5 5 5 31-25 5 5 31-Jan-25	06-Feb-25	Acoustical Ceiling Panels -3A101, 4A101, 5A101, 6A101
				Acoustical Wall Panels -3A101, 4A101, 5A101, 6A101
CON-8900		5 5 31-Jan-25	06-Feb-25	Sprinkler Trim Out -3A101, 4A101, 5A101, 6A101
CON-8910		15 15 31-Jan-25	20-Feb-25	Resousous Shower Coating -3A101, 4A101, 5A101, 6A101
CON-8920		5 5 07-Feb-25	13-Feb-25	Mechanical Grills and Diffusers -3A101, 4A101, 5A101, 6A101
CON-8930		5 5 07-Feb-25	13-Feb-25	Beverage Counter -3A101, 4A101, 5A101, 6A101
CON-8940		15 15 14-Feb-25	06-Mar-25	Security Electronics -3A101, 4A101, 5A101, 6A101
CON-8950	Security Galzing and Sealants -3A101, 4A101, 5A101, 6A101	5 5 14-Feb-25	20-Feb-25	Security Galzing and Sealants -3A101, 4A101, 5A101, 6A101
CON-8960	Plumbing Fixtures -3A101, 4A101, 5A101, 6A101	5 5 21-Feb-25	27-Feb-25	Plumbing Fixtures -3A101, 4A101, 5A101, 6A101
CON-8970		5 5 28-Feb-25	06-Mar-25	Detention Furniture -3A101, 4A101, 5A101, 6A101
CON-8980	Final Paint -3A101, 4A101, 5A101, 6A101	10 10 07-Mar-25	20-Mar-25	Final Paint -3A101, 4A101, 5A101, 6A101
CON-8990		5 5 21-Mar-25	27-Mar-25	Seal Concrete and SOG-3A101, 4A101, 5A101, 6A101
CON-9000		5 5 21-Mar-25	27-Mar-25	Penetrative Fire Stopping -3A101, 4A101, 5A101, 6A101
CON-9010		6 6 28-Mar-25	04-Apr-25	Interor Joint Sealant and Firestopping -3A101, 4A101, 5A101, 6A101
CON-9020		10 10 07-Apr-25	18-Apr-25	Construction Clean -3A101, 4A101, 5A101, 6A101
CON-9030		5 5 21-Apr-25	25-Apr-25	SEC Systems Pre-Test 3A101, 4A101, 5A101, 6A101
	TAB 3A101, 4A101, 5A101, 6A101	5 5 21-Apr-25	25-Apr-25	TAB 3A101, 4A101, 5A101, 6A101
	JED Pre-Punch & Correction -3A101, 4A101, 5A101, 6A101	10 10 28-Apr-25	09-May-25	JED Pre-Punch & Correction -3A101, 4A101, 5A101, 6A101
3B101, 3B102		145 145 31-Oct-24	29-May-25	
Rough In & F		145 145 31-Oct-24	29-May-25	
		5 5 31-Oct-24	06-Nov-24	Install Exterior Door/Window Frames / Security Bars 3B101, 3B102, 4B101
CON-9060		10 10 07-Nov-24	20-Nov-24	Overhead Electrical 3B101, 3B102, 4B101
		5 5 21-Nov-24	27-Nov-24	Paint HC Panel Ceiling 3B101, 3B102, 4B101
CON-9080	Hanger/Ceiling Rough Install 3B101, 3B102, 4B101	2 2 02-Dec-24	03-Dec-24	Hanger/Ceiling Rough Install 3B101, 3B102, 4B101
CON-9090	Overhead Mechanical 3B101, 3B102, 4B101	15 15 03-Dec-24	23-Dec-24	Overhead Mechanical 3B101, 3B102, 4B101

ayout: Full Schedu	ule	Page 18	of 24	TASK filters: In Progress, Not Sta
ivity ID	Activity Name	Orig Remaining Start Dur Duration	Finish	2024 2025 2026 2027
				1 J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J F M
CON-9100		8 8 04-Dec-24	13-Dec-24	Mechanical Rough-In 3B101, 3B102, 4B101
CON-9110		10 10 18-Dec-24	02-Jan-25	Plumbing Rough-In 3B101, 3B102, 4B101
CON-9120		15 15 18-Dec-24	09-Jan-25	CMU at Core and Shower (move ahead) 3B101, 3B102, 4B101
CON-9130		3 3 24-Dec-24	27-Dec-24	Drywall Framing 3B101, 3B102, 4B101
CON-9140		5 5 24-Dec-24	31-Dec-24	Interior Door/Window Frame 3B101, 3B102, 4B101
CON-9150		15 15 30-Dec-24	21-Jan-25	Electrical Rough-In 3B101, 3B102, 4B101
CON-9160		15 15 03-Jan-25	24-Jan-25	Sprinkler Rough-In 3B101, 3B102, 4B101
CON-9170	Drywall 3B101, 3B102, 4B101	5 5 22-Jan-25	28-Jan-25	Drywall 3B101, 3B102, 4B101
CON-9180	Fire Sprinkelr Shroud 3B101, 3B102, 4B101	5 5 27-Jan-25	31-Jan-25	Fire Sprinkelr Shroud 3B101, 3B102, 4B101
CON-9190	TSF Drywall 3B101, 3B102, 4B101	5 5 29-Jan-25	04-Feb-25	TSF Drywall 3B101, 3B102, 4B101
CON-9200	Prime & 1st Coat of Paint 3B101, 3B102, 4B101	10 10 05-Feb-25	18-Feb-25	Prime & 1st Coat of Paint 3B101, 3B102, 4B101
CON-9210	Electrical Lights/Trim 3B101, 3B102, 4B101	10 10 19-Feb-25	04-Mar-25	Electrical Lights/Trim 3B101, 3B102, 4B101
CON-9220	Detention Doors, Hardware and Accessories 3B101, 3B102, 4B101	10 10 19-Feb-25	04-Mar-25	Detention Doors, Hardware and Accessories 3B101, 3B102, 4B101
CON-9230	Acoustical Ceiling Panels 3B101, 3B102, 4B101	5 5 19-Feb-25	25-Feb-25	Acpustical Ceiling Panels 3B101, 3B102, 4B101
CON-9240	Acoustical Wall Panels 3B101, 3B102, 4B101	5 5 19-Feb-25	25-Feb-25	Acpustical Wall Panels 3B101, 3B102, 4B101
CON-9250	Sprinkler Trim Out 3B101, 3B102, 4B101	5 5 19-Feb-25	25-Feb-25	Sprinkler Trim Out 3B101, 3B102, 4B101
CON-9260	Resousous Shower Coating 3B101, 3B102, 4B101	15 15 19-Feb-25	11-Mar-25	Resousous Shower Coating 3B101, 3B102, 4B101
CON-9270	Mechanical Grills and Diffusers 3B101, 3B102, 4B101	5 5 26-Feb-25	04-Mar-25	Mechanical Grills and Diffusers 3B101, 3B102, 4B101
CON-9280	Beverage Counter 3B101, 3B102, 4B101	5 5 26-Feb-25	04-Mar-25	Beverage Counter 3B101, 3B102, 4B101
CON-9290	Security Electronics 3B101, 3B102, 4B101	15 15 05-Mar-25	25-Mar-25	Security Electronics 3B101, 3B102, 4B101
CON-9300	Security Galzing and Sealants 3B101, 3B102, 4B101	5 5 05-Mar-25	11-Mar-25	\$ecurity Galzing and Sealants 3B101, 3B102, 4B101
CON-9310	Plumbing Fixtures 3B101, 3B102, 4B101	5 5 12-Mar-25	18-Mar-25	Plumbing Fixtures 3B101, 3B102, 4B101
CON-9320	Detention Furniture 3B101, 3B102, 4B101	5 5 19-Mar-25	25-Mar-25	Detention Furniture 3B101, 3B102, 4B101
CON-9330	Final Paint 3B101, 3B102, 4B101	10 10 26-Mar-25	08-Apr-25	Final Paint 3B101, 3B102, 4B101
CON-9340	Seal Concrete and SOG 3B101, 3B102, 4B101	5 5 09-Apr-25	15-Apr-25	Seal Concrete and SQG 3B101, 3B102, 4B101
CON-9350	Penetrative Fire Stopping 3B101, 3B102, 4B101	5 5 09-Apr-25	15-Apr-25	Penetrative Fire Stopping 3B101, 3B102, 4B101
CON-9360		6 6 16-Apr-25	23-Apr-25	Interor Joint Sealant and Firestopping 3B101, 3B102, 4B101
CON-9370	Construction Clean 3B101, 3B102, 4B101	10 10 24-Apr-25	07-May-25	Construction Clean 3B101, 3B102, 4B101
CON-9380	SEC Systems Pre-Test 3B101, 3B102, 4B101	5 5 08-May-25	14-May-25	■ SEC Systems Pre-Test 3B101, 3B102, 4B101
	0 TAB 3B101, 3B102, 4B101	5 5 08-May-25	14-May-25	■ TAB 3B101, 3B102, 4B101
CON-4950	JED Pre-Punch & Correction 3B101, 3B102, 4B101	10 10 15-May-25	29-May-25	JED Pre-Punch & Correction 3B101, 3B102, 4B101
Crew 2		166 166 19-Sep-24	15-May-25	
1E101, 2E101	1	145 145 19-Sep-24	16-Apr-25	
Rough In & I		145 145 19-Sep-24	16-Apr-25	
	Install Exterior Door/Window Frames / Security Bars 1E101,2E101	5 5 19-Sep-24	25-Sep-24	Install Exterior Door/Window Frames / Security Bars 1E101,2E101
CON-9410	-	10 10 26-Sep-24	09-Oct-24	Overhead Electrical 1E101,2E101
CON-9420		5 5 10-Oct-24	16-Oct-24	Paint HC Panel Ceiling 1E101,2E101
CON-9430		2 2 17-Oct-24	18-Oct-24	Hanger/Ceiling Rough Install 1E101,2E101
CON-9440		15 15 18-Oct-24	07-Nov-24	Overhead Mechanical 1E101,2E101
CON-9450		8 8 21-Oct-24	30-Oct-24	Mechanical Rough-In 1E101,2E101
CON-9460	-	10 10 04-Nov-24	15-Nov-24	Plumbing Rough-In 1E101,2E101
CON-9400 CON-9470			22-Nov-24	CMU at Core and Shower (move ahead) 1E101,2E101
CON-9470 CON-9480		15 15 04-Nov-24 3 3 08-Nov-24	12-Nov-24	Drywall Framing 1E101,2E101
CON-9490	· ·	5 5 08-Nov-24	14-Nov-24	Interior Door/Window Frame 1E101,2E101
CON-9500		15 15 13-Nov-24	05-Dec-24	Electrical Rough-In 1E101,2E101
CON-9510		15 15 18-Nov-24	10-Dec-24	Sprinkler Rough-In 1E101,2E101
CON-9520		5 5 06-Dec-24	12-Dec-24	Drywall 1E101,2E101
CON-9530		5 5 11-Dec-24	17-Dec-24	Fire Sprinkelr Shroud 1E101,2E101
CON-9540		5 5 13-Dec-24	19-Dec-24	TSF Drywall 1E101,2E101
CON-9550		10 10 20-Dec-24	06-Jan-25	Prime & 1st Coat of Paint 1E101,2E101
CON-9560		10 10 07-Jan-25	21-Jan-25	Electrical Lights/Trim 1E101,2E101
CON-9570		10 10 07-Jan-25	21-Jan-25	Detention Doors, Hardware and Accessories 1E101,2E101
CON-9580	Acoustical Ceiling Panels 1E101,2E101	5 5 07-Jan-25	13-Jan-25	Acoustical Ceiling Panels 1E101,2E101
	Acoustical Wall Panels 1E101,2E101			Acoustical Wall Panels 1E101,2E101

ayout: Full Schedu	lle		19 of 24	TASK filters: In Progress, No	ot Start
vity ID	Activity Name	Orig Remaining Start Dur Duration	Finish		2027
			40.1.05	M J JUL A S Oct N D J F M A M J JUL A S Oct N D J F M A M J JUL A S O N D J F	F M A
CON-9600		5 5 07-Jan-25	13-Jan-25	Sprinkler Trim Out 1E101,2E101	
CON-9610		15 15 07-Jan-25	28-Jan-25	Resousous Shower Coating 1E101,2E101	
CON-9620		5 5 14-Jan-25	21-Jan-25	Mechanical Grills and Diffusers 1E101,2E101	
CON-9630		5 5 14-Jan-25	21-Jan-25	Beverage Counter 1 E101,2E101	
CON-9640		15 15 22-Jan-25	11-Feb-25	Security Electronics 1E101,2E101	
CON-9650		5 5 22-Jan-25	28-Jan-25	Security Galzing and Sealants 1E101,2E101	
CON-9660		5 5 29-Jan-25	04-Feb-25	Plumbing Fixtures 1E101,2E101	
CON-9670		5 5 5 05-Feb-25	11-Feb-25	Detention Furniture 1E101,2E101	
CON-9680		10 10 12-Feb-25	25-Feb-25	□ Final Paint 1E101,2E101	
CON-9690		5 5 26-Feb-25	04-Mar-25	Seal Concrete and SOG 1E101,2E101	
CON-9700	Penetrative Fire Stopping 1E101,2E101	5 5 26-Feb-25	04-Mar-25	Penetrative Fire Stopping 1E101,2E101	
CON-9710	Interor Joint Sealant and Firestopping 1E101,2E101	6 6 05-Mar-25	12-Mar-25	Interor Joint Sealant and Firestopping 1E101,2E101	
CON-9720	Construction Clean 1E101,2E101	10 10 13-Mar-25	26-Mar-25	Construction Clean 1E101,2E101	
CON-9730	SEC Systems Pre-Test 1E101,2E101	5 5 27-Mar-25	02-Apr-25	SEC Systems Pre-Test 1E101,2E101	
CON-21680	D TAB 1E101,2E101	5 5 27-Mar-25	02-Apr-25	TAB 1E101,2E101	
CON-5010	JED Pre-Punch & Correction 1E101,2E101	10 10 03-Apr-25	16-Apr-25	■ JED Pre-Punch & Correction 1E101,2E101	
3E101,3E102	,4E101	145 145 26-Sep-24	23-Apr-25		
Rough In & I	Finishes	145 145 26-Sep-24	23-Apr-25		
CON-9750	Install Exterior Door/Window Frames / Security Bars 3E101,3E102,4E101	5 5 26-Sep-24	02-Oct-24	Install Exterior Door/Window Frames / Security Bars 3E101,3E102,4E101	
CON-9760	Overhead Electrical 3E101,3E102,4E101	10 10 03-Oct-24	16-Oct-24	Overhead Electrical 3E101,3E102,4E101	
CON-9770	Paint HC Panel Ceiling 3E101,3E102,4E101	5 5 17-Oct-24	23-Oct-24	Paint HC Panel Ceiling 3E101,3E102,4E101	
CON-9780	Hanger/Ceiling Rough Install 3E101,3E102,4E101	2 2 24-Oct-24	25-Oct-24	Hanger/Ceiling Rough Install 3E101,3E102,4E101	
CON-9790		15 15 25-Oct-24	14-Nov-24	Overhead Mechanical 3E101,3E102,4E101	
CON-9800		8 8 28-Oct-24	06-Nov-24	Mechanical Rough-In 3E101,3E102,4E101	
CON-9810		10 10 11-Nov-24	22-Nov-24	□ Plumbing Rough-In 3E101,3∉102,4E101	
CON-9820		15 15 11-Nov-24	03-Dec-24	CMU at Core and Shower (move ahead) 3E101,3E102,4E101	
CON-9830		3 3 15-Nov-24	19-Nov-24	Drywall Framing 8E101,3E102,4E101	
CON-9840		5 5 15-Nov-24	21-Nov-24	Interior Door/Window Frame 3E101,3E102,4E101	
CON-9850		15 15 20-Nov-24	12-Dec-24	Electrical Rough-In 3E101,3E102,4E101	
CON-9860		15 15 25-Nov-24	17-Dec-24	Sprinkler Rough-In 3E101,3E102,4E101	
	Drywall 3E101,3E102,4E101	5 5 13-Dec-24	19-Dec-24	Drywall 3E101,3E102,4E101	
	-			Fire Sprinkelr Shroud 3E101,3E102,4E101	
CON-9880			24-Dec-24		
CON-9890		5 5 20-Dec-24	27-Dec-24	TSF Drywall 3E101,3E102,4E101	
CON-9900		10 10 30-Dec-24	13-Jan-25	Prime & 1st Coat of Paint 3E101,3E102,4E101	
CON-9910		10 10 14-Jan-25	28-Jan-25	Electrical Lights/Trim 3E101,3E102,4E101	
CON-9920		10 10 14-Jan-25	28-Jan-25	Detention Doors,Hardware and Accessories 3E101,3E102,4E101	
CON-9930		5 5 14-Jan-25	21-Jan-25	Acoustical Ceiling Panels 3E101,3E102,4E101	
CON-9940		5 5 14-Jan-25	21-Jan-25	Acoustical Wall Panels 3E101,3E102,4E101	
CON-9950	• • • • • • • • • • • • • • • • • • •	5 5 14-Jan-25	21-Jan-25	Sprinkler Trim Out 3E101,3E102,4E101	
CON-9960		15 15 14-Jan-25	04-Feb-25	Resousous Shower Coating 3E101,3E102,4E101	
CON-9970	Mechanical Grills and Diffusers 3E101,3E102,4E101	5 5 22-Jan-25	28-Jan-25	Mechanical Grills and Diffusers 3E101,3E102,4E101	
CON-9980	Beverage Counter 3E101,3E102,4E101	5 5 22-Jan-25	28-Jan-25	Beverage Counter 3E101,3E102 4E101	
CON-9990	Security Electronics 3E101,3E102,4E101	15 15 29-Jan-25	18-Feb-25	Security Electronics 3E101,3E102,4E101	
CON-10000	D Security Galzing and Sealants 3E101,3E102,4E101	5 5 29-Jan-25	04-Feb-25	Security Galzing and Sealants 3E101,3E102,4E101	
CON-10010	Plumbing Fixtures 3E101,3E102,4E101	5 5 05-Feb-25	11-Feb-25	Plumbing Fixtures 3E101,3E102,4E101	
CON-10020	D Detention Furniture 3E101,3E102,4E101	5 5 12-Feb-25	18-Feb-25	Detention Furniture 3E101,3E102,4E101	
CON-10030	D Final Paint 3E101,3E102,4E101	10 10 19-Feb-25	04-Mar-25	□ Final Paint 3E101,3E102,4E101	
CON-10040	Seal Concrete and SOG 3E101,3E102,4E101	5 5 05-Mar-25	11-Mar-25	\$eal Concrete and SOG 3E101,3E102,4E101	
CON-10050	Penetrative Fire Stopping 3E101,3E102,4E101	5 5 05-Mar-25	11-Mar-25	Penetrative Fire Stopping 3E101,3E102,4E101	
CON-10060	D Interor Joint Sealant and Firestopping 3E101,3E102,4E101	6 6 12-Mar-25	19-Mar-25	Interor Joint Sealant and Firestopping 3E101,3E102,4E101	
CON-10070	D Construction Clean 3E101,3E102,4E101	10 10 20-Mar-25	02-Apr-25	Construction Clean 3E101,3E102,4E101	
	0 SEC Systems Pre-Test 3E101,3E102,4E101	5 5 03-Apr-25	09-Apr-25	SEC Systems Pre-Test 3E101,3E102,4E101	
	D TAB 3E101,3E102,4E101	5 5 03-Apr-25	09-Apr-25	TAB 3E101,3E102,4E101	
CON-5000		10 10 10-Apr-25	23-Apr-25	JED Pre-Punch & Correction 3E101,3E102,4E101	
0000-0000			20-74-20		

Layout: Full Schedu	ule		Page 2	0 of 24			TASK filters: In Progress,	, Not Starte
ctivity ID	Activity Name		emaining Start	Finish	2024	2025	2026	2027
		Dur	Duration		И J Jul A S Oct N D	J F M A M J Jul A S	Oct N D J F M A M J Jul A S O N D J	F M A
1G101, 2G10	01,1J101	100	100 24-Dec-24	15-May-25				
Rough In &		100	100 24-Dec-24	15-May-25				
CON-8000		5	5 24-Dec-24	31-Dec-24		Install Exterior Door/Window Frames		
CON-8010		5	5 26-Dec-24	02-Jan-25		Overhead Electrical 1G101,2G101,1		
CON-8020		5	5 03-Jan-25	09-Jan-25		Paint HC Panel Ceiling 1G101,2G1	k-í	
CON-8030		2	2 10-Jan-25	13-Jan-25		Hanger/Ceiling Rough Install 1G10		
CON-8110		10	10 10-Jan-25	24-Jan-25	-	Sprinkler Rough-In 1G101,2G101		
CON-8040		10	10 13-Jan-25	27-Jan-25		Overhead Mechanical 1G101,2G		
CON-8050		8	8 14-Jan-25	24-Jan-25	_	Mechanical Rough-In 1G101,2G		
CON-8060		10	10 14-Jan-25	28-Jan-25		Plumbing Rough-In 1G101,2G1	k · · · · · · · · · · · · · · · · · · ·	
CON-8070		15	15 14-Jan-25	04-Feb-25	_	CMU at Core and Shower (mov		
CON-8130		5	5 27-Jan-25	31-Jan-25	_	Fire Sprinkelr Shroud 1G101,2G		
CON-8080		3	3 28-Jan-25	30-Jan-25	-	Drywall Framing 1G101,2G101,1		
CON-8090		5	5 28-Jan-25	03-Feb-25	_	Interior Door/Window Frame 1G		
CON-8100		10	10 31-Jan-25	13-Feb-25	+--	Electrical Rough-In 1G101,2G	101,1J101	
CON-8120		5	5 14-Feb-25	20-Feb-25		Drywall 1G101,2G101,1J101		
CON-8140		5	5 21-Feb-25	27-Feb-25	-	TSF Drywall 1G101,2G101,1		
CON-8150		10	10 28-Feb-25	13-Mar-25		Prime & 1st Coat of Paint		
CON-8160		10	10 14-Mar-25	27-Mar-25		Electrical Lights/Trim 1G		
CON-8240		15	15 14-Mar-25	03-Apr-25		Security Electronics 1G	kkkkkkk	
CON-8170		10	10 14-Mar-25	27-Mar-25	-		are and Accessories 1G101 2G101,1J101	
CON-8180		5	5 14-Mar-25	20-Mar-25		Acoustical Ceiling Panels		
CON-8190		5	5 14-Mar-25	20-Mar-25		Acoustical Wall Panels 10 Sprinklar Trim Out 10:101		
CON-8200 CON-8210		10	5 14-Mar-25 10 14-Mar-25	20-Mar-25 27-Mar-25	_	Sprinkler Trim Out 1G101		
		10					F	
CON-8220 CON-8230		5	5 21-Mar-25 5 21-Mar-25	27-Mar-25 27-Mar-25	_	Beverage Counter 1G10	fusers 1G101,2G101,1J101	
CON-8230 CON-8250		5	5 21-Mai-25	03-Apr-25	_	Ŭ Ŭ	alants 1G101,2G101,1J101	
CON-8250		5	5 28-Mar-25	03-Apr-25	-	 Plumbing Fixtures 1G1 		
CON-8200	•	5	5 04-Apr-25	10-Apr-25	-	Detention Furniture 10		
CON-8280		10	10 04-Apr-25	17-Apr-25		Final Paint 1G101,2G	kk	
CON-8290		5	5 18-Apr-25	24-Apr-25	-		OG 1G101,2G101,1J101	
CON-8310		5	5 18-Apr-25	24-Apr-25	-		and Firestopping 1G101,2G101,1J101	
CON-8300		5	5 18-Apr-25	24-Apr-25			ping 1G101,2G101,1J101	
CON-8320		5	5 25-Apr-25	01-May-25		Construction Clean		
CON-8330		5	5 25-Apr-25	01-May-25		- +	Test 1G101,2G101,1J101	
	0 TAB 1G101.2G101.1J101	5	5 25-Apr-25	01-May-25		TAB 1G101,2G101		
CON-5020		10	10 02-May-25	15-May-25			Correction 1G101,2G101,1J101	
Admin		218	218 12-Nov-24	23-Sep-25				
CON-4830	Master Control Buildout	20	20 30-Apr-25	28-May-25		Master Control	Buildout	
Admin East - F	Rough In & Finishes (1st & 2nd Floor)	198	198 12-Nov-24	25-Aug-25				
CONADE-000	04 Install Exterior Door/Window Frames / Security Bars - Admin East	15	15 12-Nov-24	04-Dec-24		nstall Exterior Door/Window Frames / Se	curity Bars - Admin East	
	05 Hanger/Ceiling Rough Install - Admin East	5	5 12-Nov-24	18-Nov-24		nger/Ceiling Rough Install -Admin East		
	06 Overhead Mechanical - Admin East	25	25 19-Nov-24	26-Dec-24		Overhead Mechanical - Admin East		
CONADE-000	07 Overhead Plumbing - Admin East	15	15 19-Nov-24	11-Dec-24		Overhead Plumbing - Admin East		
CONADE-000	08 Overhead Electrical - Admin East	25	25 19-Nov-24	26-Dec-24		Overhead Electrical - Admin East	<u> </u>	
CONADE-000	09 Overhead Fire Protection - Admin East	8	8 27-Dec-24	08-Jan-25		Overhead Fire Protection - Admin Ea	ast	
CONADE-00 ²	11 CMU - Admin East	2	2 27-Dec-24	30-Dec-24		CMU - Admin East		
CONADE-00 ²	1 [°] Metal Stud Framing - Admin East	20	20 27-Dec-24	27-Jan-25		Metal Stud Framing - Admin East		
CONADE-00 ²	10 Overhead Inspections and Corrections - Admin East	3	3 09-Jan-25	13-Jan-25		Overhead Inspections and Corrections	ons - Admin East	
CONADE-00 ²	12 In-Wall Rough-In Mechanical - Admin East	10	10 28-Jan-25	10-Feb-25		In-Wall Rough-In Mechanical -	Admin East	
CONADE-007	13 In-Wall Rough-In Plumbing - Admin East	10	10 11-Feb-25	24-Feb-25		In-Wall Rough-In Plumbing -	Admin East	
CONADE-00 ²	14 In-Wall Rough-In Electrical - Admin East	20	20 11-Feb-25	10-Mar-25		In-Wall Rough-In Electrical	-Admin East	
	16 Low Voltage / SEC Wiring - Admin East	10	10 11-Feb-25	24-Feb-25		Low Voltage / SEC Wiring - A	dmin Fast	

ayout: Full Schedu		· · ·	Page 2	1 of 24	TASK filters: In Progress, Not Star
ivity ID	Activity Name	Orig Dur	Remaining Start Duration	Finish	2024 2025 2026 2027
	8 In-Wall Inspections and Corrections - Admin East	3	3 11-Mar-25	13-Mar-25	1 J Jul A S Oct N D J F M A S Oct N D J F M A S Oct N D J F M A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M A M J Jul A S O N D J F M M J Jul A S O N D J F M M J Jul A S O N D J F M M J Jul A S O N D J F M M Jul<
	1 Install Drywall - Admin East	10	10 14-Mar-25	27-Mar-25	Install Drywall - Admin East
	Security Drywall Ceilings - Admin East	10	10 28-Mar-25	10-Apr-25	Security Drywall Ceilings - Admin East
	2 TSF Drywall - Admin East	15	15 28-Mar-25	17-Apr-25	TSF Drywall - Admin East
	7 Penetration Fire Stopping - Admin East	5	5 18-Apr-25	24-Apr-25	Penetration Fire Stopping - Admin East
	3 Prime and 1st Coat of Paint - Admin East	15	15 18-Apr-25	08-May-25	Prime and 1st Coat of Paint - Admin East
	0 Overhead MEP Pre-finish - Admin East	15	5 09-May-25	15-May-25	Overhead MEP Pre-finish - Admin East
	4 Interior Joint Sealants - Admin East	5	5 09-May-25	15-May-25	Interior Joint Sealants - Admin East
	5 Install Acoustical Ceiling Grid - Admin East	15	15 09-May-25	30-May-25	Install Acoustical Ceiling Grid - Admin East
	9 Tile Installed, Bathrooms, Lockers - Admin East	20	20 09-May-25	06-Jun-25	Tile Installed, Bathrooms, Lockers - Admin East
	0 Lockers Installed - Admin East	20		06-Jun-25	Lockers Installed - Admin East
	Millwork Installed - Admin East	20	20 09-May-25 5 09-May-25		
		5	·	15-May-25	Millwork Install - Admin East
	1 Casework Install - Admin East	10	10 09-May-25	22-May-25	Casework Install - Admin East
	6 Detention Doors, Hardware/Locks, & Accessories - Admin East	5	5 09-May-25	15-May-25	Detention Doors, Hardware/Locks, & Accessories - Admin East
	7 Doors and Hardware - Admin East	15	15 09-May-25	30-May-25	Doors and Hardware - Admin East
	8 Flooring Installed - Admin East	20	20 09-May-25	06-Jun-25	Flooring Installed - Admin East
	9 Pan-filled Stairs and Railing - ST4 Admin East Wing - Admin East	5	5 09-May-25	15-May-25	Pan-filled Stairs and Railing - ST4 Admin East Wing - Admin East
	7 Security Glazing and Sealants - Admin East	15	15 16-May-25	06-Jun-25	Security Glazing and Sealants - Admin East
	8 ACT Tile Installed - Admin East	10	10 02-Jun-25	13-Jun-25	ACT Tile Installed - Admin East
	6 Final Paint - Admin East	15	15 02-Jun-25	20-Jun-25	Final Paint - Admin East
	5 Plumbing Fixtures - Admin East	10	10 09-Jun-25	20-Jun-25	Plumbing Fixtures - Admin East
	2 Electrical Lights/Trim - Admin East	15	15 16-Jun-25	07-Jul-25	Electrical Lights/Trim - Admin East
CONADE-003	3 VR Training Room Equipment (JCMO) - Admin East	5	5 16-Jun-25	20-Jun-25	VR Training Room Equipment (JCMO) - Admin East
	4 Mechanical Grills & Diffusers - Admin East	10	10 16-Jun-25	27-Jun-25	Mechanical Grills & Diffusers - Admin East
CONADE-004	0 Spmkler Trim - Admin East	5	5 16-Jun-25	20-Jun-25	Spmkler Trim - Admin East
CONADE-003	Bathroom Accessories - Admin East	10	10 23-Jun-25	07-Jul-25	Bathroom Accessories - Admin East
CONADE-004	1 Joint Firestopping - Admin East	5	5 23-Jun-25	27-Jun-25	Joint Firestopping - Admin East
CONADE-004	5 Joint Sealants and Fixtures, Accessories and Misc Joints - Admin East	5	5 23-Jun-25	27-Jun-25	Joint Sealants and Fixtures, Accessories and Misc Joints - Admin East
CONADE-004	7 Fixtures, Furniture and Equipment Install - Admin East	15	15 23-Jun-25	14-Jul-25	Fixtures, Fumiture and Equipment Install - Admin East
CONADE-0049	9 SEC/VR Systems Pre-Test (Owner) - Admin East	5	5 23-Jun-25	27-Jun-25	SEC/VR Systems Pre-Test (Owner) - Admin East
CONADE-004	3 Seal concrete and SOG Joint Sealants - Admin East	5	5 30-Jun-25	07-Jul-25	Seal concrete and SOG Joint Sealants - Admin East
CONADE-004	4 Shower Resinous System Install - Admin East	15	15 08-Jul-25	28-Jul-25	Shower Resinous System Install Admin East
CONADE-005	0 Construction Clean - Admin East	5	5 29-Jul-25	04-Aug-25	Construction Clean - Admin East
CON-21710	SEC Systems Pre-Test	5	5 05-Aug-25	11-Aug-25	SEC Systems Pre-Test
CON-21720	TAB	5	5 05-Aug-25	11-Aug-25	TAB
CONADE-005	1 JED Pre-Punchlist & Correction - Admin East	10	10 12-Aug-25	25-Aug-25	□ JED Pre-Punchlist & Correction - Admin East
Admin Lobby M	liddle - Rough In & Finishes (1st & 2nd Floor)	198	198 26-Nov-24	09-Sep-25	
CONAD-0004E	B Install Storefront/Curtain wall - Admin Lobby Middle	20	20 26-Nov-24	26-Dec-24	Install Storefront/Curtain wall - Admin Lobby Middle
CONAD-0004	Install Exterior Door/Window Frames / Security Bars - Admin Lobby Middle	10	10 05-Dec-24	18-Dec-24	Install Exterior Door/Window Frames / \$ecurity Bars - Admin Lobby Middle
CONAD-0005	Hanger/Ceiling Rough Install - Admin Lobby Middle	5	5 05-Dec-24	11-Dec-24	Hanger/Ceiling Rough Install - Admin Lobby Middle
CONAD-0007		15	15 12-Dec-24	03-Jan-25	Overhead Plumbing - Admin Lobby Middle
CONAD-0006		15	15 27-Dec-24	17-Jan-25	Overhead Mechanical - Admin Lobby Middle
	Overhead Electrical - Admin Lobby Middle	25	25 27-Dec-24	03-Feb-25	Overhead Electrical - Admin Lobby Middle
	CMU - Prioritize Master Control - Admin Lobby Middle	20	20 21-Jan-25	17-Feb-25	CMU - Prioritize Master Control - Admin Lobby Middle
	B Metal Stud Framing - Admin Lobby Middle	12	12 28-Jan-25	12-Feb-25	Metal Stud Framing - Admin Lobby Middle
	Overhead Fire Protection - Admin Lobby Middle	12	10 04-Feb-25	17-Feb-25	Overhead Fire Protection - Admin Lobby Middle
	In-Wall Rough-In Mechanical - concurrent with CMU - Admin Lobby Middle	10	10 13-Feb-25	26-Feb-25	In-Wall Rough-In Mechanical - concurrent with CMU - Admin Lobby Middle
	Overhead Inspections and Corrections - Admin Lobby Middle		3 18-Feb-25	20-Feb-25	Overhead Inspections and Corrections - Admin Lobby Middle
	In-Wall Rough-In Plumbing - concurrent with CMU - Admin Lobby Middle	10	10 27-Feb-25	12-Mar-25	 In-Wall Rough-In Plumbing - concurrent with CMU - Admin Lobby Middle
	In-Wall Rough-In Electrical - concurrent with CMU - Admin Lobby Middle	20		07-Apr-25	In-Wall Rough-In Electrical - concurrent with CMU - Admin Lobby Middle
			20 11-Mar-25	· ·	
	In-Wall Inspections and Corrections - Admin Lobby Middle	3	3 08-Apr-25	10-Apr-25	In-Wall Inspections and Corrections - Admin Lobby Middle
	Elevator Installation - EV1 Lobby - Admin Lobby Middle	20	20 11-Apr-25	08-May-25	Elevator Installation - EV1 Lobby - Admin Lobby Middle
CONAD-0023		10	10 11-Apr-25	24-Apr-25	Install Drywall - Admin Lobby Middle
CONAD-0022	Security Drywall Ceilings - Admin Lobby Middle	15	15 25-Apr-25	15-May-25	Security Drywall Ceilings - Admin Lobby Middle

CONAD-0024 CONAD-0017 CONAD-0025 CONAD-0037 CONAD-0020 CONAD-0026	Activity Name TSF Drywall - Admin Lobby Middle Penetration Fire Stopping - Admin Lobby Middle Prime and 1st Coat of Paint - Admin Lobby Middle	Orig Dur 15	Remaining Start Duration	Finish	2024 2025 2026 2027 I J Jul A S Oct N D J F M A N D D J </th
CONAD-0017 CONAD-0025 CONAD-0037 CONAD-0020 CONAD-0026	Penetration Fire Stopping - Admin Lobby Middle				M J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S O N D J F M A
CONAD-0017 CONAD-0025 CONAD-0037 CONAD-0020 CONAD-0026	Penetration Fire Stopping - Admin Lobby Middle	15	4		
CONAD-0025 CONAD-0037 CONAD-0020 CONAD-0026			15 25-Apr-25	15-May-25	TSF Drywall - Admin Lobby Middle
CONAD-0037 CONAD-0020 CONAD-0026	Prime and 1st Coat of Paint - Admin Lobby Middle	5	5 16-May-25	22-May-25	Penetration Fire Stopping - Admin Lobby Middle
CONAD-0020 CONAD-0026		15	15 16-May-25	06-Jun-25	Prime and 1st Coat of Paint - Admin Lobby Middle
CONAD-0026	Detention Door Install - Admin Lobby Middle	5	5 09-Jun-25	13-Jun-25	Detention Door Install - Admin Lobby Middle
	Overhead MEP Pre-Finish - Admin Lobby Middle	5	5 09-Jun-25	13-Jun-25	Overhead MEP Pre-Finish - Admin Lobby Middle
CONAD-0027	Interior Joint Sealants - Admin Lobby Middle	5	5 09-Jun-25	13-Jun-25	Interior Joint Sealants - Admin Lobby Middle
	Install Acoustical Ceiling Grid - Admin Lobby Middle	10	10 09-Jun-25	20-Jun-25	Install Acoustical Ceiling Grid - Admin Lobby Middle
	Tile Installed, Bathrooms - Admin Lobby Middle	15	15 09-Jun-25	27-Jun-25	Tile Installed, Bathrooms - Admin Lobby Middle
	Millwork Install - Admin Lobby Middle	15	15 09-Jun-25	27-Jun-25	Millwork Install - Admin Løbby Middle
	Casework Install - Admin Lobby Middle	10	10 09-Jun-25	20-Jun-25	Casework Install - Admin Lobby Middle
	Doors and Hardware - Admin Lobby Middle	10	10 09-Jun-25	20-Jun-25	Doors and Hardware - Admin Lobby Middle
	Flooring Installed - Admin Lobby Middle	20	20 09-Jun-25	07-Jul-25	Flooring Installed - Admin Lobby Middle
	Pan-filled Stairs and Railings - ST1 - Admin Lobby Middle	5	5 09-Jun-25	13-Jun-25	Pan-filled Stairs and Railings - ST1 - Admin Lobby Middle
CONAD-0048	Install Lobby Glass Handrail - Admin Lobby Middle	10	10 09-Jun-25	20-Jun-25	Install Lobby Glass Handrail - Admin Lobby Middle
CONAD-0028	Security Glazing and Sealants - Admin Lobby Middle	15	15 16-Jun-25	07-Jul-25	Security Glazing and Sealants - Admin Lobby Middle
CONAD-0043	Detention Equipment and Accessories - Admin Lobby Middle	5	5 16-Jun-25	20-Jun-25	Detention Equipment and Accessories - Admin Lobby Middle
CONAD-0047	Final Paint - Admin Lobby Middle	15	15 23-Jun-25	14-Jul-25	Final Paint - Admin Looby Middle
CONAD-0049	ACT Tile Installed - Admin Lobby Middle	10	10 23-Jun-25	07-Jul-25	ACT Tile Installed - Admin Lobby Middle
CONAD-0035	Plumbing Fixtures - Admin Lobby Middle	10	10 30-Jun-25	14-Jul-25	Plumbing Fixtures - Admin Lobby Middle
CONAD-0032	Electrical Lights/Trim - Admin Lobby Middle	15	15 08-Jul-25	28-Jul-25	Electrical Lights/Trim - Admin Lobby Middle
CONAD-0034	Mechanical Grills & Diffusers - Admin Lobby Middle	10	10 08-Jul-25	21-Jul-25	Mechanical Grills & Diffusers - Admin Lobby Middle
	Sprnkler Trim - Admin Lobby Middle	5	5 08-Jul-25	14-Jul-25	Spmkler Trim - Admin Lobby Middle
	Bathroom Accessories - Admin Lobby Middle	10	10 15-Jul-25	28-Jul-25	Bathroom Accessories - Admin Lobby Middle
	Joint Firestopping - Admin Lobby Middle	5	5 15-Jul-25	21-Jul-25	Joint Firestopping - Admin Lobby Middle
	Joint Sealants and Fixtures, Accessories and Misc Joints - Admin Lobby Middle	5	5 15-Jul-25	21-Jul-25	 Joint Sealants and Fixtures, Accessories and Misc Joints - Admin Lobby Middle
	Fixtures, Furniture and Equipment Install - Admin Lobby Middle	15	15 15-Jul-25	04-Aug-25	Fixtures, Furniture and Equipment Install - Admin Lobby Middle
	SEC Systems Pre-Test - Admin Lobby Middle	5	5 15-Jul-25	21-Jul-25	SEC Systems Pre-Test - Admin Lobby Middle
	Seal concrete and SOG Joint Sealants - Admin Lobby Middle	5	5 22-Jul-25	28-Jul-25	 Seal concrete and SOG Joint Sealants - Admin Lobby Middle
	Shower Resinous System Install -Admin Lobby Middle	10	10 29-Jul-25	11-Aug-25	Shower Resinous System Install - Admin Lobby Middle
	Construction Clean - Admin Lobby Middle	5	5 12-Aug-25	18-Aug-25	Construction Clean - Admin Lobby Middle
	SEC Systems Pre-Test	5	5 19-Aug-25	25-Aug-25	SEC Systems Pre-Test
	TAB	5	5 19-Aug-25	25-Aug-25	
	JED Pre-Punchlist & Correction - Admin Lobby Middle	10		_	□ /AP □ JED Pre-Punchlist & Correction - Admin Lobby Middle
		10	10 26-Aug-25	09-Sep-25	
	Courtrooms West - Rough In & Finishes	193	193 19-Dec-24	23-Sep-25	
	Install Exterior Door/Window Frames / Security Bars - Admin Sallyport Courtrooms West	10	10 19-Dec-24	03-Jan-25	Install Exterior Door/Window Frames // Security Bars - Admin Sallyport Courtrooms West
	Hanger/Ceiling Rough Install - Admin Sallyport Courtrooms West	5	5 19-Dec-24	26-Dec-24	Hanger/Ceiling Rough Install - Admin Sallyport Courtrooms West
	Overhead Plumbing - Admin Sallyport Courtrooms West	15	15 06-Jan-25	27-Jan-25	Overhead Plumbing - Admin Sallyport Courtrooms West
	Overhead Mechanical - Admin Sallyport Courtrooms West	25	25 21-Jan-25	24-Feb-25	Overhead Mechanical - Admin Sallyport Courtrooms West
	Elevator Installation - EV2 (Inmates) & EV3 (Judge's) - Admin Sallyport Courtrooms West	40	40 23-Jan-25	19-Mar-25	Elevator Installation - EV2 (Inmates) & EV3 (Judge's) - Admin Sallyport Courtrooms West
	Overhead Electrical - Admin Sallyport Courtrooms West	25	25 04-Feb-25	10-Mar-25	Overhead Electrical - Admin Sallyport Courtrooms West
	Metal stud framing - Admin Sallyport Courtrooms West	8	8 25-Feb-25	06-Mar-25	Metal stud framing - Admin Sallyport Courtrooms West
	In-Wall Rough-In Mechanical - concurrent with CMU - Admin Sallyport Courtrooms West	10	10 07-Mar-25	20-Mar-25	In-Wall Rough-In Mechanical - concurrent with CMU - Admin Sallyport Courtrooms West
	Overhead Fire Protection - Admin Sallyport Courtrooms West	8	8 11-Mar-25	20-Mar-25	Overhead Fire Protection - Admin Sallyport Courtrooms West
	CMU Cure Time - Admin Sallyport Courtrooms West	20	20 18-Mar-25	14-Apr-25	CMU Cure Time - Admin Sallyport Courtrooms West
	Overhead Inspections and Corrections - Admin Sallyport Courtrooms West	3	3 21-Mar-25	25-Mar-25	Overhead Inspections and Corrections - Admin Sallyport Courtrooms West
CONN-0013	In-Wall Rough-In Plumbing - concurrent with CMU - Admin Sallyport Courtrooms West	10	10 21-Mar-25	03-Apr-25	In-Wall Rough-In Plumbing - concurrent with CMU - Admin Sallyport Courtrooms West
CONN-0014	In-Wall Rough-In Electrical - concurrent with CMU - Admin Sallyport Courtrooms West	20	20 08-Apr-25	05-May-25	In-Wall Rough-In Electrical - concurrent with CMU - Admin \$allyport Courtrooms West
CONN-0014B	Shared Chases - MEP - Admin Sallyport Courtrooms West	6	6 08-Apr-25	15-Apr-25	Shared Chases - MEP - Admin Sallyport Courtrooms West
CONN-0016	Low Volt / SEC Wiring - Admin Sallyport Courtrooms West	12	12 08-Apr-25	23-Apr-25	Low Volt / SEC Wiring - Admin Sallyport Courtrooms West
CONN-0018	In-Wall Inspections and Corrections - Admin Sallyport Courtrooms West	3	3 06-May-25	08-May-25	I In-Wall Inspections and Corrections - Admin Sallyport Courtrooms West
CONN-0021	Install Drywall - Admin Sallyport Courtrooms West	10	10 09-May-25	22-May-25	Install Drywall - Admin Sallyport Courtrooms West
	Security Drywall Ceilings - Admin Sallyport Courtrooms West	15	15 16-May-25	06-Jun-25	Security Drywall Ceilings - Admin Sallyport Courtrooms West
	TSF Drywall - Admin Sallyport Courtrooms West	15	15 23-May-25	13-Jun-25	TSF Drywall -Admin Sallypprt Courtrooms West
	Penetration Fire Stopping - Admin Sallyport Courtrooms West	5	5 16-Jun-25	20-Jun-25	Penetration Fire Stopping - Admin Sallyport Courtrooms West

Layout: Full Schedu	ule		Page 2	3 of 24	ТА	ASK filters: In Progress, Not Starte
Activity ID	Activity Name		emaining Start	Finish	2024 2025 2026	2027
		Dur	Duration		I J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul	A S O N D J F M A
CONN-0023	Prime and 1st Coat of Paint - Admin Sallyport Courtrooms West	10	10 16-Jun-25	27-Jun-25	Prime and 1st Coat of Paint - Admin Sallyport Courtroom	s West
CONN-0020	Overhead MEP Pre-finish - Admin Sallyport Courtrooms West	5	5 30-Jun-25	07-Jul-25	Overhead MEP Pre-finish - Admin Sallyport Courtrooms	West
CONN-0024	Interior Joint Sealants - Admin Sallyport Courtrooms West	5	5 30-Jun-25	07-Jul-25	Interior Joint Sealants - Admin Sallyport Courtrooms We	∌st
CONN-0025	Install Acoustical Ceiling Grid - Admin Sallyport Courtrooms West	10	10 30-Jun-25	14-Jul-25	🔲 Install Acpustical Ceiling Grid - Admin Sallyport Cpurtro	oms West
CONN-0029	Tile Installed, Bathrooms - Admin Sallyport Courtrooms West	15	15 30-Jun-25	21-Jul-25	Tile Installed, Bathrooms - Admin Sallyport Courtroom	is West
CONN-0030	Millwork Install - Admin Sallyport Courtrooms West	15	15 30-Jun-25	21-Jul-25	Millwork Install - Admin Sallyport Courtrooms West	
CONN-0031	Casework Install - Admin Sallyport Courtrooms West	10	10 30-Jun-25	14-Jul-25	Casework Install - Admin Sallyport Courtrooms West	
CONN-0036	Detention Doors, Hardware/Locks, & Accessories - Admin Sallyport Courtrooms West	15	15 30-Jun-25	21-Jul-25	Detention Doors, Hardware/Locks, & Accessories - Ad	Imin Sallyport Courtrooms West
CONN-0037	Doors and Hardware - Admin Sallyport Courtrooms West	5	5 30-Jun-25	07-Jul-25	Doors and Hardware - Admin Sallyport Courtrooms We	st
CONN-0039	Pan-filled Stairs and Railings - ST2 & ST3 - Admin Sallyport Courtrooms West	10	10 30-Jun-25	14-Jul-25	Pan-filled Stairs and Railings - ST2 & ST3 - Admin Sall	yport Courtrooms West
CONN-0042	Detention Equipment and Accessories - Admin Sallyport Courtrooms West	10	10 01-Jul-25	15-Jul-25	Detention Equipment and Accessories - Admin Sallype	ort Courtrooms West
CONN-0027	Security Glazing and Sealants - Admin Sallyport Courtrooms West	15	15 08-Jul-25	28-Jul-25	Security Glazing and Sealants - Admin Sallyport Cou	irtrooms West
CONN-0038	Flooring Installed - Admin Sallyport Courtrooms West	20	20 08-Jul-25	04-Aug-25	Flooring Installed - Admin Sallyport Courtrooms We	st
CONN-0028	ACT Tile Installed - Admin Sallyport Courtrooms West	10	10 15-Jul-25	28-Jul-25	ACT Tile Installed - Admin Sallyport Courtrooms Wes	
CONN-0046	Final Paint - Admin Sallyport Courtrooms West	15	15 22-Jul-25	11-Aug-25	Final Paint - Admin Sallyport Courtrooms West	
CONN-0032	Electrical Lights/Trim - Admin Sallyport Courtrooms West	15	15 29-Jul-25	18-Aug-25	Electrical Lights/Trim - Admin Sallyport Courtroom	s West
CONN-0034	Mechanical Grills & Diffusers - Admin Sallyport Courtrooms West	10	10 29-Jul-25	11-Aug-25	Mechanical Grills & Diffusers - Admin Sallyport Cou	
CONN-0035	Bathroom Accessories - Admin Sallyport Courtrooms West	10	10 29-Jul-25	11-Aug-25	Bathroom Accessories - Admin Sallyport Courtroon	
CONN-0040	Sprnkler Trim - Admin Sallyport Courtrooms West	5	5 29-Jul-25	04-Aug-25	Sprnkler Trim - Admin Sallyport Courtrooms West	·
CONN-0041	Joint Firestopping - Admin Sallyport Courtrooms West	5	5 12-Aug-25	18-Aug-25	Joint Firestopping - Admin Sallyport Courtrooms V	Vest
CONN-0044	Resinous System Install - Admin Sallyport Courtrooms West	10	10 12-Aug-25	25-Aug-25	Resinous System Install - Admin Sallyport Courter	
CONN-0045	Joint Sealants and Fixtures, Accessories and Misc Joints - Admin Sallyport Courtrooms West	5	5 12-Aug-25	18-Aug-25	 Joint Sealants and Fixtures, Accessories and Misc 	
CONN-0047	Fixtures, Fumiture and Equipment Install - Admin Sallyport Courtrooms West	15	15 12-Aug-25	02-Sep-25	Fixtures, Furniture and Equipment Install -Admi	
CONN-0049	SEC Systems Pre-Test - Admin Sallyport Courtrooms West	5	5 12-Aug-25	18-Aug-25	SEC Systems Pre-Test - Admin Sallyport Courtroc	
CONN-0043	Seal concrete and SOG Joint Sealants - Admin Sallyport Courtrooms West	5	5 12-Aug-25	25-Aug-25	Seal concrete and SOG Joint Sealants - Admin S	
CONN-0050	Construction Clean - Admin Sallyport Courtrooms West	5	U	02-Sep-25	Construction Clean - Admin Sallyport Courtroon	
CON-21750		5	5 26-Aug-25 5 03-Sep-25	02-Sep-25	SEC Systems Pre-Test	is west
	SEC Systems Pre-Test	5	· · ·	· ·		
CON-21760	TAB	5	5 03-Sep-25	09-Sep-25		
CONN-0051	JED Pre-Punchlist & Correction - Admin Sallyport Courtrooms West	10	10 10-Sep-25	23-Sep-25	JED Pre-Punchlist & Correction - Admin Sally	port Courtrooms west
Late Sitework		60	60 26-Nov-24	24-Feb-25		
CON-4890	Parking Lots, Sidewalks, Curbs, Asphalt	45	45 26-Nov-24	03-Feb-25	Parking Lots, Sidewalks, Curbs, Asphalt	
CON-4900	Landscaping	60	60 26-Nov-24	24-Feb-25		
Commissionin	<u> </u>	81	81 08-Jul-25	29-Oct-25		
CLOSE-1005	Systems Startup	30	30 08-Jul-25	18-Aug-25	Systems Startup	
CLOSE-1000	MEP Reliant FFE Install	20	20 08-Jul-25	04-Aug-25	MEP Reliant FFE Install	
CLOSE-1010	CxA Inspections / Test	51	51 19-Aug-25	29-Oct-25	CxA Inspections / Test	
CLOSE-1015	SEC/DEC Pre-Test	30	30 11-Sep-25	22-Oct-25	SEC/DEC Pre-Test	
CLOSE-1020	Design / Owner Final Punchlist	20	20 26-Sep-25	23-Oct-25	Design / Owner Final Punchlist	
CLOSE-1025	Certificate of Occupancy Inspections	10	10 10-Oct-25	23-Oct-25	Certificate of Occupancy Inspections	
FFE & Technol	logy(TBD)	411	411 28-May-24	12-Jan-26		
CON-21810	Install DAS System	20	20 28-May-24	24-Jun-24	Install DAS System	
CON-21830	"JCMO Term and Supply Vendors Install	40	40 28-May-24	23-Jul-24	"JCMO Term and Supply Vendors Install	
CON-21850	"JCMO Network Implementation	30	30 28-May-24	09-Jul-24	JCMO Network Implementation	
CON-21820	"DAS System Commissioning	10	10 25-Jun-24	09-Jul-24	DAS System Commissioning	
FFE-21170	Install FFE - Area 13, 14, 15 (ALAP)	20	20 29-Jul-25	25-Aug-25	Install FFE - Area 13, 14, 15 (ALAP)	
CON-21840	"JCMO Courts AV Vendor Install	20	20 19-Aug-25	16-Sep-25	"JCMO Courts AV Vendor Install	
FFE-21110	Install FFE - Area 7, 8, 11, 12 (ALAP)	20	20 26-Aug-25	23-Sep-25	Install FFE - Area 7, 8, 11, 12 (ALAP)	
FFE-21080	Install FFE - Area 5, 6, 9, 10	20	20 18-Sep-25	15-Oct-25	Install FFE - Area 5, 6, 9, 10	
FFE-21050	Install FFE - Admin Level 1 (Areas 1-4)	20	20 24-Sep-25	21-Oct-25	Install FFE - Admin Level 1 (Areas 1-4)	·
FFE-21190	Install FFE - Admin Level 2	20	20 22-Oct-25	18-Nov-25	Install FFE - Admin Level 2	
CON-21770	FFE JED Pre-Punch	10	10 19-Nov-25	04-Dec-25	FFE JED Pre-Prunch	
CON-21770	"FFE Punch list Corrections"	10	15 05-Dec-25	26-Dec-25	FFE JED FIG-Functions	
CON-21780 CON-21790	"FFE Design/Owner Punchlist	СІ 	5 29-Dec-25	26-Dec-25 05-Jan-26	FFE Punch list Corrections FFE Design/Owner Punchlist	+
CON-21790 CON-21800	"FFE Final Punchlist Corrections		5 29-Dec-25 5 06-Jan-26	12-Jan-26	FFE Design/Owner Punchist FFE Final Punchlist Correcti	
	EFF FUALPUDDIISE COLLECIONS			1 / / Ian-7h		

	Layout: Full Schedule	8			Page 24	of 24					TASK filters	: In Progress, Not Started.
A	ctivity ID	Activity Name	Orig	Remaining		Finish	20	024	2025		2026	2027
			Dur	Duration			ΛJ	Jul A S Oct N D	J F M A M J Jul	A S Oct N D	J F M A M J Jul A S C	D N D J F M Apr ¹
Ι	Activation & Train	ning	43	43	11-Dec-25	12-Feb-26	Π					
	ACT-21040	Activitation & Training (JCMO/JCDC)	43	43	11-Dec-25	12-Feb-26					Activitation & Training (JCMO/JCD	C)



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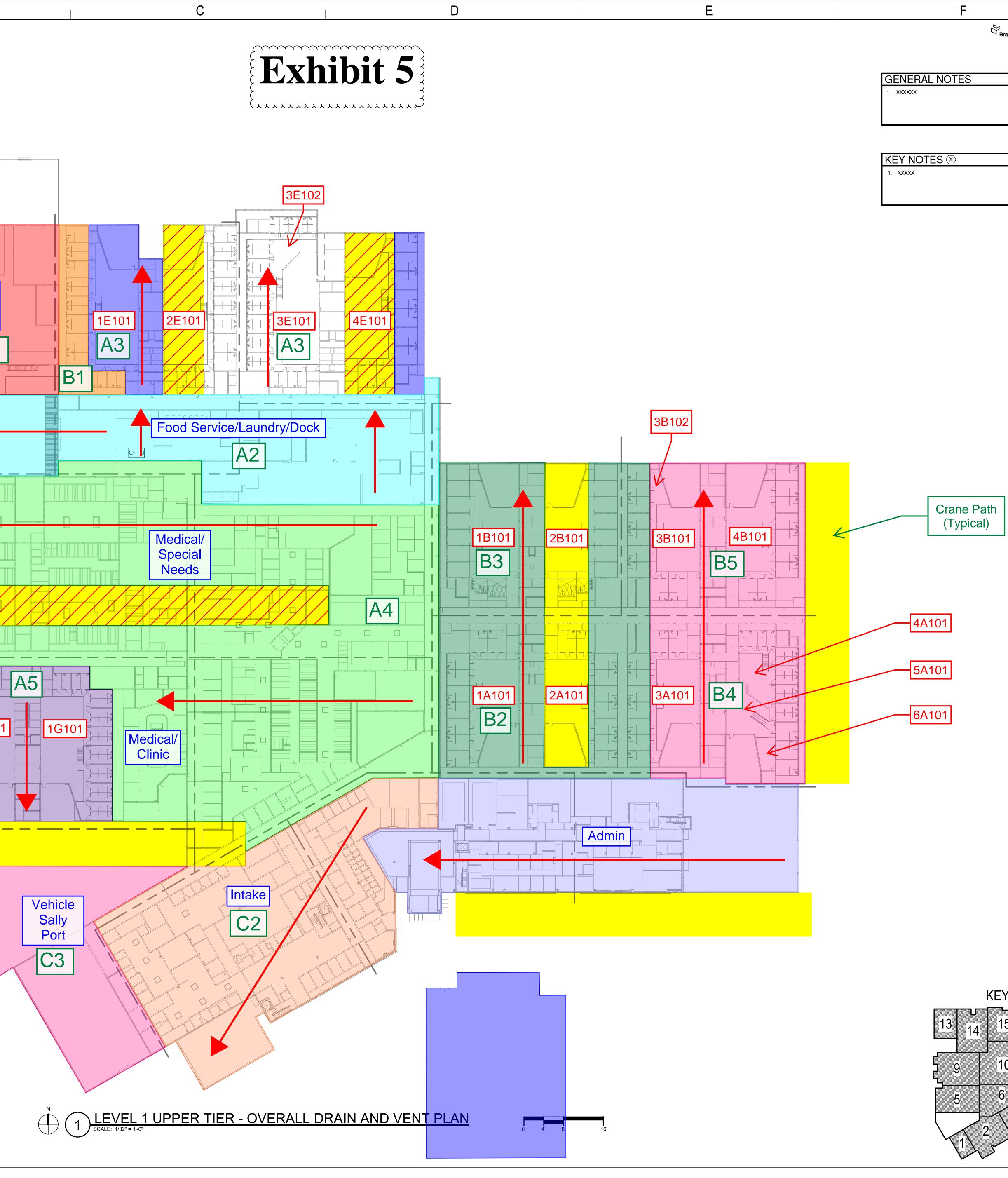
A1

2G101

Letter = Precast Wall Crew # = Sequence of Work A Crew = 300 T Leiberer 1350 B Crew = 300 T Leiberer 1350 C Crew = 200 T Manitowac M250

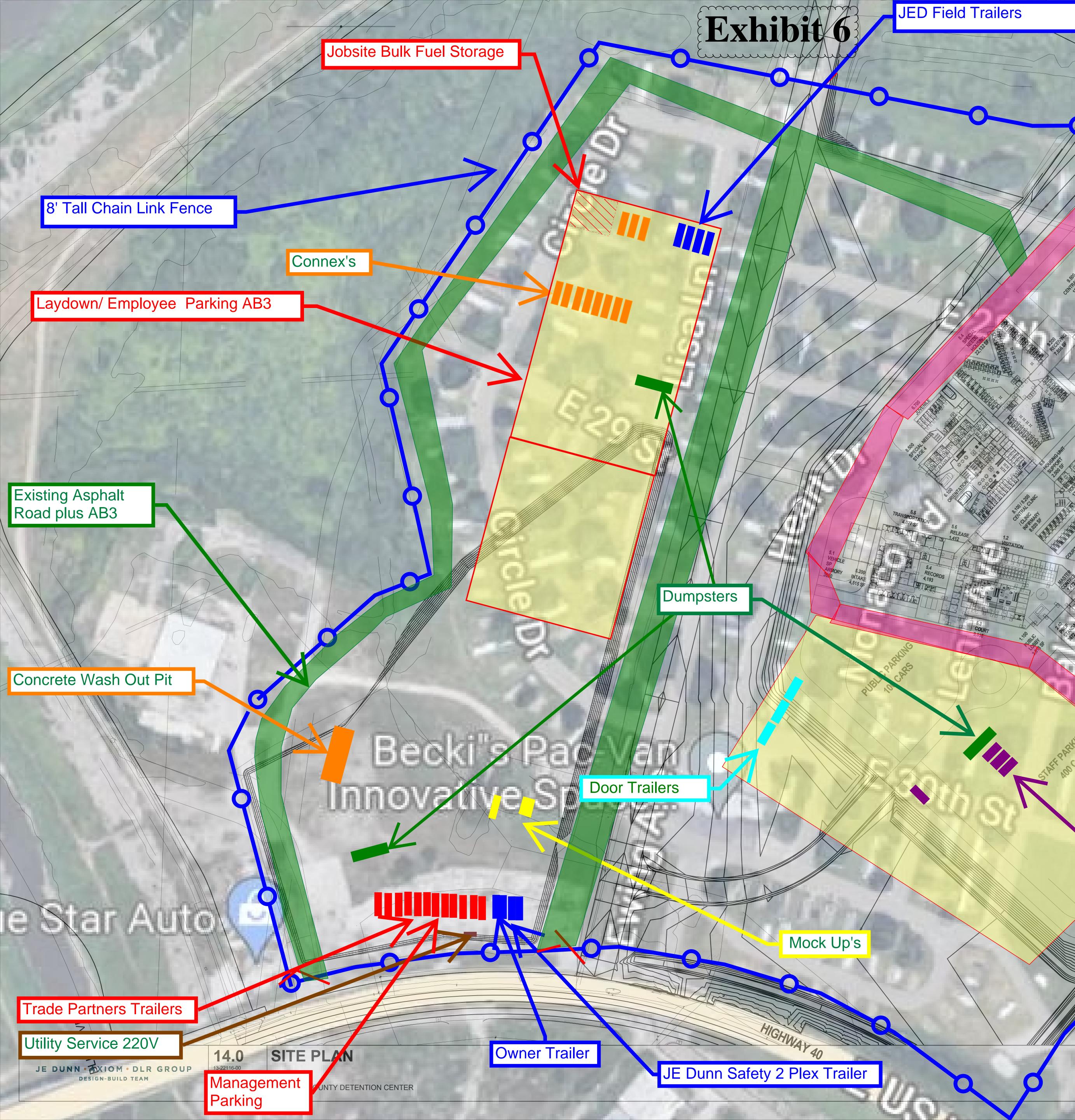
PC Wall Crew = 120T Mobile Track

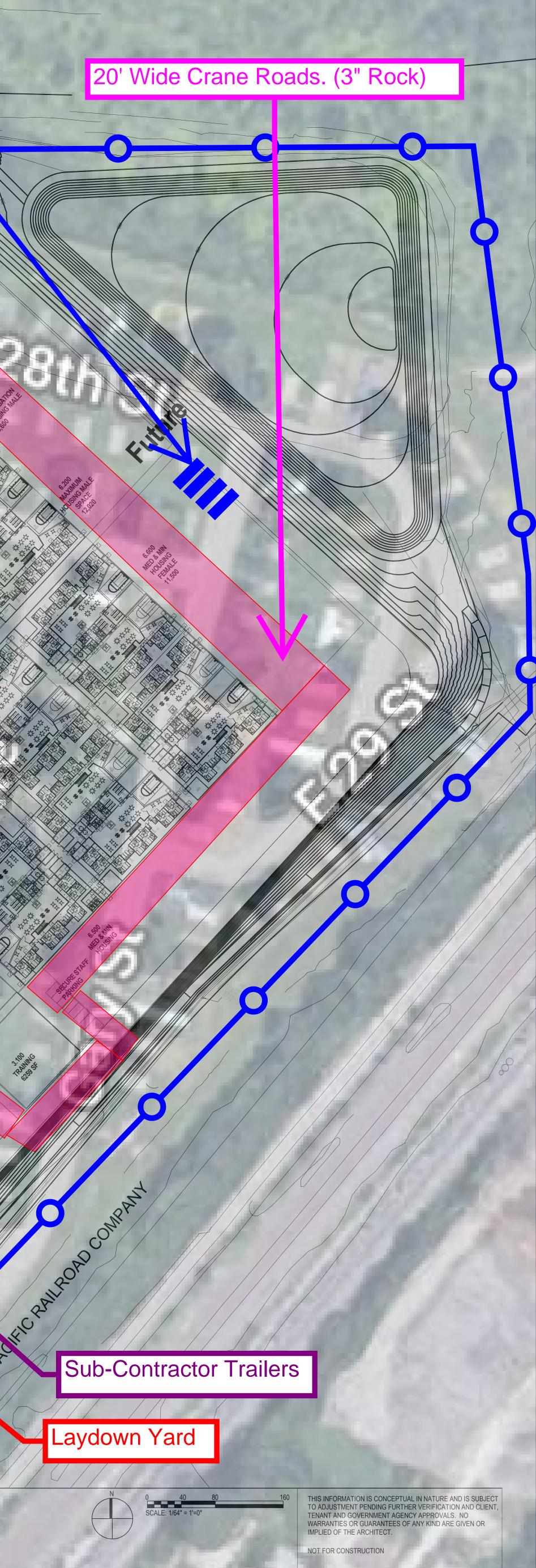




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DESIGN BULLD TEAM DESIGN BULLD	EY PLAN 15 10 11 12 6 7 8 3 4 3 4 3						(THIS SHEET)	Www.branchpattern.com PROJECT NUMBER: 760013 BETTER BUILT ENVIRONMENTS
	REVISIONS	7/14/2023	\succeq	IACKSON COUNTY	RGROUP	CON: NO7 POUSTRUCTON,	JE DUNN • AXIOM •	α ²





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CHICAGO, POCKISLAT



Jackson County Detention Center Exhibit 7 - GMP Clarifications (Component Package 3 Update) 11/10/2023 (Revised 6/28/2024)

General

- This Guaranteed Maximum Price (GMP) Proposal is based on the Construction Drawings and supporting documents dated March 25th, 2024 as outlined in the attached Exhibit 3 –Contract Documents.
- Previous modifications from the 03.14.2023 GMP, Exhibit 8 Criteria Modification Log that highlights Owner approved criteria modifications have been incorporated into the design documents.
- 3. The GMP Proposal is based on the Geotechnical Engineering Report provided by CFS dated September 8th, 2022.
- 4. The Master Schedule includes a total of seventy-seven (77) lost weather days, based on NOAA's 10-year average for the Kansas City region. A lost day can occur during the weather event itself, as well as days following the event such as muddy conditions after rain, or snow and ice build-up following a winter storm which impacts critical path activities. Lost weather days exceeding this allowance shall be considered a Force Majeure Event.
- 5. The Project Site is assumed to be free of any unknown above ground or below ground hazardous materials and/or hazardous conditions, as well as any environmental and/or endangered species, flora, fauna, or wetlands requiring mitigation. The Design/Builder is aware of the two wetlands located on site and the existing long eared bat population that requires the site to be clear of trees prior to March 31st, 2023. This GMP assumes the trees to be removed prior to this date. Per Olsson limited Environmental Site Investigation dated September 26th, 2023, the berm is free of harmful soils and no additional mitigation or analysis should be conducted. Jackson County has directed JE Dunn to leave the berm undisturbed. The current berm elevations will be documented on future as-builts to remain undisturbed. This approach will limit the expansion opportunities of the building north of areas 13, 14, and 15.
- 6. The GMP is based upon using the following Teamed Trade partners who were selected based on a best value selection process, those trade partners are as follows:
 - a. Kissick Construction Mass Excavation and Site Utilities (Lump-Sum)
 - b. Cornerstone Detention Security Electronics (Lump-Sum)
 - c. Cornerstone Axiom JV LLC. Modular Cells Supply (Lump-Sum)
 - d. Mark One Electric Electrical (GMP)
 - e. US Engineering Mechanical (GMP)
 - f. American Fire Protection Fire Protection (GMP)
 - g. CML Security Detention Equipment (Lump-Sum)
 - h. Flynn Midwest Membrane Roofing (Lump-Sum)
 - i. Enterprise Precast Precast Wall Panels/Hollow-Core Supply (Lump-Sum)
 - j. Midland Marble and Granite Tile (Lump-Sum) Company dissolved and will no longer be used (updated 06.28.2024)
 - k. JE Dunn Self-Perform Structures (Lump-Sum)

- 7. The GMP update is based upon using the following trade partners who were selected based on a competitive bidding process and will be contracted via Lump-Sum, those trade partners are as follows:
 - a. Structural Steel Kansas City Structural Steel
 - b. Drywall E&K
 - c. Food Service Equipment Tri-Mark
 - d. Overhead Doors, Four-Fold Doors, and Loading Dock Acme
 - e. Resinous Flooring Musselman and Hall
 - f. General Carpentry Install/Casework Supply IBC/RCS (WBE)
 - g. Commercial Doors and Hardware Supply Design Supply Doors (WBE)
 - h. Joint Sealants Flynn
 - i. Firestopping Flynn
 - j. Spray Fireproofing K-Building
 - k. Standard Wall and Roof Panels Standard Sheet Metal
 - I. Painting and Floor Sealer MVP Painting
 - m. Laundry Equipment Loomis
 - n. Asphalt Superior Bowen
 - o. Glazing AGP (WBE)
 - p. Elevators Otis Elevators
 - q. Pre-Fabricated Canopies Cannon (VBE)
 - r. Operable Partitions Facility Specialties
 - s. Misc. Division 10 Supply Design Supply (WBE)
 - t. Final Clean Woodley (WBE)
 - u. Tile Metro Tile
 - v. Carpet Regents (WBE)
 - w. Fencing Collins and Herman
 - x. Landscaping Blue Cedar (WBE)
 - y. Joint Covers Red Construction (VBE)
- The GMP includes JE Dunn Construction, Axiom JV as a 90%/10% joint venture. Axiom's 10% of the JE Dunn Construction, Axiom JV revenue for the overall GMP will be counted as MBE participation.
- 9. Included in the GMP is a full-size cell mock-up to be reviewed at the cell module plant.
- 10. Included in the GMP is a functional exterior elevation mock-up that will include precast, curtain wall/glass, and other skin components that can be tested for functionality on site.
- 11. The final Contractor Utilization Plan through Component Package 3 has been provided as detailed in Exhibit 8.
- 12. Component Package 2A details work that pertains to engineering, detailing, mockups, and early procurement of long lead material that are directly tied to this GMP submission.
- 13. Component Package 2B and 2C details work that pertains to the 100% Design Development Documents and the trade partners selected in General Inclusion Item No. 07 above.
- 14. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% CDs and is contingent on the approval of Component Package 4 Furniture, Fixtures, and Equipment/Technology package being approved by the County Legislature and incorporated into the final GMP via Contract Amendment.

- 15. The GMP includes permit fees for permits required by the City of Kansas City and agreed upon through the approved MOU between Jackson County and the City of Kansas City dated 08.04.2023. Any permits through Jackson County will be funded by the County and not through project costs.
- 16. This GMP includes the Contingency items listed in Exhibit 2. Upon approval of Component Package 4 Items 24 (Master Clock Infrastructure), Item 25 (Communications/Cabling Infrastructure), and Item 26 (Added Floor Boxes) will be reconciled. \$727,715 will be distributed back to General Contractor Contingency and 176,092 will be distributed to Mark One Electric for the cost of this infrastructure work required for Component Package 4. Items associated with Component Package 4 still remain separate and are not included in this Component Package 3 update other than miscellaneous infrastructure included in the documents delineated in the Construction Drawings (Exhibit 3).
- 17. Per the final Exhibit 8 Contractor Utilization Plan, Component Package 3 is estimated to include 23.68% MBE, 16.44% WBE, and 0.50% VBE.

Program / Design Criteria Package Clarifications

- 1. Programmatic and Design Criteria Clarifications have been captured in the 100% Design Development documents and were previously clarified in the 03.14.2023 GMP Proposal.
- 2. Proposal based upon the use of Cornerstone Detention to produce Modular Precast Concrete cells per spec section 13 34 23. Modules will be constructed at a remote job site that will not be PCI or NPCA certified.
- 3. Proposal is based upon the use of Enterprise Precast for architectural and structural precast panel supply and hollow-core and double-Tee supply. All production facilities are PCI certified.

Sitework

- 1. One entrance off US Highway 40 is included in the design. Two entrances off Ewing Avenue are provided.
- 2. Finished Floor Elevation is assumed to be at 762.50, which is 1'.5" above the 500-year floodplain.
- 3. Per the geotechnical report conducted by CFS, alluvial soils are present on site due to the nature of the Blue River. Due to this, there is a long-term settlement concern that will require the use of prefabricated vertical drains (Wick Drains) to be installed under the building footprint and locations at site utilities. The GMP currently includes a wick drain triangular spacing of 4' underneath the building footprint and wick drain 9' triangular spacing under all other hardscapes. Wick Drain spacing correlates with the amount of time the existing fill will need to settle prior to construction activities proceeding.
- 4. The water meter vault has been included in this GMP. The water meter assembly should be procured by Jackson County through the city/local utility company and installed once all fees are paid.

Foundations and Structure

- Various load bearing precast panels have been adjusted to sit on slab-on-grade via a recessed-V bolted connection. These adjustments will be captured in Addendum No. 01 of the Early Footings and Foundation Construction Documents.
- 2. All double tees will be 32" in depth with an additional 2" pre-topping. Grouting of double tee joints should not be required and is not included in this GMP.
- 3. Hollow-core slabs will be a combination of 8", 10" and 12" thick based on the required spans and joints will be grouted.
- 4. A 1 pass power trowel smooth finish will be provided on the interior face of walls, columns, beams, and slabs. Grade A finishes have not been included in this GMP.

Enclosure and Roofing

- GMP includes an adhered gray Thermoplastic-Polyolefin (TPO) roof that achieves a minimum Rvalue of 30. This includes a 2.7" base layer of Polyiso with tapered insulation. Our teamed trade partner Flynn has confirmed a vapor barrier is not required to provide a full warranty with a gray TPO roof on this project.
- 2. The independent sill flashing shown at storefront locations is not included in this GMP. Per the industry and quality control experts, the integral subsill pan flashing is all that is required at these openings and manufacturers will void their warranty if independent flashing is added due to thermal transfer and water infiltration concerns. These details will be revised on a future addendum.

Partitions and Finishes

- 1. No bullet-resistant partitions (Type U) or metal studs with security mesh (Type T) have been included in this GMP Component Package 2B/2C update. Bullet Resistant panels have only been estimated in finished millwork at the lobby and courtrooms.
- No SCA-P Security Metal Pan ceilings have been included, locations currently shown on the 100% Design Development Drawings will be regular non-secure ACT ceilings as previously discussed prior to GMP approval. The areas shown are in direct supervised areas and the ceiling heights are above the typical 10' security threshold.
- 3. Level 5 drywall finishes have been included in the Courtrooms as identified in the specifications.
- 4. Murals shown in the dayroom are not included in the GMP, these are considered to be part of the Fixtures, Furniture, Equipment and Technology Scope of Work that is not included in this GMP.
- 5. (2) Four-Fold hydraulic doors with solid panels have been included at the Vehicle Sallyport. No additional coiling doors have been included.
- 2-hour and 1-hour drywall ceiling assemblies to be constructed of horizontal shaft wall per AER-09038.
- 7. Galvanized powder coated steel fire/smoke counters and coiling doors are included in this GMP.

Specialties, Equipment and Furnishings

- 1. We have included nurse call functionality at locations as indicated through the use of detention intercom systems.
- 2. Laundry equipment space has been sized for a total inmate population of approximately 1,800 and is based on a 5-day week operation, 35 hours, with inmate clothing changes 3 times a week, bed linens 1 change a week, terry goods 3 changes a week, and miscellaneous items 2 changes a week. GMP currently includes 4 160 pound, 1 105 pound, and 1 45 pound washer/extractors and 5 170 pound and 1- 45 pound dryers. This is based on the 1256 bed count and additional washer/extractors and dryers would be needed at the time of expansion.
- 3. The kitchen is designed to prepare breakfast, lunch, and dinner for an initial population of 1,256 plus staff with MEP provisions for future expansion of up to 500 additional inmates. Additional equipment will be needed for expansion beyond the 1,256-bed count. The kitchen will function as a cook to serve with tray make-up using insulated trays delivered in carts.

Mechanical, Plumbing and Fire Sprinkler

- The 4-pipe water chilled hydronic HVAC System selection was based on utilizing the Federal Energy Management Program (FEMP) Building Life Cycle Cost methodologies and has been followed over a max 40-year study lifecycle with replacement costs applied at year 20. Input has been received from our Mechanical teamed trade partner on initial costs, maintenance costs, and replacement costs.
- 2. Mechanical Equipment located on the roof is currently screened with taller parapet precast walls. No decorative metal screening has been included in this GMP.
- 3. A pre-action Fire Sprinkler system has been included in this GMP at the SEC/IDF/MDF rooms.
- 4. Per meeting with Jackson County AHJ, no fire suppression has been included in this GMP for the outdoor recreation areas.
- 5. Only (1) fire sprinkler head has been included in each cell per the approval of the Jackson County AHJ within RFI-0011 Cell Fire Sprinkler Head.
- 6. This GMP assumes the following manufacturers for Central Utility Equipment:
 - a. Boilers AES (Reference Exhibit 2 for cost premium)
 - b. Chillers Smardt
 - c. Cooling Towers AES (Reference Exhibit 2 for cost premium)
 - i. The AES Owner selected Cooling Towers are not CTI Certified and do not have an FM Global Approval as indicated in the Design Criteria Package.

Electrical/Low Voltage/Security Systems

- 1. The GMP includes utilizing a Milestone video management server with Hanwha cameras.
- 2. Reference the attached Exhibit 9 JCDC Systems Responsibility Matrix for additional clarity regarding delineation between this proposal and Owner provided work.
- Only rough-in (conduit) has been included for the distributed antenna system (DAS)- DAS is an item identified in the Fixtures, Furniture, Equipment and Technology Scope of Work that is not included in this GMP but will be added via Component Package 4 through a contract amendment.
- 4. Only rough-in (conduit) has been included for the Internet Service Providers fiber into Room A312 per note 6 on Drawing TEU1.0.

Exclusions:

- 1. Costs associated with delays resulting from adjacent project operations and infrastructure work, which is not a part of, or under control of, this Design/Builder.
- 2. State, County, and Local Sales or Use Taxes.
- 3. Financing Costs.
- 4. Property acquisition costs and fees.
- 5. Guard services or security services.
- 6. Demolition of existing buildings and site infrastructure, including existing power poles. This GMP includes site clearing and demolition of existing mobile home pads.
- 7. Removal of unforeseen structures or obstructions.
- 8. All utility service line extensions to the project site including domestic water, fire suppression, sanitary sewer, storm sewer, electric, natural gas, and fiber/telecommunications. All utility service company capital costs, development fees, tap/service connection fees, investment fees, inspection fees, or charges of any kind are excluded. Coordination with responsible utility providers is assumed to be by JCDC or Jackson County.
- 9. Water meter assembly.
- 10. On-site natural gas main line to the meter and gas meter assembly.
- 11. Labor to unload or install Owner furnished equipment, and dumpsters for pallets, crating and packaging.
- 12. Environmental study of any kind.
- 13. Hazardous material abatement.
- 14. Commissioning and specialty consultants.
- 15. Rental of adjacent property or construction staging/parking.
- 16. Laboratory mockups: Full-size project specific physical assemblies constructed and tested at a testing facility to verify performance characteristics.
- 17. 08 62 00 Unit Skylights:
 - A. 1.3, A Fall Protection (All units have security bars, deemed not required). Not needed as the skylights have security bars incorporated and act as fall protection devices.
- 18. 07 72 00 Roof Accessories:
 - A. A1.2, A.4 Integral Spring-type vibration isolators. Presumed that this this is covered with mechanical specifications.
 - B. 1.2, A.5 Wind Restraint Straps
 - C. 1.2, B.4 Wind Restraint Straps
- 19. 1.2, J Roof Walkway: Formed from aluminum sheet. Standard roof walking pads have been included in the roof spec. 08 62 00 Unit Skylights:
 - A. 1.3, A Fall Protection (All units have security bars, deemed not required)

20. Clerestory windows.

- 21. Operable windows at dayroom or recreation areas. Recreation areas have access to fresh air via partial woven wire rod ceiling enclosure assembly.
- 22. Intake Vehicle Sallyport calls for physical separation between law enforcement vehicles and inmates with the sallyport. The program does not support this requirement. We have excluded this physical separation.

- 23. The traffic signal or associated modifications at US HWY 40. Traffic Study suggests the new Detention Center will not need a traffic light. If there is a new facility built (i.e., Sheriff's Office) on the current development the traffic study will have to be reviewed and mostly likely will require a traffic signal.
- 24. Grade A finish for interior face of precast walls, columns, beams, or flat slabs provided by Enterprise Precast.
- 25. A Redundant HVAC system at the Vehicle Sallyport. We have excluded this from our proposal. HVAC for the Intake Vehicle Sallyport will be heat and vent only.
- 26. Slab snow melt system at Intake Vehicle Sallyport. This is an interior heated space, so we have excluded this from our proposal.
- 27. Medical headwall units at Infirmary Cells. Based upon discussions with JCDC Partners we have excluded headwalls and have provided room for bottle storage near the Infirmary.
- 28. Bullet Resistant Glazing at exterior of building including primary entrance and judge's offices.
- 29. Area of refuge enclosed fence area. In almost every instance, evacuation required at housing units will be accomplished from one space to an adjacent housing space.
- 30. Cost of construction for the Gas Utility Service Provider to extend services to the meter location located adjacent to the Central Utility Plant. This includes the cost of the meter itself.
- 31. Cost of construction for the Electrical Utility Service Provider to extend services to the transformer location. This includes the cost of the transformers itself and any duct banks required.
- 32. Dumbwaiters.
- 33. Wheelchair Lifts.
- 34. Vol. 2, Spec Section 13 42 23 requirement that production facility shall be certified by PCI or NPCA.
- 35. Rooftop mechanical penthouse. Equipment shall be roof mounted and have enclosures for hydronic piping where required.
- 36. Stainless steel partitions and doors at coolers and freezers. We exclude stainless steel partitions and doors and have included cooler/ freezer manufacturers standard insulated wall assembly with galvalume face panels.
- 37. Glazed wall between Break/Dining/Vending and adjacent. Room configuration does not support this.
- 38. Access floor at courtroom well spaces.
- 39. Automatic glass sliding doors at staff and public entry vestibule. We have provided aluminum storefront entrance doors with ADA operators as required.
- 40. Cart washing machine as indicated per room data sheet J 921. We have included a cart washing area with hose reel and floor trough.
- 41. OFOI Fixtures, Furnishings and Equipment including but not limited to the following:
 - A. Exterior tables and chairs per RDS C 316 Break/Dining/Vending
 - B. Trash Compactor and Dumpsters
 - C. Vending Machines
 - D. Dental equipment including lab equipment, dental chairs, compressor, vacuum system, x-ray equipment, x-ray viewers and custom radiology dental casework. (We have included rough in of utilities and final connections after installation).
 - E. Exam room tables with fixed vital station

- F. Hospital Beds
- G. Automatic chemical dispenser system for laundry equipment. We have included laundry equipment equipped to receive chemicals from the Owner provided system.
- H. Janitor Closet Chemical Dispensers
- I. Lobby Queuing system stanchions
- J. Open detention moveable seating
- K. Wellness room fitness equipment including treadmills, elliptical machines, stationary bikes, stair masters, free weights/bars, and squat racks.
- L. Ozone Sanitation Cabinets
- M. Metal Shelving and Storage Racks
- N. Property Storage Rack, Property Storage Bags, Property storage Shelving, Property Storage Bins and Secure Property Storage Cabinets.
- O. CERT Equipment Lockers and Storage Cabinets
- P. Residential Appliances (Refrigerators, Medical Storage Freezer, Commercial washer/dryer at Inmate Property Storage and Locker Rooms, Microwaves.
- Q. Movable public seating
- R. Tables, chairs, children's chairs, children's tables, movable sofas, lounge chairs, coffee tables, worktables, work benches, Library tables, library chairs, interior courtroom flagpoles and bases.
- 42. Audio Visual and IT equipment including but not limited to the following:
 - A. Telephones and VOIP Phone Devices
 - B. Video Visitation Equipment/ Video Visitation Kiosks
 - C. Inmate Phone System
 - D. Video Conferencing Equipment- includes inmate system and tele-med/psych/courts system
 - E. Televisions and AV Flat Panels Displays and associated mounting brackets
 - F. Lobby Electronic Information Monitors
 - G. Interactive Wayfinding Digital Signage
 - H. Courts presentation system, electronic docket system, evidence presentation system, court recording system (JAVS)
 - I. Ceiling projectors
 - J. Printers
 - K. Cash bond (Bonding) Kiosk
 - L. Visitation Appointment Kiosk
 - M. Money Deposit-Inmate Accounting Kiosk
 - N. Magnetometers
 - O. Metal detectors
 - P. Body Scanners
 - Q. X-Ray Machines
- 43. Nurse Call/ Code Blue System per Spec section 27 52 23. See clarifications for nurse call functionality provided via detention grade intercom system.
- 44. We have excluded motion detectors at rear chases because we have included door control to limit movement from inside to outside the secure perimeter at all rear chase locations.
- 45. Special Inspections. Provided by the Owner
- 46. Mechanical, electrical, and plumbing equipment decorative metal screening.

- 47. A centralized UPS system.
- 48. Engineering, wiring, and devices for the distributed antenna system (DAS).
- 49. Sizing of generators for future expansion.
- 50. Sound attenuating enclosures for Emergency Generators.
- 51. Building FAA Permit
- 52. Floodplain Development Permit
- 53. Conditional Letter of Map Revision Permit (CLOMR-F)
- 54. Drop down vinyl curtain in 16-person Group Holding Cells.
- 55. Harmonic Filtration at individual VAVs.
- 56. Smoke Control systems at Intake and Transportation.
- 57. Full-Size courtroom mock-ups.
- 58. Stainless Steel fire/smoke counter and coiling doors.
- 59. Addendum No. 05, including any required saw-cutting of slab-on-grade or precast require for added owner requested items.
- 60. US Highway 40 modifications to add a left-turn lane and signal from US Highway 40 onto Ewing Avenue or aligning Ewing Avenues entrance with Westport road's entrance Including any costs associated with adjusting right of ways or utilities, such as relocation of existing light/power poles, AT&T Fiber lines, or storm sewer systems that currently exist.
- 61. Costs/Deducts associated with comments on the CATV/Video Viewing stations adjustments requested from JCMO/JCDC Partners received the week of June 24th, 2024.
- 62. Costs associated with coordination on CATV networked option required for the current CATV infrastructure.
- 63. Audio recording at cameras. Per the originally Room Data Sheets, audio recording capabilities were to be available through the intercom system, which is what is currently designed.





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11 Food Service Equip Tri-Mark/Hockenbergs \$ 2,440,990 0.0% 0.0% 0.00% 0.00% 0.00% 0.00% 5 5 5 5 11 Precast Cells Correrstone (Axiom Construction) \$ 19,403,624 18.0% 0.0% 0.05% 1.16% 0.00% 0.03% \$ 3,492,652 \$ <td>10</td> <td>Specialties</td> <td>Loomis Bros.</td> <td>Ş</td> <td>313,413</td> <td>0.0%</td> <td>0%</td> <td>0.0%</td> <td>0.00%</td> <td>0.00%</td> <td>0.00%</td> <td>Ş</td> <td>-</td> <td>Ş -</td> <td>Ş</td> <td>-</td>	10	Specialties	Loomis Bros.	Ş	313,413	0.0%	0%	0.0%	0.00%	0.00%	0.00%	Ş	-	Ş -	Ş	-
11 Food Service Equip Tri-Mark/Hockenbergs \$ 2,440,990 0.0% 0.0% 0.00% 0.00% 0.00% 0.00% 5 5 5 5 11 Precast Cells Correrstone (Axiom Construction) \$ 19,403,624 18.0% 0.0% 0.05% 1.16% 0.00% 0.03% \$ 3,492,652 \$ <td></td>																
11 Food Service Equip Tri-Mark/Hockenbergs \$ 2,440,990 0.0% 0.0% 0.00% 0.00% 0.00% 0.00% 5 5 5 5 11 Precast Cells Correrstone (Axiom Construction) \$ 19,403,624 18.0% 0.0% 0.05% 1.16% 0.00% 0.03% \$ 3,492,652 \$ <td>10</td> <td>Athlatic Equipmont</td> <td></td> <td>ć</td> <td>225 467</td> <td>0.0%</td> <td>0%</td> <td>0.0%</td> <td>0.00%</td> <td>0.00%</td> <td>0.00%</td> <td>ć</td> <td></td> <td>¢</td> <td>ć</td> <td></td>	10	Athlatic Equipmont		ć	225 467	0.0%	0%	0.0%	0.00%	0.00%	0.00%	ć		¢	ć	
11 Precast Cells Cornerstone (Axiom Construction) \$ 19,403,624 18.0% 0.0% 0.16% 0.00% 0.03% \$ 3,492,652 \$ \$ \$ 97,0 11 Detention CML \$ 16,356,756 17.50% 0% 0.5% 0.00% 0.00% 0.03% \$ 2,862,432 \$ \$ \$ 8 17,7 \$ 0 0.00% 0.00% 0.00% \$ \$ \$ \$ \$ 8 \$ <td>10</td> <td>Athletic Equipment</td> <td>JLD SF</td> <td>د ا</td> <td>223,407</td> <td>0.078</td> <td>078</td> <td>0.076</td> <td>0.0078</td> <td>0.0078</td> <td>0.0078</td> <td>ہ ، ا</td> <td></td> <td>ې - ب</td> <td>ې </td> <td></td>	10	Athletic Equipment	JLD SF	د ا	223,407	0.078	078	0.076	0.0078	0.0078	0.0078	ہ ، ا		ې - ب	ې 	
11 Precast Cells Cornerstone (Axiom Construction) \$ 19,403,624 18.0% 0.0% 0.16% 0.00% 0.03% \$ 3,492,652 \$ \$ \$ 97,0 11 Detention CML \$ 16,356,756 17.50% 0% 0.5% 0.00% 0.00% 0.03% \$ 2,862,432 \$ \$ \$ 8 17,7 \$ 0 0.00% 0.00% 0.00% \$ \$ \$ \$ \$ 8 \$ <td>11</td> <td>Food Service Equip</td> <td>Tri-Mark/Hockenbergs</td> <td>\$</td> <td>2,440,990</td> <td>0.0%</td> <td>0%</td> <td>0.0%</td> <td>0.00%</td> <td>0.00%</td> <td>0.00%</td> <td>\$</td> <td>-</td> <td>\$ -</td> <td>\$</td> <td>-</td>	11	Food Service Equip	Tri-Mark/Hockenbergs	\$	2,440,990	0.0%	0%	0.0%	0.00%	0.00%	0.00%	\$	-	\$ -	\$	-
11 Detention CML \$ 16,356,756 17.50% 0.0% 0.00% 0.00% \$ 2,862,432 \$ <	11		Cornerstone (Axiom Construction)	Ś		18.0%	0%	0.5%	1 16%	0.00%	0.03%	Ś	3,492,652	\$ -	Ś	97,018
12 Operable Partitions Facilities Specialties \$ 76,652 0% 0.0% 0.00% 0.00% \$. \$ \$ \$				Ś										Ŧ	Ś	81,784
14 Elevators Otis \$ 354,400 0% 0.0% 0.00% 0.00% 0.00% \$<				Ŧ										ć	Ś	-
21 Fire Sprinkler American Fire Sprinkler \$ 3,456,140 0.0% 0.0% 0.00% 1.15% 0.00% \$ - \$ 3,456,140 \$ - 22 Mechanical/Plumbing USE \$ 48,747,790 26.30% 2.2% 0.5% 4.26% 0.36% 0.08% \$ 12,820,669 \$ 1,072,451 \$ 243,7 26 Electrical Mark One \$ 28,135,932 0.00% 99.5% 0.5% 0.00% 9.30% 0.05% \$ - \$ 27,995,252 \$ 140,66 28 SEC Cornerstone \$ 14,955,469 29.00% 0% 0.5% 1.44% 0.00% 0.02% \$ 4,337,086 \$ - \$ 74,74 31 Mass Ex. Kissick Con. \$ 10,841,365 24.00% 4.5% 0.5% 0.86% 0.16% 0.02% \$ 2,601,928 \$ 487,861 \$ 54,22 32 Landscaping and Irrigation Blue Cedar \$ 741,340 0.00% 0.00% 0.00% 0.00% 0.00% \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,													-	\$ -	Ś	-
22 Mechanical/Plumbing USE \$ 48,747,790 26.30% 2.2% 0.5% 4.26% 0.36% 0.00% \$ 12,820,669 \$ 1,072,451 \$ 243,7 26 Electrical Mark One \$ 28,135,932 0.00% 99.5% 0.5% 0.00% 9.30% 0.05% \$ - \$ 27,995,252 \$ 140,66 28 SEC Cornerstone \$ 14,955,469 29.00% 0% 0.5% 0.16% 0.00% \$ 4,337,086 \$ - \$ 74,77 31 Mass Ex. Kissick Con. \$ 10,841,365 24.00% 4.5% 0.5% 0.86% 0.16% 0.02% \$ 2,601,928 \$ 487,861 \$ 54,22 32 Landscaping and Irrigation Blue Cedar \$ 677,750 0.00% 0.00% 0.00% 0.00% \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$ - \$ 741,340 \$				- -									-	\$ 3.456.140	\$	-
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28 SEC Cornerstone \$ 14,955,469 29.00% 0.0% 1.44% 0.00% 0.02% \$ 4,337,086 \$ 74,7 31 Mass Ex. Kissick Con. \$ 10,841,365 24.00% 4.5% 0.5% 0.66% 0.16% 0.02% \$ 2,601,928 \$ 487,861 \$ 54,22 32 Landscaping and Irrigation Blue Cedar \$ 741,340 0.00% 0.00% 0.00% 0.00% \$ 0.00%				\$									-			140,680
31 Mass Ex. Kissick Con. \$ 10,841,365 24.00% 4.5% 0.5% 0.86% 0.16% 0.02% \$ 2,601,928 \$ 487,861 \$ 54,2 32 Landscaping and Irrigation Blue Cedar \$ 741,340 0.00% 0.00% 0.25% 0.00% \$ - 1 \$ 741,340 \$ - 1 \$ 741,340 0.00% 0.00% 0.00% 0.00% \$ 0.00% \$ - 1 \$ 741,340 \$ - 1 \$ 741,340 \$ 0.00% 0.00% 0.00% 0.00% \$ 0.00%				\$									4,337,086		\$	74,777
32Landscaping and IrrigationBlue Cedar\$741,3400.00%100%0.00%0.00%0.00%0.00%\$-\$741,340\$-32FenceCollins & Hermann\$677,7500.00%0%0.00%0.00%0.00%0.00%\$-\$\$\$-\$-\$1\$1 </td <td></td> <td></td> <td></td> <td>\$</td> <td></td> <td>\$</td> <td>54,207</td>				\$											\$	54,207
32 Asphalt Superior Bowen \$ 1,453,510 0.00% 15% 0.00% 0.07% 0.00% \$ - \$ 218,027 \$ - 33 Utilities Kissick \$ 2,485,522 24.00% 4.5% 0.50% 0.00% 0.00% \$ 596,525 \$ 111,848 \$ 12,4 Misc. JE Dunn Estimate's Misc. (Unit Price/ Estimate) \$ 658,852 C <thc< th=""> <thc< th=""> C</thc<></thc<>		Landscaping and Irrigation		\$			100%	0.0%		0.25%					\$	-
32 Asphalt Superior Bowen \$ 1,453,510 0.00% 15% 0.00% 0.07% 0.00% \$ - \$ 218,027 \$ - 33 Utilities Kissick \$ 2,485,522 24.00% 4.5% 0.50% 0.00% 0.00% \$ 596,525 \$ 111,848 \$ 12,4 Misc. JE Dunn Estimate's Misc. (Unit Price/ Estimate) \$ 658,852 C <thc< th=""> <thc< th=""> C</thc<></thc<>	32	Fence	Collins & Hermann	\$	677.750	0.00%	0%	0.0%	0.00%	0.00%	0.00%	\$	-	\$ -	\$	-
33 Utilities Kissick \$ 2,485,522 24.00% 4.5% 0.50% 0.00% 0.00% \$ 596,525 \$ 111,848 \$ 12,4 Misc. JE Dunn Estimate's Misc. (Unit Price/ Estimate) \$ 658,852 0.00% 0.00% 0.00% <td></td> <td></td> <td></td> <td>ć</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>,</td> <td>ċ</td> <td></td>				ć										,	ċ	
Misc. JE Dunn Estimate's Misc. (Unit Price/ Estimate) \$ 658,852 0.00%		-	•	¢									596 525		ې د	12 / 29
				\$		24.00%	4.370	0.50%					550,525	γ 111,040	Ŷ	12,420
	141100.		Subtotal	Ś	264,339,849				23.68%	16.44%			70,321,398	\$ 49 340 626	Ś	1,515,131

MBE = 23.68%; WBE = 16.44%; VBE = 0.50%

Exhibit 9

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Jackson County Detention Center			7					\mathcal{L}							
Systems Matrix				<u> </u>	LUL I	<u> </u>	μ	\sim							
2/14/2023															
	Owner	Owner	Electrical	Electrical	Security	Security	Plumbing	Plumbing	Module	Module	Detention	Detention	Comm. HM	Comm. HM	Rough
	Furnish	Install	Contractor	Contractor	Electronics	Electronics	Contractor	Contractor	Supplier	Supplier	Contractor	Contractor	Contractor	Contractor	Carp F&I
			Furnish	Install	Contractor	Contractor	Furnish	Install	Furnish	Furnish	Furnish	Install	Furnish	Install	
					Furnish	Install									
Division 26 Electrical															
120 Volt Power to support Low Voltage Systems			Х	Х											
120v Power Conduit and Wire			Х	Х											
Division 27 Tele/Data-Network															
Conduits for communication service providers including innerduct			х	х											
Provide all cabling for systems as identified on systems drawings															
including fiber optics.			Х	х											
Provide Rack mount enclousres and all associated terminations			Х	х											
Computer Stations	Х	Х													
Wireless Access Points (including patch cables)	Х	Х													
VOIP Telephone head-end	X	Х													
Fiber LIU			Х	Х											
Fiber Patch Cables	Х	Х													
IDF Rooms															
8' Tall Plywood backer at 3 Walls															Х
Vertical and Horizontal Wire Management			Х	Х											
Equipment Racks - Two post and 4 post 36" server racks			Х	Х											
Provide cable management hardware and racks as indicated per															
documents and systems drawings			Х	Х											
Rack Power Distribution (PDUs)			Х	Х											
Patch panels inside of racks			Х	х											
Patch cables inside of racks'	Х	Х													
Switches mounted in upper portion of racks	Х	Х													
Room to Room SFPs	Х	X													
General Tele-Data Network Devices															
Data Outlet Jacks including Jack at WAP			Х	Х											
Wireless Access Points	Х	Х													
Conduit, junction boxes, & Pull Strings			Х	Х											
Cabling/ Wire			Х	Х											
Fiber Optic Cabling			Х	X											
Division 27 Cable TV/ CATV System															
CATV Head End Equipment	Х	Х													
CATV Outlets			Х	Х											
Category 6 data cable/Jack at each CATV outlet			Х	Х											
AV cabling required for TVs			Х	Х											
Conduit, junction boxes, & Pull Strings			Х	Х											

	Owner Furnish	Owner Install	Electrical Contractor Furnish	Electrical Contractor Install	Security Electronics Contractor Furnish	Security Electronics Contractor Install	Plumbing Contractor Furnish	Plumbing Contractor Install	Module Supplier Furnish	Module Supplier Furnish	Detention Contractor Furnish	Detention Contractor Install	Comm. HM Contractor Furnish	Comm. HM Contractor Install	-
281300 Access Control System															
Ethernet based Network Equipment					Х	Х									-
Managed Network Switches/Routers, Processors					Х	Х									
Low Voltage Conduit & Junction Boxes including pull strings					Х	Х									
Low Voltage Wire/Cabling					Х	Х									
Access Control Software					Х	Х									
Licensing Fees (Controller License)					Х	Х									
Access Control Computer Workstation					Х	Х									
Power Supplies for access control					Х	Х									
Enclosures					X	X									
Identification Cards	Х	Х													
Card Readers/Badge Readers					Х	Х									
Electronic Commercial Door Hardware													Х	Х	
Electronic Door Position Switch-Comm. Doors													X	X	
Electronic Detention Door Hardware											Х	Х	~	X	
Electronic Door Position Switch-Detention Doors											X	X			
282300 Video Management System															
Low Voltage Conduit & Junction Boxes including pull strings					Х	Х									
Low Voltage Wire/Cabling					Х	Х									
Network Servers and Switches for VMS					Х	Х									
System Manager					Х	Х									
120 Day Network Storage					Х	Х									
Recording Software					Х	Х									
Licensing Fees					Х	Х									
Workstations, Joystick Controllers, Keyboards, Display Monitors					Х	Х									-
Server and Storage Devices					Х	Х									
Video Management System and Video Recording Manager					Х	Х									-
Edge Ethernet Switches and Core Ethernet Switches					Х	Х									
Media Converters					Х	Х									-
Power Supplies					Х	Х									
Fast Ethernet over Coax Transceivers					X	X									+
Cameras					Х	Х									+
External Camera Audio					X	X									+
Camera Housings/ Mounting Brackets					X	X									+
283111 Digital, addressable Fire-Alarm System															
Complete			X	х											

	Owner Furnish	Owner Install	Electrical Contractor Furnish	Electrical Contractor Install	Security Electronics Contractor Furnish	Security Electronics Contractor Install	Plumbing Contractor Furnish	Plumbing Contractor Install	Module Supplier Furnish	Module Supplier Furnish	Detention Contractor Furnish	Detention Contractor Install	Comm. HM Contractor Furnish	Comm. HM Contractor Install	Rough Carp F&
284619 Electronics Security Control System															
Low Voltage Conduit & Junction Boxes including pull strings					Х	Х									
Low Voltage Wire/Cabling					Х	Х									
Ethernet based Network					Х	Х									
Managed Network Switches (County to specify exact product)					Х	Х									
PLC and Distributed I/O					Х	Х									
Programming for System Control and Monitoring Functions					Х	Х									
Relay Interface					Х	Х									
Watch Tour System					Х	Х									
Duress Alarm Stations					Х	Х									
Enclosures for equipment					Х	Х									
Power Supplies					Х	Х									
Data interface required for control of systems furnished by others															
(Power Controls, Lighting controls, water shutoffs, etc.)					X	Х									
Control Conduit, wire and terminations for connection to controlled															
equipment (Including equipment furnished by others)					х	х									
120V or greater power including conduit, wire and terminations															
required for controlled equipment (Including equipment furnished by															
others)			Х	х											
Power Control relays			X	X											
Lighting Control Panel/ relay panels			X	X											
Electronic controlled water shutoff valves (Non-Water Management															
System)							х	х							
Electronic Water Management System Valve Controllers							Х	Х	Х	Х					
Electronic Water Management System Computer Control Stations							Х	Х	Х	Х					
Electronic Water Management System - Manufacturers Assistance for															
System startup							х	х	х	х					
Electronic Water Management System -Electronic Plumbing Valves							Х	х	Х	х					
Electronic Mictor Management Custors, Conduit for control wiring			V	Y											
Electronic Water Management System -Conduit for control wiring Electronic Water Management System -Control wire/cabling			X X	X X											
284623 Touch Screen Control and Management System															
					v	v									
Low Voltage Conduit & Junction Boxes including pull strings					X	X									
Low Voltage Wire/Cabling Touch Screen CPUs					X X	X X									
Touch Screen LCD Monitors															
					X X	X X									
Administration Station Monitor															
System Administration Station and File Server					X	X									
Report Printer					X	X									
Software					X	X									
Touchscreen Presentation and Display System					X	X									
Offender Management System Interface					Х	Х									
Report Generation					Х	Х									

Owner	Owner	Electrical	Electrical	Security	Security	Plumbing	Plumbing	Module	Module	Detention	Detention	Comm. HM	Comm. HM	Rough
Furnish	Install	Contractor Furnish	Contractor Install	Electronics Contractor Furnish	Electronics Contractor Install	Contractor Furnish	Contractor Install	Supplier Furnish	Supplier Furnish	Contractor Furnish	Contractor Install	Contractor Furnish	Contractor Install	Carp F&I
														-
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	Furnish	Furnish Install Install <	FurnishInstallContractor FurnishImage: Second secon	FurnishInstallContractor FurnishContractor InstallII	FurnishInstallContractor FurnishContractor InstallElectronics Contractor Furnish </td <td>FurnishInstallContractor FurnishElectronics Contractor JustallElectronics Contractor Install<!--</td--><td>FurnishInstallContractor FurnishElectronics Contractor FurnishContractor Contractor FurnishFurnishContractor FurnishFurnishFurnishContractor Furnish<</td><td>FurnishInstallContractor InstallElectronics Contractor FurnishContractor InstallInternedInternedInterned</td><td>FurnishContractor installContractor installContractor installSupplier furnishImageIm</td><td>FurnishInstallContractor InstallElectronics Contractor InstallContractor InstallContractor FurnishSupplier FurnishSupplier FurnishImage<td< td=""><td>Furnish Install Contractor Install Electronics Contractor Furnish Contractor Install Contractor Install Contractor Install Supplier Supplier Supplier Contractor Furnish </td><td>Funish Contracto Contractor Contractor Supplier Supplier Supplier Contractor Install Contractor Image: Supplier Furnish Image: Supplier Supplier<</td><td>Purnish Instail Contractor Instail Electronics Purnish Contractor Purnish Supplie Purnish Supplie Purnish Supplie Purnish Contractor Purnish I</td><td>Purnish Instail Contractor Instail Contractor Instail <</td></td<></td></td>	FurnishInstallContractor FurnishElectronics Contractor JustallElectronics Contractor Install </td <td>FurnishInstallContractor FurnishElectronics Contractor FurnishContractor Contractor FurnishFurnishContractor FurnishFurnishFurnishContractor Furnish<</td> <td>FurnishInstallContractor InstallElectronics Contractor FurnishContractor InstallInternedInternedInterned</td> <td>FurnishContractor installContractor installContractor installSupplier furnishImageIm</td> <td>FurnishInstallContractor InstallElectronics Contractor InstallContractor InstallContractor FurnishSupplier FurnishSupplier FurnishImage<td< td=""><td>Furnish Install Contractor Install Electronics Contractor Furnish Contractor Install Contractor Install Contractor Install Supplier Supplier Supplier Contractor Furnish </td><td>Funish Contracto Contractor Contractor Supplier Supplier Supplier Contractor Install Contractor Image: Supplier Furnish Image: Supplier Supplier<</td><td>Purnish Instail Contractor Instail Electronics Purnish Contractor Purnish Supplie Purnish Supplie Purnish Supplie Purnish Contractor Purnish I</td><td>Purnish Instail Contractor Instail Contractor Instail <</td></td<></td>	FurnishInstallContractor FurnishElectronics Contractor FurnishContractor Contractor FurnishFurnishContractor FurnishFurnishFurnishContractor Furnish<	FurnishInstallContractor InstallElectronics Contractor FurnishContractor InstallInternedInternedInterned	FurnishContractor installContractor installContractor installSupplier furnishImageIm	FurnishInstallContractor InstallElectronics Contractor InstallContractor InstallContractor FurnishSupplier FurnishSupplier FurnishImage <td< td=""><td>Furnish Install Contractor Install Electronics Contractor Furnish Contractor Install Contractor Install Contractor Install Supplier Supplier Supplier Contractor Furnish </td><td>Funish Contracto Contractor Contractor Supplier Supplier Supplier Contractor Install Contractor Image: Supplier Furnish Image: Supplier Supplier<</td><td>Purnish Instail Contractor Instail Electronics Purnish Contractor Purnish Supplie Purnish Supplie Purnish Supplie Purnish Contractor Purnish I</td><td>Purnish Instail Contractor Instail Contractor Instail <</td></td<>	Furnish Install Contractor Install Electronics Contractor Furnish Contractor Install Contractor Install Contractor Install Supplier Supplier Supplier Contractor Furnish	Funish Contracto Contractor Contractor Supplier Supplier Supplier Contractor Install Contractor Image: Supplier Furnish Image: Supplier Supplier<	Purnish Instail Contractor Instail Electronics Purnish Contractor Purnish Supplie Purnish Supplie Purnish Supplie Purnish Contractor Purnish I	Purnish Instail Contractor Instail Contractor Instail <

	Owner	Owner	Electrical	Electrical	Security	Security	Plumbing	Plumbing	Module	Module	Detention	Detention	Comm. HM	Comm. HM	Rough
	Furnish	Install	Contractor	Contractor	Electronics	Electronics	Contractor	Contractor	Supplier	Supplier	Contractor	Contractor	Contractor	Contractor	Carp F&I
			Furnish	Install	Contractor	Contractor	Furnish	Install	Furnish	Furnish	Furnish	Install	Furnish	Install	
					Furnish	Install									
End User Equipment AV															
Telephones including licensing and cabling from wall outlet/jack	x	x													
Computers/Workstations for Non-Building Systems-includes software															
and cabling from wall outlet/jack	Х	Х													
Surge Protectors At workstations/equipment	Х	Х													
TVs	Х	Х													
TV Mounting Brackets	Х	Х													
Cables from Wall Outlets/Jacks to Tvs	Х	Х													
Wbex Room Kit -Including cabling from wall outlet/Jack	Х	Х													





Guaranteed Maximum Price Contract Modification for

Project No. 7-22

Jackson County Detention Center Facility

TO: Jackson County, Missouri

In accordance with Sections 1.1.6, 3.2.2, and 4.1 of the Design/Build Agreement dated May 19, 2022, Project No. 7-22, Jackson County Detention Center Facility the undersigned offers to provide all services, labor and material to perform in accordance with Contract Documents construction of the Project described in the FF&E Design Submittal set forth in Attachment A, Exhibit 3 as further clarified by the terms of this Amendment, including the Exhibits, prepared by DLR Group, inc., the Design Professional, and Design Development Documents and Construction Documents to be hereafter prepared by the Design Professional in accordance the Design/Build Agreement (the "Work"), for a Guaranteed Maximum Price \$ **315,212,760**

The undersigned guarantees the Substantial Completion of the Work on or before February 12th, 2026.

The undersigned guarantees the Final Completion of the Work on or before March 12th, 2026.

The Guaranteed Maximum Price of \$<u>315,212,760</u> is comprised of the following components:

1.	Estimated Cost of Work	\$3	\$ 301,266,750		
2.	Construction Contingency	\$	5,157,591		
3.	Design/Owner Contingency	\$	1,798,243		
4.	Design/Builder's Fee	\$	6,990,176		
5.	Design/Builder's Maximum General Conditions Costs As a Percentage of the Cost of Work	5.2	5.20%		
ТО	\$315,212,760				

The estimated Cost of Work includes the values listed in Attachment A, Exhibit 1. The estimated Cost of Work (but not the Design Builder's Contingency or Fee) is subject to increase to the extent Actual Cost for the Work covered by contingencies exceed the amount set forth in Attachment A, Exhibit 1. In addition to the foregoing:

- a. The Guaranteed Maximum Price does not include the trades, Work categories, or other items listed on Attachment A, Exhibit 7 "Exclusions."
- b. The Contract Documents, including the list of Drawings and Specifications upon which the Guaranteed Maximum Price is based, are listed in the attached Attachment A, Exhibit 3.
- c. The Master Schedule upon which the increase of the Guaranteed Maximum Price is based is attached as Attachment A, Exhibit 4. This schedule is in addition to the Attachment A, Exhibit 4 of Component Package 3.
- d. The revised Project Budget, listing the items which comprise the Guaranteed Maximum Price increase, is attached as Attachment A, Exhibit 1.
- e. Attachment A, including Exhibits 1 through 9, are part of this proposed GMP Contract Modification and are incorporated herein by reference.
- f. The Substantial Completion Date, Final Completion Date, and the Guaranteed Maximum Price set forth in this Contract Modification are subject to adjustment in the manner provided by the Design/Build Agreement.

This GMP Proposal is submitted as the proposed GMP Contract Modification pursuant to Article 4 of the Design/Build Agreement. The terms of the Design Build Agreement are incorporated herein by reference.

Upon acceptance of this GMP Proposal, Section 5.11 of Attachment B to the Agreement is modified to state: "The costs charged against the Design/Builder's contingency in accordance with <u>Sections 8.1 and 8.2</u> of the Agreement."

The undersigned agrees that this GMP Proposal, as a Contract Modification, together with the Notice of Acceptance, is the Design/Builder's proposal for an amendment to the Design/Build Agreement for the performance by the undersigned of the Work for the above-stated compensation in accordance with the Master Schedule and to be completed by the Final Completion Date in accordance with the Contract Documents and shall constitute an amendment to the Design/Build Agreement by Contract Modification, if approved and agreed upon by the Owner.

In preparing the Guaranteed Maximum Price, the undersigned represents that it has visited the Site and familiarized itself with the conditions under which the Work described in the Contract Documents is to be performed and correlated our observations with the requirements of the Contract Documents.

DATED: July 23 rd, 2024.

J.E. DUNN – AXIOM, A JOINT VENTURE <u>Design/Builder</u>

By: Jeff Jenkins

Name:	Jeffer	Jentin

Title: Vice President

Jackson County, Missouri

County Executive (*Signature*)

County Counselor (*Signature*)

(Printed Name)

(Printed Name)

JE DUNN • AXIOM • DLR GROUP

DESIGN-BUILD TEAM

June 28th, 2024

Attachment A

Mr. Troy Schulte Jackson County, Missouri 415 E 12th Street Kansas City, MO 64106

Re: Jackson County Detention Center Guaranteed Maximum Price (GMP) – Component Packages 4

Dear Troy,

We are pleased to present Jackson County with Component Package 4 that includes the Fixtures, Furniture, Equipment, and Technology scopes of work. Due to the hard work of our teams, we have finalized this work package that will result in a GMP increase of **\$14,050,693** (Fourteen Million, Fifty Thousand, and Six Hundred and Ninety-Three Dollars). This equates to almost \$1,000,000 in savings to the previously communicated budget for the work highlighted in Component Package 4, see attached Exhibit 1 – GMP for Component package 4 for a line-by-line accounting of this additional GMP work and the additional supporting documents highlighted below.

The following supporting documents have been reviewed by JCDC, the Owner's Representative, and are attached for your approval.

- Exhibit 1 (3.2.2.4.3.2) GMP for Component Packages 1, 2A, 2B, 2C, 3 (1 Page)
- Exhibit 2 Owner Contingency Log (1 page)
- Exhibit 3 List of Drawings/Contract Documents (1 page)
- Exhibit 4 (3.2.2.4.3.1) Master Schedule (1 page)
- Exhibit 5 Sequence Map (1 page)
- Exhibit 6 Logistics Plan (1 page)
- Exhibit 7 GMP Clarifications (3 pages)
- Exhibit 8 (3.2.2.4.6) Contractor Utilization Plan/MWBE Strategy (1 pages)
- Exhibit 9 JCDC FFE/Technology Matrix (4 pages)

In order to hold trade partner (subcontractor) pricing reflected in this GMP proposal, Jackson County approval is needed no later than August 30th, 2024.

Upon receiving written approval of this GMP for Component Package Contract Modification proposal JE Dunn + Axiom will forward the Guaranteed Maximum Price Contract Modification for execution and begin issuing subcontracts to our trade partners.

Sincerely,

Jeff Jenkins Project Director, JE Dunn + Axiom Cc: Job/File

Jackson County, Missouri

JCDC Partners LLC

Approved: _____Date____

Recommended:

Date ____



Scope of Work		Bids/ Budgets
GCs		730,636
Cost of Work		759,854
Design		909,080
Fixtures, Furniture, and Equipment	Freedom Interiors	3,369,324
DT, MD, SE, and ST Items	JED - Purchase Order Procurement	1,758,769
Technology Infrastructure	Mark One	903,808
Masterclock System	Aptitude	89,106
DAS System	Aptitude	2,399,013
SEC/IDF Components	Aptitude	84,280
Ceiling Projectors	Aptitude	108,000
Escalation to 2025 Q3		160,289
Design Contingency (3%)		401,448
Design Builder Contingency (5%)		555,593
Bonds and Insurance		515,192
Fee		637,220
	Total without Owner Contingency	13,381,613
Owner Contingency (5%) - \$666,428	Total with Owner contingency	14,050,693

	$\left\{ \mathbf{E} \right\}$	xhi	bi	t 2			
	Jackson County Detention Center ntingency Summary		У	نىد	Ţ		
	Description	Design/Owne r Contingency		Amount	Due Date	Y/N	Comments
1	Potential Change Items Recreation Yards - Insect Screening SS Wire Cloth	Owner	s	463,000		N	Not desired by client due to costs.
2	Recreation Yards - 2" square to 1" square	Owner	\$	120,000		N	Per JCDC/JCMO. 07.01.2024
3	Added Duress Buttons - 95% Comments	Owner	s	12,150		Y	Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum and final price be reconciled with that Addendum.
4	Audio Recording at Cameras	Owner	s	642,600		TBD	JCMO/JCDC confirming intent. Once confirmed JED will price accordingly. Cost prohibitive depending on Scope.
5 6	Additional WiFi Coverage Added Cameras at Cash Transasctions	Owner	\$	360,000 12,750		TBD	Will be priced within Addendum No .05 Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.
7 8	Added Inmate Phones Release Door changed to DEC Doors	Owner Owner	\$ \$	25,000 2,500		TBD Y	JCDC/JCMO have given direction to modify the sallyport and door loactions in lieu of storefront going to DEC door. Will be priced within Addendum No. 05.
9	CATV Additions - 95% Comments	Owner	TBD			Y	CATV Comments from JCDC/JCMO being reviewed in conjunction with Addendum No. 05. Previous Rough Order of Magnitude locations has changed since the 95% comments.
10	Card Readers at Existing Doors	Owner	s	11,000		TBD	Per JCDC/JCMO. 07.01.2024. Will have Design Team include in forthcoming Addendum.
11 12	Carpet in SP401 27" Camera Video Viewing Stations at Work Stations	Owner Owner	\$ \$	5,000 35,000		N Y	Did not get added in Addendum No .05 CCTV Video Viewing station revisions being
13	Media Outlet in Attorney Rooms	Owner		,			reviewed in addition to Addendum No. 05. Per JCDC/JCMO 07.01.2024, will have Design
10						Y	Team include in forthcoming Addendum.
14	Video Viewing Stations in Admin Deduct	Owner				N	Awainting direction from JCDC/JCMO to- reconcile deductive costs. This would be to remove video viewing stations from offices located at Admin – 2nd Floor. Line item should be ignored- due to line item 17 and comments received from- JCDC/JCMO.
16	CATV and HDMI Changes 6/20/24	Owner				TBD	
17	Video View Station Changes 6/20/2024 Addendum No. 05	Owner				Y	(-20) CCTV Workstations, 11 for sure changed to 27" monitors in lieu of 42. Awaiting final confirmation from JCDC Partners on revisions
18 19 20	Guardian Inmate Storage System and Room Expander 5	Owner/Design FFE	s	35,000	In Design		Requested by JCMO, need to confirm infra as the property system is 208V
21	TOTAL Potential Owner (Approve	d) Changa Itam	• •	73,400			
	TOTAL Potential Desi TOTAL Potential Desi	gn Change Item	s				
	101AL Potent	al Change Items	s S	1,101,000			
	Approved Design Contingency Items						
1 2	Kissick - Balance of Environmental Oversight T+M CP 2B/2C Design Contingency Adjustment	Design Design	\$ \$	39,939 1,731,535		Y Y	Per 12.07 email on reconciliation of EXT-001 Design Contingency credit to Owner Contingency
3	Parking Gate Adjustments/Loop Detectors	Design	\$	82,146	In Design	Y	Added gate arm for Fire Truck Access design
4	Various Camera/SEC Adjustments: Cameras, DEC/SEC design adjustments, etc. (Additional Intercoms, Electric Locks, Call Buttons, and Added DEC/Commercial Doors)	Design	\$	256,232	In Design	Y	Cost includes adjustments for approx. 30 additional intercoms, 35 electric locks, 3 durress buttons and 2 call buttons.
5	HSS Framing at Rec Yards	Design	S	154,875	In Design	Y	Additional Beams needed for Expanded Mesh spans and structural design. Cost includes 26 added pieces and approximately 34,000 pounds of weight.
6 7	Additional Cameras - Design Evolution Handrail at Officer Station	Design	\$ \$	96,157 50,563	In Design In Design	Y Y	
8	Verical Insulation at Parapets	Design Design	\$ \$	50,563	In Design In Design	Y Y	Adding mechanically fastened vertical insulation a
9	Added PC Column in Secure Storage	Design	\$	10,721	In Design	Y	Reconciled via 100% CDs
10	Seismic Requirement for EV 2	Design	\$	35,700	In Design	Y	Reconciled via 100% CDs
11	Addendum No. 04 - Structural Steel Revisions/Added Trench Drain	Design	\$	64,715	In Design	Y	Reconciled via 100% CDs.
12	Landscaping Adjustments	Design	\$	29,338	In Design	Y	Reconciled via 100% CDs. Adjusted drill seed to hydroseed at slopes, miscellaneous counts adjusted for plantings at signage.
	TOTAL APPROVED Design Co	ontingency Item	s \$	2,663,901			
		ign Contingency	y \$	-			
1	Approved Owner Contingency Items EV Charging Stations - (4) Charging Stations - Infrastructure Only	Owner	s	35,000		Y	
2	EV Charging Stations - (4) Charging Stations - infrastructure Uniy Kissick T+M NTE for Additional Fill Ice Machines	Owner	\$ \$ \$	35,000 550,000 140,000		Y Y Y	JED released on 07.28 Pricing includes piping and connection to the ice machines, new floor drains, increased HVAC Equipment to handle increased load and associated reverse Decemption and selection and selection of the selectio
3							power. Does not include BMS integration
4	CERT Storage - CMU Partitions/Detention Doors Sallyport Options	Owner	\$ \$	35,000 150,000		Y Y	Proceeding with changing in design, JED will follow-up with cost adjustments. Design has been modified for sallyports off the
		1	1				recreation yards.
5	AES Boiler Premium	Owner	\$	37,442		Y Y	

Owner \$

50,000

8 Additional Office at Lobby

Y Approved on 11.15 per Dan W. Email

	Description	Design/Owne r Contingency		Amount	Due Date	Y/N	Comments
9	Courts Readjustments - SD and DD Phase	Owner	\$	40,000		Y	Approved on 11.15 per Dan W. Email
10	Core Ready Mix - Prevailing Wage	Owner	S	127,748		Ν	Removed on 03.21 per recent County correspondence and has been absorbed in the
10	CP 2B/2C - Design Contingency Adjustment	Owner	s	(1,731,535)		Y	GMP.
13	Lobby Atrium - Glass Hand Rail Options	Owner	s	74,040	2.09.24	Y	AGP provided (2) options for increasing the glass railing height to 72". \$74,040 is most expensive option that involves a livers bronze mirage with glass railing system. Requires structural embeds.
14	Infared Heaters at Loading Dock	Owner	\$	79,998	In Design	Y	
15	Snowmelt System Deduct (Transporation Yard)	Owner	\$	(120,430)	2.09.24	Y	Need Mark One's pricing for power, currently providing a plug ROM estimate for the IR Heaters at the dock.
16	License Plate Readers and Added Cameras	Owner	\$	39,857	In Design	Y	Costs for (3) license plate readers.
17	Various Camera/SEC Adjustments: Video Viewing Stations in lieu of TSC Stations	Owner	\$	11,712	In Design	Y	Cost to include video viewing stations at locations TSC stations moved.
18	Evergy Primary Service - Option #2 (OH Option)	Owner	\$	122,700	2.16.24	Y	reference email on 02.08 for pricing breakdown
19	Concrete Batch Plant - Building - Prevailing Wage	Owner	\$	800,000	04.09.2024	Y	
20	Admin Wall Height Screening	Owner	\$	18,108	In Design	Y	Raising Precast at front of Admin 3.5' to screen front equipment
21	Added Sign for Detention Center	Owner	\$	16,374	In Design	Y	Added 50 SF sign for Detention Center Building
22	Deduct for all Dayroom Carpets		\$	(72,836)		Y	
23	Deduct all Carpet at stair treads, risers, and nosings from Officer Workstations		\$	(10,206)		Y	
	Remaining Own	ner Contingency	s	599,967			
	General Construction Contingency Items	ler contingency	"	377,707			
1	CP 2B/2C - General Contractor Contingency Adjustment		\$	(1,216,047)		Y	
24	Miscellaneous 95%/100% Adjustments - Master Clock Infrastructure	Owner	\$	148,559	In Design	Y	Includes 142 additional CAT 6 Cables and
25	Miscellaneous 95%/100% Adjustments - Printer/Floor Box Communications Cabling/Infrastruture from FFE Meetings	Owner - CP4	S	633,332	In Design	Y	Includes 556 additional CAT 6 Cables and associated jacks/patch panels along with added floor boxes in the nulti-purpose/class room areas of the dayrooms and the 2nd level of the Admin building. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology pacakge and will be reconciled upon the approval of that package.
26	Miscellaneous 95%/100% Adjustments - Added Floor Boxes in Multi-Purpose and Admin	Owner - CP4	S	121,917	In Design	Y	Added floor boxes for flexible FFE/Classroom Environments in Multi-purpose, classrooms, and training rooms. FFE/Technology infrastructure costs now being realized in the design and the budgets are currently included with the FFE/Technology package and will be reconciled upon the approval of that package.
L							
	Remaining Construct	ion Contingency	\$	3,537,902			



Exhibit A – Documents Incorporated by Reference

JACKSON COUNTY DETENTION CENTER FACILITY 7000 E. US HIGHWAY 40 KANSAS CITY, MISSOURI 64129

Project No. 22026200

Subcontractor/Supplier acknowledges that a .pdf copy of the Prime Contract and other documents listed below are available for review and copying through the Project Website established for this Project at the following path: Project-22026200-Jackson County Detention Center Replacement Jail – Shared Documents - Construction Documents – Contract Documents.

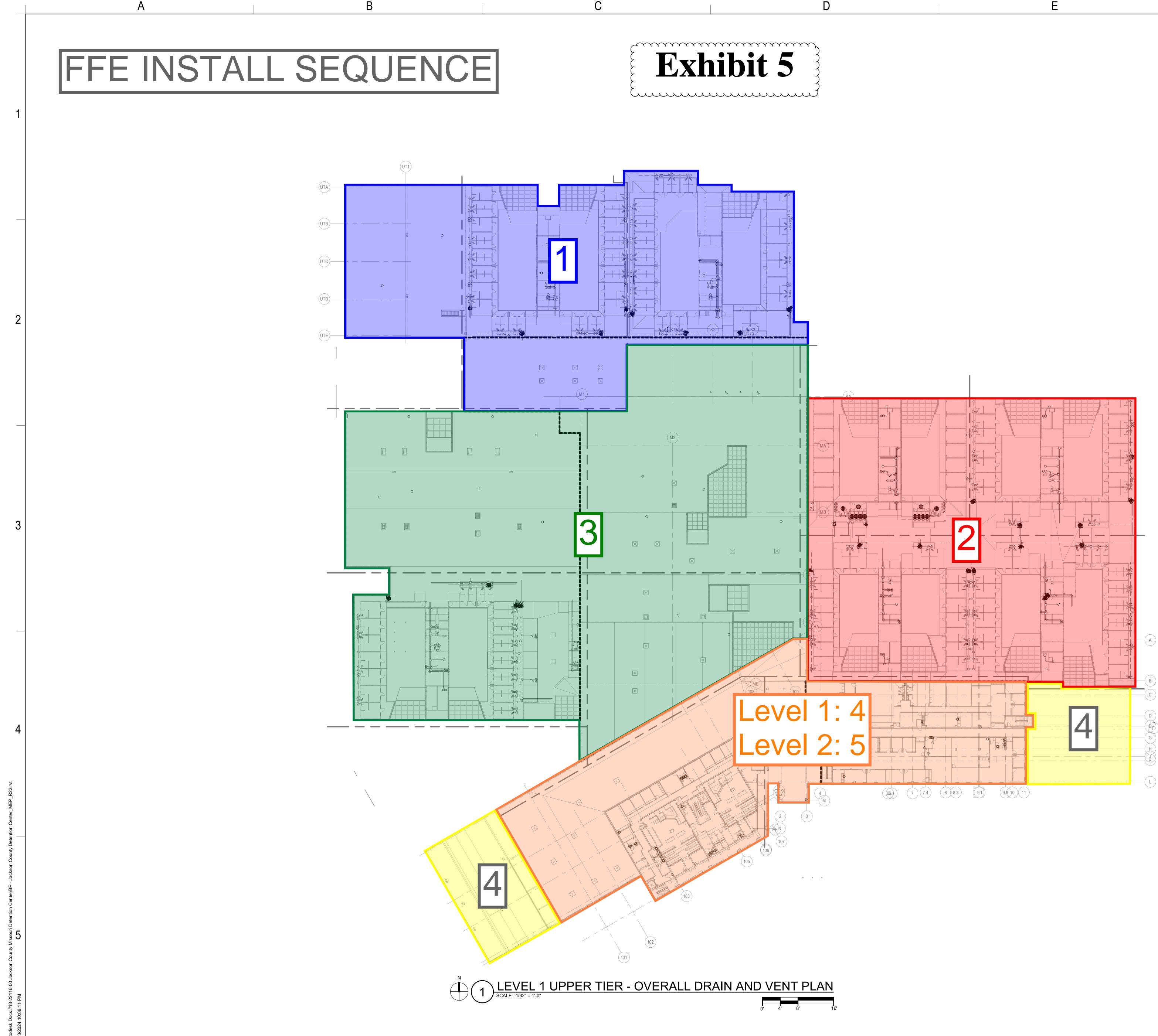
- 1. Prime Contract dated <u>May 19, 2022</u>, including any General and Supplementary Conditions, and all exhibits and amendments thereto. Contractor is referred to as Design/Builder in the Prime Contract.
- 2. Contractor's Front End Documents dated October 11th, 2023.

3. Project documents, prepared by DLR Group dated <u>October 10, 2023</u>, including specification sections, in addition to drawings prepared by DLR Group as follows:

Sheet Number and Title	Date	Drawing Set
Jackson County Detention Center		
G0.1 Cover Sheet	06.18.2024	FF&E Drawings
G1.1 General Notes, Symbols and Abbreviations	06.18.2024	FF&E Drawings
A13.1.1 Level 01 – Area 1 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.2 Level 01 – Area 2 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.3 Level 01 – Area 3 - FF&E Plan	06.18.2024	FF&E Drawings
A13.1.4 Level 01 – Area 4 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.5 Level 01 – Area 5 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.6 Level 01 – Area 6 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.7 Level 01 – Area 7 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.8 Level 01 - Area 8 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.9 Level 01 – Area 9 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.10 Level 01 – Area 10 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.11 Level 01 – Area 11 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.12 Level 01 – Area 12 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.13 Level 01 – Area 13 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.14 Level 01 – Area 14 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.15 Level 01 – Area 15 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.21 Level 1 Mezzanine – Area 5 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.22 Level 1 Mezzanine – Area 7 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.23 Leve 1 Mezzanine – Area 8 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.24 Level 1 Mezzanine – Area 11 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.25 Level 1 Mezzanine – Area 12 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.26 Level 1 Mezzanine – Area 14 – FF&E Plan	06.18.2024	FF&E Drawings
A13.1.27 Level 1 Mezzanine – Area 15 – FF&E Plan	06.18.2024	FF&E Drawings
A13.2.2 Level 02 – Area 2 – FF&E Plan	06.18.2024	FF&E Drawings
A13.2.3 Level 02 – Area 3 – FF&E Plan	06.18.2024	FF&E Drawings



FFE & Technology						
FFE-21170	Install FFE - Area 13, 14, 15 (ALAP)	20 20	29-Jul-25	25-Aug-25	1	Install FFE - Area 13, 14, 15 (ALAP)
FFE-21110	Install FFE - Area 7, 8, 11, 12 (ALAP)	20 20	26-Aug-25	23-Sep-25		Install FFE - Area 7, 8, 11, 12 (AL
CON-21850	JCMO Network Implementation - MDF 2012	30 30	26-Aug-25	07-Oct-25		JCMO Network (mplementation
FFE-21080	Install FFE - Area 5, 6, 9, 10	20 20	18-Sep-25	15-Oct-25		Install FFE - Area 5, 6, 9, 10
FFE-21050	Install FFE - Admin Level 1 (Areas 1-4)	20 20	24-Sep-25	21-Oct-25		Install FFE - Admin Level 1 (/
CON-22090	JCMO Network Implementation - IDFs A302, A313, B302, B312	20 20	08-Oct-25	04-Nov-25		JCMO Network Implement
FFE-21190	Install FFE - Admin Level 2	20 20	22-Oct-25	18-Nov-25		Install FFE - Admin Leve
CON-21820	DAS System Commissioning	50 50	24-Oct-25	07-Jan-26		DAS \$ystem Co
CON-22100	JCMO Network Implementation - IDFs E302, E311, UT106	15 15	05-Nov-25	25-Nov-25		JCNO Network Implem
CON-21770	FFE JED Pre-Punch	10 10	19-Nov-25	04-Dec-25		📕 FFE JED Pre-Punch
CON-21830	JCMO Term and Supply Vendors Install (Bonding Kiosk, Visitation Kiosk, Video Visitation Kiosks)	40 40	19-Nov-25	20-Jan-26		JCMO Term ar
CON-22110	JCMO Network Implementation - IDFs G302, F302, SP302, 1601, 2420	25 25	26-Nov-25	05-Jan-26		JCMO Network Ir
CON-21780	FFE Punch list Corrections	15 15	05-Dec-25	26-Dec-25		FFE Punch list Co
CON-21790	FFE Design/Owner Punchlist	5 5	29-Dec-25	05-Jan-26		FFE Design/Owned
CON-21840	JCMO Courts AV Vendor Install	20 20	06-Jan-26	03-Feb-26		
CON-21800	FFE Final Punchlist Corrections	7 7	04-Feb-26	12-Feb-26		FFE Final P



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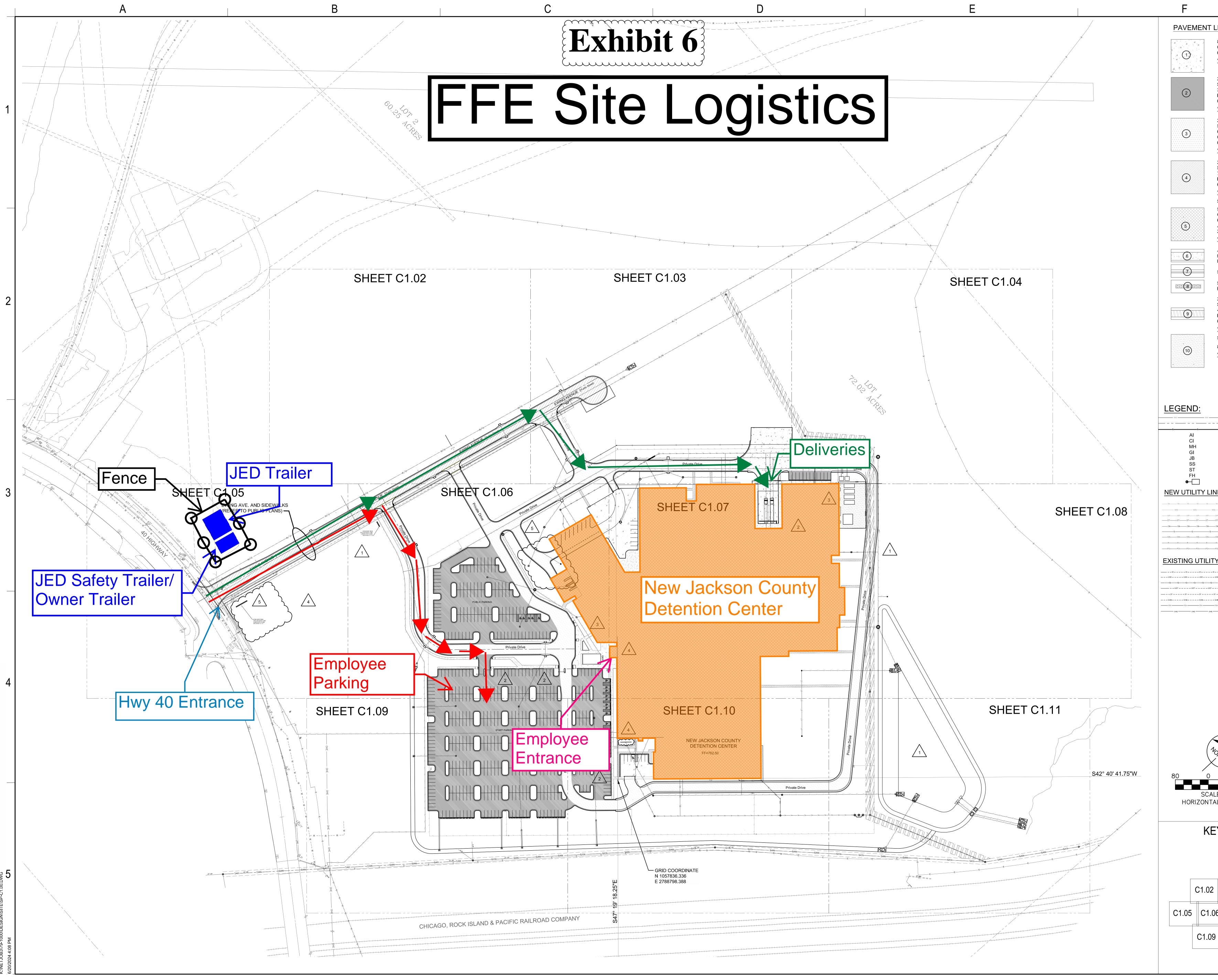
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GENERAL NOTES . THIS LINE INDICATES LOCATIONS OF STRUCTURAL EXPANSION JOINTS. PROVIDE EXPANSION FITTING FOR ANY DUCTWORK, PIPING, OR CONDUIT THAT CROSSES THIS LINE.

KEY NOTES 🐼 . XXXXX





LEGEND 8" PORTLAND CEMENT CONCRETE PAVEMENT 6" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE 2" TYPE 3-01 ASPHALT SURFACE COURSE 3" TYPE 1-01 ASPHALT BASE COURSE 6" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE 2" TYPE 3-01 ASPHALT SURFACE COURSE 6" TYPE 1-01 ASPHALT SURFACE COURSE 6" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE 2" TYPE 3-01 ASPHALT SURFACE COURSE 6" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE 2" TYPE 1-01 ASPHALT SURFACE COURSE 6" ASTM C33 SIZE 67 AGGREGATE BASE 6" ASTM C33 SIZE 67 AGGREGATE BASE	© DR Group
12" COMPACTED SUBGRADE 5" BUILDING SLAB ON GRADE 6" ASTM C33 SIZE 67 AGGREGATE BASE 20" MODOT TYPE V AGGREGATE BASE 12" COMPACTED SUBGRADE 4" CONCRETE SIDEWALK ON 4" MODOT TYPE 5 AGGREGATE BASE STANDARD TYPE CG-1 CURB STANDARD SIDEWALK RAMP TRUNCATED DOMES 2" TYPE 3-01 ASPHALT SURFACE COURSE 4" TYPE 1-01 ASPHALT BASE COURSE 6" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE 8" ASTM C33 SIZE 67 AGGREGATE BASE 12" COMPACTED SUBGRADE	Taliaferro & Browne, Inc. Taliaferro & Browne, Inc. Civil / Structural Engineering, Brussene Architecture & Surveying 1020 E. 8th Street, KCMO 64106 Ph (816) 283-3456 Fax (816) 283-0810
 EXISTING RIGHT-OF WAY PROPOSED RIGHT-OF-WAY PROPERTY LINE AREA INLET CURB INLET MANHOLE GRATE INLET JUNCTION BOX SANITARY SEWER STRUCTURE STORM SEWER STRUCTURE FIRE HYDRANT LIGHT POLE NEW WATER SERVICE LINE NEW SANITARY SEWER LINE NEW SANITARY SEWER LINE NEW GAS LINE (BY OTHERS) NEW GAS SERVICE E NEW FIBER OPTIC PROPORTIONE CONTIGUARTY EXISTING WATER LINE STORM SEVER LINE EXISTING BLECTRIC LINE EXISTING GAS LINE EXISTING GAS LINE EXISTING STORM SEWER LINE EXISTING STORM SEWER LINE EXISTING SORM SEWER LINE EXISTING OVERHEAD ELECTRIC EXISTING OVERHEAD ELECTRIC EXISTING OVERHEAD ELECTRIC	JACKSON COUNTY DETENTION CENTER Image: Consolidated construction document package - permit set CONSOLIDATED CONSTRUCTION DOCUMENT PACKAGE - PERMIT SET 7000 East US Highway 40, Kansas City, Missouri 64129
80 160 LE IN FEET AL SCALE 1"=80'	CONSTRUCTION DOCUMENTS 06/21/2024 REVISIONS ▲ ADM-1 11/10/2023 ▲ ADM-2 12/08/2023 ▲ ADM-3 02/06/2024 ▲ ADM-4 04/08/2024 ▲ ADM-5 06/21/2024
2 C1.03 C1.04 06 C1.07 C1.08 9 C1.10 C1.11	13-22116-00 OVERALL SITE LAYOUT PLAN



Jackson County Detention Center Exhibit 7 – FFE and Technology Clarifications (Component Package 4) 06/28/2024

General

- This Guaranteed Maximum Price (GMP) Proposal is based on 100 Percent Construction Documents dated March 25th, 2024, the Fixtures, Furniture, and Equipment Drawings dated April 22nd, 2024, and The Fixtures, Furniture, and Equipment Technical Specifications dated June 18th, 2024, as outlined in the attached Exhibit 3 –Contract Documents including listed Drawings and Specifications. This Guaranteed Maximum Price (GMP) Proposal assumes the approval of Component Package 3.
- This GMP assumes that components listed in Exhibit 3 Contract Documents are what will be provided due to the infrastructure and design that has been coordinated in Component Packages 1-3 and included in the 100% CDs.
- 3. The GMP Proposal is based on all previous approved Component Packages and the assumptions clarified within this Exhibit are in addition to previous assumptions made.
- 4. This GMP assumes work will be completed per the attached Exhibit 4 Schedule. Items in asterisks are those activity items not being coordinated by this GMP and are being shown only for coordination purposes.
- 5. The GMP includes JE Dunn Construction, Axiom JV as a 90%/10% joint venture. Axiom's 10% of the JE Dunn JV for the overall GMP will be counted as MBE participation.
- 6. This GMP includes a 3% Design Contingency.
- 7. This GMP includes a 5% General Contractor Contingency.
- 8. This GMP includes a 5% Owner Contingency
- 9. This GMP includes 4 quarters of escalation to the end of Q2 of 2025.
- 10. This GMP includes reconciling the General Contractor Contingency items listed in Exhibit 2 of both Component Package 3 and 4. Upon approval of Component Package 4 Master Clock Infrastructure, Communications/Cabling Infrastructure, and Added Floor Boxes will be reconciled. \$727,715 will be distributed back to General Contractor Contingency and \$176,092 will be distributed to Mark One Electric for the cost of this infrastructure work required for Component Package 4.
- 11. The GMP is based upon using Freedom Interiors (WBE/MBE) and Aptitude to furnish and install the components clarified in the attached Exhibit 8 FFE/Technology Matrix.
- 12. Per Ex. 8 Contractor Utilization Plan, this Component Package 4 forecasts participation at 22.76%MBE, 16.80% WBE, and 0.50% VBE.
- 13. Component Package 3 contains the remaining finishes and miscellaneous specialties work as it pertains to the 100% CDs and is contingent on the approval of Component Package 4 Furniture, Fixtures, and Equipment/Technology package being approved by the County Legislature and incorporated into the final GMP via Contract Amendment.
- 14. This GMP assumes that Fixtures, Furniture, Equipment and Technology items can be installed prior to Component Packages 1-3 substantial completion date of December 10th, 2025. The substantial completion date of Component Package 4 is February 12th, 2026. Items noted with an asterisk in Exhibit 4 Schedule are items outside of the Design-Builder's control and the schedule assumes these items to fit within the Component Package 4 substantial completion

date noted above. The final completion date of March 12th, 2026 for this Component Package 4 is only for FFE/Technology items. This GMP assumes coordination and collaboration to occur between Jackson County and JCDC Partners that the building is operational by the Component Package 3 Final Completion Date of February 12th, 2026 and that the additional 30 days will be utilized to finalize punchlist items.

Fixtures, Furniture, and Equipment/Technology

- This GMP assumes that all infrastructure required for the components listed in Exhibit 8 –
 FFE/Technology Matrix have been coordinated in the 100% CDs tied to Component Package 3 of
 this Design-Build Agreement. Additional infrastructure required by Owner provided items or
 term and supply contracts would be subject to adjustment of this agreement or reconciled via
 available contingency.
- 2. Coordination of Owner provided items and term and supply contracts are assumed to be by Jackson County or JCDC Partners, no licensing or service agreements have been included.
- 3. Scheduling of Owner provided components to be coordinated with the Design-Builder.
- 4. This GMP includes costs for the Judges' Chambers based on coordination meetings requesting a single desk, separate ward robe cabinet, couch, and additional worksurface.
- 5. All Dental Equipment provided by Henry Schein includes shipping, installation and a 2-year warranty.
- 6. Laundry Floor Scale provided by Mettler-Toledo and includes shipping.
- 7. Medical Wall Ophthalmoscope is provided by Welch-Allyn and includes shipping.
- 8. Medical Exam Table provided by Midmark and includes shipping.
- 9. Mobile High-Density Storage provided by Safco and includes shipping and installation.
- 10. ADA Walk-thru Metal Detector provided by Conpass and Includes Shipping, Installation, Software Licensing, and On-site Training.
- 11. Package Scanner provided by Securmar and includes shipping, installation, On-site training and a 2-year software subscription.
- 12. Walk-thru Body Scanner provided by Garrett and includes a 2-year warranty and comes fully assembled for use.
- 13. Millimeter Wave Scanner provided by Leidos and includes Shipping, Install, a 2-year maintenance contract and On-site training.
- 14. Pallet Scanner provided by Hi-Scan and includes Shipping, Installation, a 2-year warranty and On-site Training.

Exclusions:

- 1. Costs associated with delays resulting from adjacent project operations, infrastructure work, or County vendors, which is not a part of, or under control of, this Design/Builder.
- 2. State, County, and Local Sales or Use Taxes.
- 3. Costs associated with Owner provided term and supply contract have not been included in this GMP, including costs for construction repairs due to damage or activities outside of the scope of this GMP.
- 4. Financing Costs.
- 5. Property acquisition costs and fees.
- 6. Guard services or security services.

- 7. Labor to unload or install Owner furnished equipment or Owner vendor equipment.
- 8. Environmental study of any kind.
- 9. Hazardous material abatement.
- 10. Commissioning and specialty consultants.
- 11. Rental of adjacent property or construction staging/parking.
- 12. We are not including the traffic signal at US HWY 40 or any modifications of US Highway 40. Traffic Study suggests the new Detention Center will not need a traffic light. If there is a new facility built (i.e., Sheriff's Office) on the current development the traffic study will have to be reviewed and mostly likely will require a traffic signal.
- 13. Medical headwall units at Infirmary Cells. Based upon discussions with JCDC Partners we have excluded headwalls and have provided room for bottle storage near the Infirmary.
- 14. Wheelchair Lifts.
- 15. OFOI Fixtures, Furnishings and Equipment/Technology as indicated in Exhibit 8 FFE-Technology Matrix.
- 16. Special Inspections. Provided by the Owner
- 17. Licensing Agreements
- 18. Term and Supply Contract Coordination
- 19. Building FAA Permit
- 20. Conditional Letter of Map Revision Permit (CLOMR-F)
- 21. Full-Size courtroom mock-ups.





Ja	ackson County MBE/WBE - 06.28.2	024 - Component Package 4		$\overline{}$		WBE Percen	tages	MBE/WBE Percentag	es on Total	Cost (301,162,067)		MBE/WBE Costs		
Division Number	Scope		Estim	nated Price	MBE	WBE	VBE	MBE	WBE	VBE	MBE	WBE		VBE
		Design (Branch Pattern, T&B, Wellner,												
Misc.	DLR Group	KH, FSC)	\$	18,567,888	22%	6%	0	1.30%	0.35%	0.00%	. , ,		\$	-
1	Final Clean	Woodley Building Maintenance	\$	481,300	100%	0%	0.0%	0.15%	0.00%	0.00%	\$ 481,300	\$ -	\$	-
1	FFE	Freedom	\$	3,369,324	0%	100%	0.0%	0.00%	1.07%	0.00%	\$ -	\$ 3,369,324	ļ \$	-
3	Design Build Joint Venture	Axiom Construction	\$	315,212,760	10%	0%	0.0%	10.00%	0.00%	0.00%	\$ 31,521,276	Ś -	\$	-
			<u> </u>	, ,									T.	
3	Precast - Supply	Enterprise	ć	19,442,934	0%	0%	0.0%	0.00%	0.00%	0.00%	ć	Ś -	ć	
3	JE Dunn SP	Concrete, Precast, Masonry, Misc Steel,	ې د	41,832,538	14.25%	11%	0.50%	1.89%	1.46%	0.07%	\$ 5,961,137	Ŧ	, s	209,163
5	Structural Steel	Kansas City Structural	\$	2,782,099	5.00%	11%	0.0%	0.04%	0.10%	0.00%			_	-
6	Rough & Finish Carpentry	IBC/RCS	Ś	1,813,021	0%	100%	0.0%	0.00%	0.58%	0.00%	\$	\$ 1,813,021	_	_
6	Casework Supply	IBC/RCS	Ś	1,482,843	0%	100%	0.0%	0.00%	0.47%	0.00%	<u>۲</u> د _	\$ 1,482,843		
				1,402,043	070	10070	0.070	0.0070	0.4770	0.0070	<u> </u>	÷ 1,402,040	, , ,	
7	Spray Fireproofing	K Bldg Specialties	\$	592,689	0%	0%	0.0%	0.00%	0.00%	0.00%	\$ -	\$ -	\$	-
7	Metal Wall Panels	SSM	\$	688,249	0.00%	0%	0.0%	0.00%	0.00%	0.00%	\$ -	\$ -	\$	-
7	Roofing	Flynn	\$	8,889,293	28.50%	0%	0.5%	0.80%	0.00%	0.01%		\$ -	\$	44,446
7	Joint Sealant / Firestopping	Flynn	Ś	1,632,900	0.00%	0%	0.0%	0.00%	0.00%	0.00%		Ś	¢	
7		,	Ś				0.0%				Ý	۲ د		
/ 8	Firestopping Commercial Door Supply	Flynn Design Supply Doors	Ş Ç	608,740 2,712,000	0% 0%	0% 100%	0.0%	0.00%	0.00%	0.00% 0.00%	<u> </u>	\$) ¢	
8	Commercial Glass	AGP	ې د	1,602,918	0%	100%	0.0%	0.00%	0.80%	0.00%		\$ 1,602,918	_	
8	Hydraulic Fold Doors	Acme Dock	Ś	477,685	0%	0%	0.0%	0.00%	0.00%	0.00%		¢ 1,002,910	/ /	
o	Drywall	E&K	ې د	5,608,269	0%	0%	9.1%	0.00%	0.00%	0.16%			ې د	510,352
5	Diywaii	Lak	, ,	5,008,209	070	070	9.170	0.0078	0.0078	0.10%	<u> </u>			510,352
9	Resinous Flooring	Musselman and Hall	\$	674,682	0%	0%	0.0%	0.00%	0.00%	0.00%	\$ -	\$-	\$	-
9	Resilient Floor and Carpet	Regents Floorings	\$	846,447	0%	100%	0.0%	0.00%	0.27%	0.00%	\$-	\$ 846,447	7 \$	-
9	Tile	Metro Tile	\$	365,067	0%	0%	0.0%	0.00%	0.00%	0.00%	\$-	\$-	\$	-
9	Painting	MVP	\$	2,129,510	15.0%	0.0%	0.0%	0.10%	0.00%	0.00%	\$ 319,427		\$	-
10	Miscellaneous Specialties Supply	Design Supply Doors	\$	942,074	0.00%	90%	10.0%	0.00%	0.27%	0.03%	\$ -	\$ 847,867	7 \$	94,207
10	Specialties	Loomis Bros.	\$	313,413	0.0%	0%	0.0%	0.00%	0.00%	0.00%	\$-	\$-	\$	-
10	Athletic Equipment	JED SP	\$	225,467	0.0%	0%	0.0%	0.00%	0.00%	0.00%	\$ -	\$ -	\$	-
11	Food Service Equip	Tri-Mark/Hockenbergs	Ś	2,440,990	0.0%	0%	0.0%	0.00%	0.00%	0.00%	\$ -	\$ -	Ś	-
		Cornerstone (Axiom Construction)	ć									t t	- t	07.019
<u> </u>	Precast Cells Detention	Conterstone (Axiom Construction) CML	ş Ş	19,403,624 16,356,756	18.0% 17.50%	0% 0%	0.5% 0.5%	1.11% 0.91%	0.00% 0.00%	0.03% 0.03%	\$ 3,492,652 \$ 2,862,432		ې د	97,018 81,784
11	Operable Partitions	Facilities Specialties	ې Ś	76,652	0%	0%	0.0%	0.00%	0.00%	0.00%		\$ - \$ -	ې د	-
14	Elevators	Otis	Ś	354,400	0%	0%	0.0%	0.00%	0.00%	0.00%		÷ \$-	Ś	-
21	Fire Sprinkler	American Fire Sprinkler	\$	3,456,140	0%	100%	0.0%	0.00%	1.10%	0.00%		\$ 3,456,140) \$	-
22	Mechanical/Plumbing	USE	\$	48,747,790	26.30%	2.2%	0.5%	4.07%	0.34%	0.08%	\$ 12,820,669		_	243,739
26	Electrical	Mark One	\$	28,312,024	0.00%	99.5%	0.5%	0.00%	8.94%	0.04%		\$ 28,170,464	ļ Ş	141,560
28	SEC	Cornerstone	\$	14,955,469	29.00%	0%	0.5%	1.38%	0.00%	0.02%	\$ 4,337,086		\$	74,777
28	DAS/Masterclock	Aptitude	\$	2,680,399	0.00%	0.0%	0.0%	0.00%	0.00%	0.00%		\$ -	\$	-
31	Mass Ex.	Kissick Con.	\$	10,841,365	24.00%	4.5%	0.5%	0.83%	0.15%	0.02%				54,207
32	Landscaping and Irrigation	Blue Cedar	Ş	741,340	0.00%	100%	0.0%	0.00%	0.24%	0.00%		\$ 741,340	, ,	-
32	Fence	Collins & Hermann	Ş	677,750	0.00%	0%	0.0%	0.00%	0.00%	0.00%	Ş -	Ş -	\$	-
32	Asphalt	Superior Bowen	\$	1,453,510	0.00%	15%	0.0%	0.00%	0.07%	0.00%	\$ -	\$ 218,027	_	-
33	Utilities	Kissick	\$	2,485,522	24.00%	4.5%	0.50%	0.19%	0.04%	0.00%	\$ 596,525	\$ 111,848	3 \$	12,428
Misc.	JE Dunn Estimate's	Misc. (Unit Price/ Estimate)	\$	531,693				0.00%	0.00%	0.00%	ć <u>74 754 000</u>	¢ 52.054.00		1.562.602
		Subtotal	Ş	271,596,774				22.76%	16.80%	0.50%	\$ 71,751,920	\$ 52,954,235	5 \$	1,563,682

MBE = 22.76%; WBE = 16.80%; VBE = 0.50%

Exhibit 9

Jackson County Detention Center - FFE/Technology Matrix

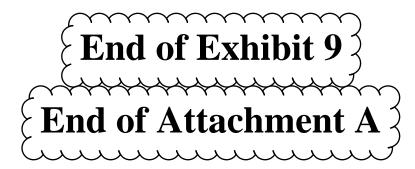
Fixtures, Furniture, and Equipment

Tag Mark	Item Description	Approximate Count	Item Responsibility
AC1 OFFICE - MONITOR ARM, HUMANSCALE - CLAMP MO		61	Freedom Interiors
AC1.G OFFICE - MONITOR ARM, HUMANSCALE - GROMMET		80	Freedom Interiors
AC2 OFFICE - SURFACE MTD. ELECTRICAL, BYRNE - DEA		67	Freedom Interiors
AC2.G OFFICE - SURFACE MTD. ELECTRICAL, BYRNE - Mhol		73	Freedom Interiors
AC3 OFFICE - CABLE MANAGEMENT TRAY, 4.5"H X 24"W >	,	46	Freedom Interiors
AC4 OFFICE - CABLE MANAGEMENT TRAY, 4.5"H X 38"W >	K 4"D, HUMANSCALE NEATTECH - SMALL	64	Freedom Interiors
AC5 LOBBY/VISITATION - HABA PRO SENSORY LEARING	WALL 3-PIECE SET	2	Freedom Interiors
AP-1R APPLIANCE REFRIGERATOR 24" X 25" RH DOOR		1	Freedom Interiors
AP-2L APPLIANCE REFRIGERATOR 30" X 32" LH DOOR		6	Freedom Interiors
AP-2R APPLIANCE REFRIGERATOR 30" X 32" RH DOOR		7	Freedom Interiors
AP-3 APPLIANCE MICROWAVE COUNTERTOP		57	Freedom Interiors
AP-3L APPLIANCE REFRIGERATOR 35" X 32" LH DOOR		3	Freedom Interiors
AP-3R APPLIANCE REFRIGERATOR 35" X 32" RH DOOR		2	Freedom Interiors
AP-4R APPLIANCE REFRIGERATOR 32" UNDER-COUNTER		3	Freedom Interiors
AP-5 APPLIANCE MICROWAVE BUILT-IN		2	Freedom Interiors
AP-11 APPLIANCE WASHING MACHINE		1	Freedom Interiors
AP-12 APPLIANCE DRYER		1	Freedom Interiors
AP-13 APPLIANCE STACKED WASHER/DRYER		2	Freedom Interiors
AP-T2 BREAKROOM TOASTER		15	Freedom Interiors
AP-T4 BREAKROOM TOASTER		1	Freedom Interiors
B5 BENCH - PUBLIC SEATING 17"H X 64.5W X 21.5"D, CIT	I SOLIARE 3-SEAT LIPHOL STERED BENCH	4	Freedom Interiors
C1 CHAIR - LAW ENFORCEMENT TASK CHAIR, ERGOCE		39	Freedom Interiors
C2 CHAIR - OFFICE DECK ERGONOMIC TASK W/ ADJ. AF		152	Freedom Interiors
	S W/GLIDES, FIXED ARMS - HERMAN MILLER VERSUS	130	Freedom Interiors
· · · · · ·	S W/GLIDES, NO ARMS - HERMAN MILLER VERSUS SIDE CHAIR	137	Freedom Interiors
C5 CHAIR - OFFICE DESK, HT. ADJ. 5-STAR CASTER BAS		10	Freedom Interiors
C6 CHAIR - OFFICE CONFERENCE, 5-STAR CASTER, FIX		54	Freedom Interiors
C7 CHAIR - STACKING, ARMLESS, W/GLIDES - KNOLL MU		152	
C7.S CHAIR - COUNTER-HEIGHT, ARMLESS, W/GLIDES - KNOLL MC		7	Freedom Interiors
	ACKABLE, FIXED ARMS, UPHOLSTERED SEAT - KNOLL MULTIGENERATION	1	Freedom Interiors Freedom Interiors
	32"H X 19.7"W X 23.2D, NORIX PROGRESS STACK CHAIR	501	
	, STACKABLE, 32.5"H X 20.3"W X 22.8"D, NORIX AFFINITY CHAIR	88	Freedom Interiors
		00 16	Freedom Interiors
	(30"W X 31"D, NORIX NUEVO ARM CHAIR - MOLDED PLINTH BASE SIDE CHAIR, BALLASTABLE, NORIX VESTA ARMLESS CHAIR	121	Freedom Interiors
	, , ,	121	Freedom Interiors
		2	Freedom Interiors
	H X 25"W X 25"D, GLOBAL FURNITURE GROUP - GLOBAL ACCORD	13	Freedom Interiors
	WITNESS, GLOBAL FURNITURE GROUP - GLOBAL ACCORD	20	Freedom Interiors
	DBAL FURNITURE GROUP - CITI SQUARE LOUNGE CHAIR	3	Freedom Interiors
· · · · ·	DBAL FURNITURE GROUP - CITI SQUARE LOUNGE CHAIR W/TRAY	11	Freedom Interiors
	BAL FURNITURE GROUP - CITI SQUARE LOUNGE SOFA	2	Freedom Interiors
C19 MEDICAL ROOM SWIVEL STOOL, 18.5"H X 20"W X 20"	,	12	Freedom Interiors
C21 CHAIR - OFFICE CONFERENCE, BARIATRIC EXTRA C		2	Freedom Interiors
CT2 CHAIR - 2-SEAT BENCH SEATING, 34.8"H X 50.5"W X 2		/	Freedom Interiors
CT3 CHAIR - 3-SEAT BENCH SEATING, 34.8"H X 74.5"W X 2		12	Freedom Interiors
DT-8 DENTAL DOCTOR STOOL PLACE HOLDER ITEM		2	Freedom Interiors
DT-9 DENTAL ASSISTANT STOOL PLACE HOLDER ITEM		4	Freedom Interiors
EE-50H56 FLAT-PANEL TV 50" HORIZONTAL MOUNT 56" AFF AT		1	Freedom Interiors
EE-50H72 FLAT-PANEL TV 50" HORIZONTAL MOUNT 72" AFF AT		24	Freedom Interiors
EE-50H80 FLAT-PANEL TV 50" HORIZONTAL MOUNT 80" AFF AT		3	Freedom Interiors
EE-50H104 FLAT-PANEL TV 50" HORIZONTAL MOUNT 104" AFF A		6	Freedom Interiors
EE-50H108 FLAT-PANEL TV 50" HORIZONTAL MOUNT 108" AFF A		2	Freedom Interiors
EE-50H120 FLAT-PANEL TV 50" HORIZONTAL MOUNT 120" AFF A		8	Freedom Interiors
EE-50H144 FLAT-PANEL TV 50" HORIZONTAL MOUNT 144" AFF A		30	Freedom Interiors
EE-50H156 FLAT-PANEL TV 50" HORIZONTAL MOUNT 156" AFF A	TCL	14	Freedom Interiors

Tag Mark	Item Description	Approximate Count	Item Responsibility
EE-72V80	FLAT-PANEL TV 72" VERTICAL MOUNT 80" AFF AT CL	1	Freedom Interiors
EE-75H72	FLAT-PANEL TV 75" HORIZONTAL MOUNT 72" AFF AT CL	33	Freedom Interiors
EE-75H84	FLAT-PANEL TV 75" HORIZONTAL MOUNT 104" AFF AT CL	7	Freedom Interiors
EE-75H95	FLAT-PANEL TV 75" HORIZONTAL MOUNT 95" AFF AT CL	4	Freedom Interiors
EE-75H104	FLAT-PANEL TV 75" HORIZONTAL MOUNT 104" AFF AT CL	1	Freedom Interiors
EE-75H144	FLAT-PANEL TV 75" HORIZONTAL MOUNT 144" AFF AT CL	1	Freedom Interiors
EX-1	EXERCISE WEIGHT RACK CAGE	1	Freedom Interiors
EX-2	EXERCISE BIKE	2	Freedom Interiors
EX-3	EXERCISE LIFTING BENCH	3	Freedom Interiors
EX-4	EXERCISE TREADMILL	3	Freedom Interiors
FRN-1	COUCH - LEATHER, JUDGES OFFICE (NO BLACK COLOR) PLACE HOLDER ITEM	2	Freedom Interiors
IP-1	INMATE PROPERTY - CPI /GUARDIAN PRE5 CLOTHING SEALER - 39.5"W X 35.875"L X 64"H, ON CASTERS	1	Freedom Interiors
JN-1	JANITOR SHELVING, 20"W x 24"D x 72"H	13	Freedom Interiors
JN-2	JANITOR SHELVING, 36"W x 24"D x 72"H	11	Freedom Interiors
L1	LOCKER - WEAPONS LOCKER	24	Freedom Interiors
L3	LOCKER - STAFF/PERSONAL, 52.5"H X 36"W, 3-LOCKER PER 36" UNIT, HERMAN MILLER MERIDIAN LOCKER	24	Freedom Interiors
LD-3		26	Freedom Interiors
M1.A	MATTRESS - INMATE, TRANSLUCENT, TENSATOR TENSABARRIER	994	Freedom Interiors
MB-24	MEETING MARKER BOARD	1	Freedom Interiors
MB-72	MEETING MARKER BOARD	b	Freedom Interiors
MB-96	MEETING MARKER BOARD	10	Freedom Interiors
MB-120	MEETING MARKER BOARD	5	Freedom Interiors
MB-144	MEETING MARKER BOARD	15	Freedom Interiors
MD-3	MEDICAL - HOSPITAL BED	/	Freedom Interiors
MD-4	MEDICAL - LINEN HAMPER	2	Freedom Interiors
MD-5	MEDICAL - SOILED LINEN HAMPER	2	Freedom Interiors
OF-1	OFFICE LATERAL FILE 2-DRAWER 18"D x 36"L x 28"H	19	Freedom Interiors
OF-2	OFFICE - LATERAL FILE 5-DRAWER, 18"D X 36"W X 65"H PLACE HOLDER ITEM	7	Freedom Interiors
OF-3	OFFICE - LATERAL FILE 5-DRAWER, 18"D X 48"W X 66"H PLACE HOLDER ITEM	11	Freedom Interiors
OF-4	OFFICE VERTICAL FILE CABINET, LOCKABLE 15"W X 18"D X 52"H	16	Freedom Interiors
OF-5	OFFICE BOOKCASE MTL6-SHELF 34.5"W x 12.625"D x 81"H	22 21	Freedom Interiors
PO1.L PO1.R	WORKSTATION - 29"H X 6"W X 8'D, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS WORKSTATION - 29"H X 6"W X 8'D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	20	Freedom Interiors
PO2.L	WORKSTATION - 29 H X 6 W X 6 D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	20	Freedom Interiors
PO2.R	WORKSTATION - 29 H X 6 W X 7 D, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	1	Freedom Interiors Freedom Interiors
PO3.L	WORKSTATION - 29 H X 6 W X 7 D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	-	Freedom Interiors
P03.R	WORKSTATION - 29 TA 6W X 8'D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	0	Freedom Interiors
P03.R	WORKSTATION - 29'H X 66"W X 30"D, HEMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	3	Freedom Interiors
PO5.L	WORKSTATION - 29"H X 6"W X 8"D, W/O HUTCH, LEFT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS		Freedom Interiors
P05.R	WORKSTATION - 29'H X 6'W X 8'D, W/O HUTCH RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	3	Freedom Interiors
P06.R	WORKSTATION - 29"H X 6"W X 66"D, RIGHT, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS, SMALL OFFICE	3	Freedom Interiors
P08.L	WORKSTATION - 29"H X 6"W X 8"D. LEFT. W/O HUTCH. HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	1	Freedom Interiors
P08.R	WORKSTATION - 29"H X 6"W X 8"D, RIGHT, WO HUTCH, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOODS	1	Freedom Interiors
RR-1	WASTE RECEPTACLE - 7-GALLON RECYCLING CAN PLACE HOLDER TO MAG THEEST AND THE STANDARD CAN THE SAGE COOLD	5	Freedom Interiors
S1	STORAGE - SHELVING, 72"H X 48"W X 24"D, 5-SHELF, METAL, SAFCO - BOLTLESS SHELVING	96	Freedom Interiors
S2	STORAGE - SHELVING, 72"H X 36"W X 24"D, 5-SHELF, METAL, SAFCO - BOLTLESS SHELVING	12	Freedom Interiors
S4	STOARGE - BOOKCASE STAFF LIBRARY, 42"H X 36"W X 16.5"D, HERMAN MILLER - LAMINIATE BOOKCASE	5	Freedom Interiors
S5	STORAGE - DESK MOBILE BBF - METAL - 27.5"H X 20/24/28D X 14.5"W - HERMAN MILLER TU METAL	31	Freedom Interiors
S6.L	OFFICE - COURTS, CORNER COMBO BOOKCASE, DRAWERS, WARDROBE - LEFT	3	Freedom Interiors
S6.R	OFFICE - COURTS, CORNER COMBO BOOKCASE, DRAWERS, WARDROBE - RIGHT	7	Freedom Interiors
ST-2	STORAGE PALLET RACK STARTER	7	Freedom Interiors
ST-3	STORAGE PALLET RACK ADD-ON	10	Freedom Interiors
ST-4	STORAGE SHELVING 54"W x 24"D x 72"H	39	Freedom Interiors
ST-5	STORAGE SHELVING 54"W x 30"D x 72"H	16	Freedom Interiors
ST-6	STORAGE SHELVING 60"W x 24"D x 72"H	29	Freedom Interiors
ST-7	STORAGE SHELVING 60"W x 30"D x 72"H	26	Freedom Interiors
ST-8	STORAGE SHELVING 72"W x 24"D x 72"H	26	Freedom Interiors
ST-9		47	Freedom Interiors
ST-10	STOARGE INMATE PROPERTY 4-ROD HANING RACK (FOR 1,440 INMATES AT 3-BAGS PER LINEAR FT WITH RANGE OF 2-5 BAG	26	Freedom Interiors
ST-11	STORAGE CABINETS - RESTRAINTS	20	Freedom Interiors

Tag Mark	Item Description	Approximate Count	Item Responsibility
T1	TABLE - ROUND, 29"H X 36"DIA., NORIX X-BASE SERIES TABLE (IMMATE SMALL MTG. ROOMS)	29	Freedom Interiors
T2	TABLE - RECTANGLE, 29"H X 48"W X 18"D, NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS, 2-SEAT)	5	Freedom Interiors
T3	TABLE - RECTANGLE, 29"H X 60"W X 18"D. NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS)	119	Freedom Interiors
T4	TABLE - RECTANGLE, 29"H X 72"W X 18"D, NORIX LEG STYLE SERIES TABLE (INMATE PROGRAMS)	49	Freedom Interiors
T5	TABLE - ROUND, 29"H X 48"DIA., NORIX X-BASE GAME TABLE (INMATE MEDICAL & JUV. DAYROOM)	7	Freedom Interiors
T6	TABLE - CUBE 18", CONTRABAND RESISTANT - NORIX B-SIDE SIDE TABLE (INMATE HOUSING, PUBLIC WAITING)	15	Freedom Interiors
Т8	TABLE - ROUND, 28.5"H X 36"DIA, HERMAN MILLER EVERYWHERE TABLE (MTG. ROOMS)	20	Freedom Interiors
T9	TABLE - ROUND, 28.5"H X 48"DIA., HERMAN MILLER EVERYWHERE TABLE (MTG. ROOMS)	8	Freedom Interiors
T10	TABLE - SQUARE 28.5"H X 42"W X 42"D., HERMAN MILLER EVERYWHERE TABLE (MTG, ROOMS)	14	Freedom Interiors
T11	TABLE - ROUND, 28.5"H X 36"DIA. HERMAN MILLER EVERYWHERE TABLE (PRIVATE OFFICES)	2	Freedom Interiors
T12	TABLE - CONFERENCE ROOM, 28.5"H X 144" W X 48"D, 12-SEAT, HERMAN MILLER HEADWAY TABLE	3	Freedom Interiors
T13	TABLE - CONFERENCE ROOM, 28.5°H X 120° W X 48°D, 10-26AT, HERMAN MILLER HEADWAY TABLE	1	Freedom Interiors
T14	TABLE - CONFERENCE ROOM, 28.5"H X 72" W X 36"D, 6-SEAT, HERMAN MILLER EVERYWHERE TABLE	7	Freedom Interiors
T15	TABLE - STAFF TRAINING, 28.5"H X 60"W X 18"D, 2-SEAT, HERMAN MILLER EVERYWHERE TABLE	77	Freedom Interiors
T17	TABLE - OFFICE, SIT-STAND DESK, VARIABLE HEIGHT X 72"W X 30"D, HERMAN MILLER HEIGHT ADJUSTABLE RECTANGULAR T.	36	Freedom Interiors
T18	TABLE - CONFERENCE ROOM, 29"H X 192" W X 60"D, 18-SEAT, GLOBAL FURNITURE GROUP - KADIN TABLE SERIES	1	Freedom Interiors
T19	SIDE TABLE - 2011 X 247W X 2010, GLOBAL FURNITURE GROUP - CITI TABLES	1	Freedom Interiors
T20	COFFEE TABLE - 172"H X 40"W X 20"D, GLOBAL FUNTINE GROUP - CITI TABLES	2	Freedom Interiors
T21	LAUNDRY WORK TABLE - 40.38"H X 30"W X 96"D, ADVANCETABCO	7	Freedom Interiors
T-13	TABLE - CHILDRENS LOBBY	1	Freedom Interiors
T-14	CHAIR - CHILDRENS LOBBY	2	Freedom Interiors
WR-1		29	Freedom Interiors
WR-2	WASTE RECEPTACLE - 7-GALLON WASTE CAN PLACE HOLDER ITEM	90	Freedom Interiors
WR-2 WR-3	WASTE RECEPTACLE - INMATE HOUSING, 39.5"H X 18.25"W X 18.25"D, 38-GALLON CAPACITY	51	Freedom Interiors
WR-4	MEDICAL WASTE RECEPTACLE - INMATE HOUSING, 59.5 H X 16.25 W X 16.25 D, 50-GALLON CAPACITY MEDICAL WASTE RECEPTACLE, 8 GALLON, BEIGE	13	
WR-4 WS1.A	WEDICAL WASTE RECEPTACLE, & GALLON, BEIGE WORKSTATION - 4-PERSON, INFORMATION MGMT. 1200	13	Freedom Interiors
		1	Freedom Interiors
WS2	WORKSTATION - 46"H X 8'W X 6'6"D, OPEN WORKSTATION, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE	2	Freedom Interiors
WS3.R WS4.B	WORKSTATION - 46"H X 7'W X 5'-6"D, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE WORKSTATION - 4-PERSON, SAFETY, SECURITY, AND TECHNOLOGY 2200	0	Freedom Interiors
WS4.C	WORKSTATION - 4-PERSON, SAFELT, SECORIT, AND TECHNOLOGY 2200	1	Freedom Interiors
WS5		1	Freedom Interiors
WS5 WS9	WORKSTATION - 46"H X 7"W X 6'6"D, HERMAN MILLER - CANVAS PANEL SYSTEM FURNITURE WORKSTATION - 29"H X 6"W X 8"D, L&R OPEN WORKSTATION, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOO	1	Freedom Interiors
	WORKSTATION - 29 H X 6 W X 6 D, L&R OPEN WORKSTATION, HERMAN MILLER CANVAS FREESTANDING LAMINATE CASEGOO		Freedom Interiors
DT-1	DENTAL PATIENT CHAIR - DCI - Series 4	2	JE Dunn Purchase Order Procurement
DT-2		1	IE Duran Durahana Ordan Duranumant
DT-2 DT-3	DENTAL ISLAND CONSOLE CABINETRY - DCI - Central Cabinet DENTAL AIR COMPRESSOR - Airtec - Airstar	1	JE Dunn Purchase Order Procurement JE Dunn Purchase Order Procurement
DT-4	DENTAL AIR COMPRESSOR - AIREC	1	
DT-5		1	JE Dunn Purchase Order Procurement
DT-6	DENTAL AUTOCLAVE - Midmark - M11	1	JE Dunn Purchase Order Procurement
DT-6 DT-7	DENTAL ULTRASONIC CLEANER - Maxisweep - S310	1	JE Dunn Purchase Order Procurement
	DENTAL VACUUM PUMP - Airtec - Vacstar	1	JE Dunn Purchase Order Procurement
LD-1 MD-1	LAUNDRY FLOOR SCALE - Mettler Toledo - PTA664S MEDICAL WALL MTD OPHTHALMOSCOPE, OTOSCOPE, EAR/NOSE TIP DISPENSER, THERMOMETER, AND SPHYGMOMANOMET	1	JE Dunn Purchase Order Procurement
	, , , , , ,	11	JE Dunn Purchase Order Procurement
MD-2	MEDICAL EXAMINATION TABLE - Midmark - 604	4	JE Dunn Purchase Order Procurement
S3	STORAGE HIGH-DENSITY STORAGE SYSTEM, (LIST DIMENSIONS), SAFCO	0	Freedom Interiors
SE-1 SE-2	SECURITY ADA WALK-THRU METAL DECTOR 32" - Conpass - 48"	0	JE Dunn Purchase Order Procurement
	SECURITY PACKAGE SCANNER - Securmar - 6040c	2	JE Dunn Purchase Order Procurement
SE-3	SECURITY WALK-THRU BODY SCANNER - Garrett - PD6500i	4	JE Dunn Purchase Order Procurement
SE-4	SECURITY MM WAVE STAFF SCANNER - Leidos	1	JE Dunn Purchase Order Procurement
SE-5	SECURITY - HI-SCAN 145180-2IS PALLET SCANNER - HI-Scan 145180	7	JE Dunn Purchase Order Procurement
AP-11	APPLIANCE ICE MACHINE BIN AT HOUSING UNITS	2	NIC - Owner Provided (JCMO)
AP-9	APPLIANCE - PER CUP COFFEE MAKER	2	NIC - Owner Provided (JCMO)
AP-10	APPLIANCE - 3-BURNER COFFEE MAKER	19	NIC - Owner Provided (JCMO)
EE-1	DESKTOP COMPUTER, KEYBOARD AND MOUSE	193	NIC - Owner Provided (JCMO)
EE-2	OFFICE DESKTOP PRINTERS	63	NIC - Owner Provided (JCMO)
EE-3	COPIER / PRINTER / FAX MACHINE	9	NIC - Owner Provided (JCMO)
EK-1		2	NIC - Owner Provided (JCMO)
EK-2	KIOSK VISITATION SERVICES	1	NIC - Owner Provided (JCMO)
JN-3	JANITOR CHEMICAL DISPENSOR	36	NIC - Owner Provided (JCMO)
011 0		~~	

Fag Mark	Item Description	Approximate Count	Item Responsibility
_D-2	LAUNDRY CHEMICAL DISPENSING PUMP	1	NIC - Owner Provided (JCMO)
_D-3	LAUNDRY CHEMICAL, 55 GALLON DRUM	5	NIC - Owner Provided (JCMO)
/ID-6	COMBINATION - GLOVE DISPENSER & LOCKED MEDICAL SHARPS DISPOSAL	13	NIC - Owner Provided (JCMO)
IDEE-1	MEDICAL TELEHEALTH INTERFACE ROLLING STATION	11	NIC - Owner Provided (JCMO)
SD-2	DISPENSER HAND SANITIZER	10	NIC - Owner Provided (JCMO)
SD-V	DISPENSER SOAP	170	NIC - Owner Provided (JCMO)
E-1	SECURITY ADA WALK-THRU METAL DECTOR 32"	1	JE Dunn Purchase Order Procurement
R1	TRASH ROLLING DUMPSTER	3	NIC - Owner Provided (JCMO)
M-1	VENDING MACHINE CANDY	11	NIC - Owner Provided (JCMO)
M-2	VENDING MACHINE SODA	9	NIC - Owner Provided (JCMO)
Techno	logy		
	Patch Cables (to switches)		Aptitude
	Fiber Patch Cables M-Mode		Aptitude
	Fiber Patch Cables S-Mode		Aptitude
	POE Masterclock System		Aptitude
	DAS Staff Radio (Includes Cabinet, antennas, repeaters, radio units)		Aptitude
	Emergency Call Boxes		Aptitude
	Ceiling Projectors		Aptitude
	Additional Infrastructure for Printers/Wireless Access Points and Floor Boxes		Mark One Electric
	POE Masterclock System - Infrastructure (conduit/cabling)		Mark One Electric
E-1	DESKTOP COMPUTER, KEYBOARD AND MOUSE	193	NIC - Owner Provided (JCMO)
E-2	OFFICE DESKTOP PRINTERS	63	NIC - Owner Provided (JCMO)
E-3	COPIER / PRINTER / FAX MACHINE	9	NIC - Owner Provided (JCMO)
<-1	KIOSK BONDING SERVICES	2	NIC - Owner Provided (JCMO)
<- 2	KIOSK VISITATION SERVICES	1	NIC - Owner Provided (JCMO)
	VOIP Phone System		NIC - Owner Provided (JCMO)
	Data Network Switches		NIC - Owner Provided (JCMO)
	ELAN		NIC - Owner Provided (JCMO)
	Firewall		NIC - Owner Provided (JCMO)
	Data Network Servers		NIC - Owner Provided (JCMO)
	Wireless Access Points		NIC - Owner Provided (JCMO)
	Courtroom AV		NIC - Owner Provided (JCMO)
	Courtroom Speakers		NIC - Owner Provided (JCMO)
	Video Conference Room AV Cart		NIC - Owner Provided (JCMO)
	VR Training Equipment		NIC - Owner Provided (JCMO)
	Inmate Management System		NIC - Owner Provided (JCMO)
	Inmate Phone Systems		NIC - Owner Provided (JCMO)
	Video Arraignment		NIC - Owner Provided (JCMO)
	Tele Med Monitors		NIC - Owner Provided (JCMO)
	Inmate Tablets		NIC - Owner Provided (JCMO)
	Guard Tour System		NIC - Owner Provided (JCMO)
	Courts Presentation System		NIC - Owner Provided (JCMO)
	Electronic Docket System		NIC - Owner Provided (JCMO)
	Courtroom Cabling -		NIC - Owner Provided (JCMO)
	Evidence Presentation System		NIC - Owner Provided (JCMO)
	Court Recording System		NIC - Owner Provided (JCMO)
	Inventory Tracking System		NIC - Owner Provided (JCMO)



IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

A RESOLUTION authorizing the County Executive to execute a Letter of Agreement with the Communications Workers of America, Local 6360, regarding the terms and conditions of the employment of members of its bargaining unit.

RESOLUTION NO. 21692, August 12, 2024

INTRODUCED BY Venessa Huskey, County Legislator

WHEREAS, by Resolution 21155, dated February 14, 2023, the Legislature did authorize the execution of a successor Memorandum of Understanding (MOU) with the Communications Workers of America, Local 6360 (CWA) to govern working conditions for a bargaining unit consisting of certain employees within the Jackson County Sheriff's Office in the position of dispatcher (communications specialist); and,

WHEREAS, that MOU expires on December 31, 2026, after a four year term; and,

WHEREAS, the parties have bargained in good-faith and come to an agreement as to the current wages for the bargaining unit members; and,

WHEREAS, in order to formalize this agreement, a Letter of Agreement outlining the bargained agreement has been drafted; and,

WHEREAS, the Letter of Agreement will be effective upon execution and will remain in effect until June 30, 2026; and,

WHEREAS, the attached Letter of Agreement reflects the understanding of the parties; now therefore,

BE IT RESOLVED by the County Legislature of Jackson County, Missouri, that the County Executive be and hereby is authorized to execute the attached Letter of Agreement with the Communications Workers of America, Local 6360.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21692 of August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas_____

Nays_____

Abstaining_____

Absent_____

Date

Mary Jo Spino, Clerk of Legislature

LETTER OF AGREEMENT

RES._____

This Letter of Agreement is entered into this _____ day of _____, 2024, between Jackson County, Missouri ("County"), the Jackson County Sheriff's Office ("Sheriff"), and the Communications Workers of America, AFL-CIO, Local 6360 ("CWA").

WHEREAS, the County, the Sheriff, and the CWA entered into a Memorandum of Understanding ("MOU") dated March 20, 2023, regarding the terms and conditions of certain employees within the Jackson County Sheriff's Office in the position of dispatcher (Communications Specialist); and,

WHEREAS, the parties now desire to enter into this Letter of Agreement regarding the wages provide by the County to members of the bargaining unit; and,

WHEREAS, the parties agree as follows:

- 1. This agreement would be effective upon signing until June 30, 2026.
- 2. The CWA pay scale will be updated to reflect the 2023 and 2024 negotiated changes
- 3. Wages for Probationary Communications Specialists shall be updated to reflect the increases in the Memorandum of Understanding dated August 2023. Increases shall be prospective after date of signature of agreement.
- 4. 2024:
 - a. 7% increase to each bargaining unit member whose 2024 evaluation is "meets expectations" or better, effective as of the member's anniversary date.

- b. The TWO associates who have already received a 4% merit increase will receive an additional 3% increase back-dated to their anniversary date
- c. The THREE associates whose anniversaries have passed and have yet to receive any increase will receive a 7% increase backdated to their anniversary date.
- d. All remaining associates will receive a 7% increase on the pay period following their anniversary date.
- 5. 2025: Subject to appropriation.*
 - a. 6% increase to each bargaining unit member whose 2025 evaluation is "meets expectations" or better, effective as of the member's anniversary date
- 6. 2026: Subject to appropriation.*
 - a. 5% increase to each bargaining unit member whose 2026 evaluation is "meets expectations" or better, effective as of the member's anniversary date.
- \$1500 retention bonus for all associates employed on July 1st, 2024 who are still employed on June 30th, 2026 to be paid on the first pay period following June 30, 2026.
 - a. Any associate who retires during the period of this contract will still qualify for the \$1500 bonus.
- 8. This provides a potential for an 18% increase across three years, plus \$1500.
- 9. This would be a three-year agreement and would not allow for annual wage reopeners, unless future appropriations are not approved by the Legislature.
- 10. This Letter of Agreement will be effective upon its execution and remain in effect, together with the MOU, as provided in Article 21 of the MOU.password

11.

IN WITNESS WHEREOF, THE PARTIES HAVE EXECUTED THIS LETTER OF AGREEMENT ON THE DATE WRITTEN BELOW.

ATTEST:

APPROVED AS TO FORM:

Mary Jo Spino Clerk of Legislature Bryan Covinsky County Counselor

Jackson County, Missouri

By:

Date: _____

Frank White, Jr. County Executive

Jackson County, Missouri Sheriff's Office

By:

Darryl L. Forté, Sheriff

Date:

Communication Workers of America, AFL-CIO Local 6360

By:		Date:	
•	President		
By:		Date:	



Jackson County Courthouse 415 E.12th Street, 2nd floor Kansas City, Missouri 64106 (816)881-3242

Request for Legislative Action

File #: 24-180, Version: 0

REQUESTED MEETING DATE: Select Date

SPONSORS:

Venessa Huskey

Resolution No. 21692 Sponsor: Venessa Huskey Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Whitney Miller PHONE: 816-881-3150

EMAIL: WMiller2@jacksongov.org

DEPARTMENT: County Counselors Office

TITLE: A RESOLUTION authorizing the County Executive to execute a Letter of Agreement with the Communications Workers of America, Local 6360, regarding the terms and conditions of the employment of members of its bargaining unit

SUMMARY: WHEREAS, by Resolution 21155, dated February 14, 2023, the Legislature did authorize the execution of a successor Memorandum of Understanding (MOU) with the Communications Workers of America, Local 6360 (CWA) to govern working conditions for a bargaining unit consisting of certain employees within the Jackson County Sheriff's Office in the position of dispatcher (communications specialist); and, WHEREAS, that MOU expires on December 31, 2026, and will be effective for a four year term; and, WHEREAS, the parties bargained in goodfaith and came to an agreement as to the current wages for the bargaining unit members and as such, drafted a Letter of Agreement that outlines this agreement; and, WHEREAS, the Letter of Agreement will be effective upon execution and will remain in effect together with the current MOU;

File #: 24-180, Version: 0

and,

FINANCIAL IMPACT:

 $NO \square$

Amount	Fund	Department	Line-Item Detail
YES 🗌	-	-	

ACTION NEEDED: AUTHORIZE

ATTACHMENTS:

Click or tap here to enter text.

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

A RESOLUTION expressing the support of the Jackson County Legislature for a contribution to the City of Raymore, Missouri to offset the cost of settling the dispute regarding a landfill to be built in south Kansas City.

RESOLUTION NO. 21693, August 12, 2024

INTRODUCED BY Sean E. Smith, County Legislator

WHEREAS, by Resolution 21148 dated February 28, 2023, and Resolution 21518 dated February 5, 2024, the Legislature did adopt resolutions expressing its opposition to a proposed landfill in the southeastern portion of the City of Kansas City, Missouri, near the city limits of the City of Lee's Summit, Missouri; and,

WHEREAS, the City of Raymore, Missouri approved a settlement agreement with the landfill developer to halt the construction of the landfill in exchange for a payment of \$3.73 million; and,

WHEREAS, the Missouri Legislature approved, and the governor signed Senate Bills 739, 769, and 1751 restricting the construction of a landfill within one mile of its border; and,

WHEREAS, the City of Raymore has requested contributions from area municipalities, including Jackson County, to offset these costs; now therefore,

BE IT RESOLVED by the Legislature of Jackson County, Missouri, that the Legislature supports an appropriation of \$100,000.00 to offset this expense; and,

BE IT FURTHER RESOLVED that the Legislature of Jackson County, Missouri shall hold a public hearing regarding the appropriation of these funds, to be scheduled at a later date. Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21693 of August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

Date

Mary Jo Spino, Clerk of Legislature



Request for Legislative Action

File #: 24-155, Version: 0

REQUESTED MEETING DATE: 8/5/2024

SPONSORS:

Sean E. Smith

Resolution No. 21693 Sponsor: Sean E. Smith Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Ashley Al-Shawish PHONE: 913-827-8028

EMAIL: aal-shawish@jacksongov.org

DEPARTMENT: County Legislature - Sean Smith

TITLE: Intent for Jackson County to submit monetary reimbursement to the City

of Raymore regarding the landfill settlement.

SUMMARY: The Jackson County Legislature intends to approve a reimbursement fee to the City of Raymore in contribution toward the recent landfill settlement, a request submitted to Jackson County by the City of Raymore. The elimination of this landfill proposal successfully protects the integrity of Jackson County's Longview Lake as well as Summit Pointe Elementary School and Jackson County sees a mutual benefit in contributing to this settlement.

File #: 24-155, Version: 0

FINANCIAL IMPACT:

$NO \boxtimes$

Amount	Fund	Department	Line-Item Detail
YES 🗌			

ACTION NEEDED: COURTESY (NO LEGAL IMPACT)

ATTACHMENTS:

Legislation Request

Raymore Landfill Resolution

Raymore Letter to County Executive Frank White

Recommendations from Administration



June 20, 2024

Dear County Executive White,

As you are aware, the landfill threat was finally eliminated when Gov. Parson signed HB 1751 into law on May 6. Our communities are now protected from the inevitable negative impacts a nearby landfill would have on our health, environment, economic vitality and quality of life, on top of the millions of dollars that would have been lost in home values.

The passage of the landfill legislation was made possible by the settlement agreement the City of Raymore entered into with the landfill developer, as multiple legislators would not allow the legislation to move forward unless we "made the developers whole." After a year and a half of efforts, the legislation moved through both the Missouri Senate and House within eight days of our City Council's approval of the agreement.

The settlement negotiations were incredibly difficult, with the starting point being more than four times the final agreed upon amount of \$3.2 million.

While we were the tip of the spear in the fight, we are thankful for you, as we knew we could count on your support with resolutions, testimonies in Jefferson City and letters, emails and calls to legislators from your constituents. Now, we're asking you to consider one last thing – assisting us to offset some of the significant costs incurred by our municipality due to the settlement and nearly two years of lobbying and legal fees and related expenses.

Please give me a call at your convenience to discuss this request.

Sincerely,

Mayor Kris Turnbow City of Raymore Office: 816-892-3003 Cell: 816-935-5519



AGENDA

Raymore City Council Special Meeting City Hall – 100 Municipal Circle Monday, April 15, 2024 6:00 p.m.

- 1. Call to Order
- 2. Roll Call
- 3. Pledge of Allegiance

4. New Business - First Reading

A. <u>Settlement Agreement - South KC Acquisitions et al. (Emergency Reading)</u>

Reference: - Agenda Item Information Sheet (pg 3)

- Bill 3894 (pg 5)
- Settlement Agreement (pg 7)

Staff is recommending approval of Bill 3894 which provides for a settlement agreement with South KC Acquisitions et al. calling for purchase of real property and settlement payments to establish restrictive covenants on future property use and mutual support for legislative amendments to RSMo 260.205 (9). This is the local step necessary to advance legislative action in Jefferson City to end the threat of a landfill on Raymore's northern border.

5. Public Comments

Please identify yourself for the record and keep comments to a maximum of five minutes.

6. Mayor/Council Communication

7. Adjournment

EXECUTIVE SESSION (CLOSED MEETING)

The Raymore City Council may enter an executive session before or during this meeting, if such action is approved by a majority of Council present, with a quorum, to discuss:

- Litigation matters as authorized by § 610.021 (1),
- Real Estate acquisition matters as authorized by § 610.021 (2),
- Personnel matters as authorized by § 610.021 (3),
- Other matters as authorized by § 610.021 (4-21) as may be applicable.

Any person requiring special accommodation (i.e., qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify this office at (816) 331-3324 no later than forty eight (48) hours prior to the scheduled commencement of the meeting.

Hearing aids are available for this meeting for the hearing impaired. Inquire with the City Clerk, who sits immediately left of the podium as one faces the dais.



CITY OF RAYMORE AGENDA ITEM INFORMATION FORM

DATE: April 15, 2024			
SUBMITTED BY: Jonathan Zerr	DEPARTMENT: Legal		
☑ Ordinance	Presentation Dublic Hearing		
🛛 Agreement 🗌 Discussion	□ Other		
TITLE / IS	SSUE / REQUEST		
Bill 3894: Authorizing Settlement Agree	ment with South KC Acquisitions, et al.		
STRATEGIC P	LAN GOAL/STRATEGY		
3.1.2: Focus development strategies on	opportunities aligned with comm. priorities		
FINAN	CIAL IMPACT		
Award To: \$3,730,	00.00		
Amount of Request/Contract: N/A			
Amount Budgeted: N/A			
Funding Source/Account#: General	Fund, Capital Fund, and Excise Tax Fund		
PROJECT TIMELINE			
Estimated Start Date Estimated End Date			
N/A	N/A		
STAFF RECOMMENDATION			
Staff recommends approval of B	ill 3894 Authorizing Settlement Agreement		
OTHER BOARDS & COMMISSIONS ASSIGNED			
Name of Board or Commission: N/A			
Date: N/A			
Action/Vote: N/A			
LIST OF REFERENCE DOCUMENTS ATTACHED			
Bill 3894 Settlement Agreement (with Exhibits A - D).			
REVIEWED BY:			

Jim Feuerborn

The Agreement for consideration by the City Council under Bill 3894 will allow for resolution of disputes between the City of Raymore, and both South KC Acquisition, LLC and Kansas City Recycle & Waste Solutions, LLC (the "Developers") to effectively end the threat of a landfill development ("Landfill") along the northern boundaries of Raymore. The Agreement contemplates payment of funds totaling \$3,290,000.00 from Raymore to the Developers. In exchange for the payment by Raymore, the Developers are agreeing to the following:

(i) Discontinuation of the Developers' efforts to develop the Landfill,

(ii) The imposition of restrictive covenants ("Restrictions") limiting the development of the property that the Developers have acquired in their efforts to complete the Landfill to certain agricultural, residential and light commercial uses, and

(iii) Discontinue their opposition to certain a proposed amendment of Section 260.204.9 RSMo ("Amendment") currently being sought by Raymore in the Missouri Legislature.

In addition, the Agreement contemplates payment of \$440,000.00 by Raymore to the Developers for acquisition of a 12 +/- acre parcel of real estate ("Madison Property") south of M-150 highway in Kansas City, Missouri for the future development of Madison Ave.

The Agreement incorporates Exhibits A through D which include legal descriptions for the affected properties, as well as the Vacant Land Real Estate Contract ("Real Estate Contract") for the Madison Property and the contemplated Restrictions.

Under the terms of the Settlement Agreement, all involved parties will be released of any liability upon payment which is contingent upon the approval of the Amendment by the Missouri Legislature.

Staff requests approval of Bill 3894 approving and authorizing the execution of the Settlement Agreement, the Real Estate Contract, and the Restrictions, and authorizing the payments contemplated by each.

BILL 3894

ORDINANCE

"AN ORDINANCE OF THE CITY OF RAYMORE, MISSOURI, AUTHORIZING THE MAYOR AND CITY MANAGER TO ENTER INTO AN AGREEMENT WITH SOUTH KC ACQUISITIONS, LLC, AND KANSAS CITY RECYCLE & WASTE SOLUTIONS, LLC, TERMINATING THE THREATENED LANDFILL; AND AUTHORIZING THE MAYOR TO DECLARE THIS AS AN EMERGENCY."

WHEREAS, the South KC Acquisitions, LLC and Kansas City Recycle & Waste Solutions, LLC ("Developers") are the owners of certain property north of the current municipal boundaries of Raymore; and,

WHEREAS, the Developers have been seeking for more than a year to develop their property and surrounding properties into a solid waste landfill ("Landfill"); and,

WHEREAS, the City has actively opposed the development of the Landfill by the Developers due to the potential health, economic, and other negative effects that operation of the Landfill in close proximity to the City would have on the residents and community; and

WHEREAS, the City and the Developers now wish to fully and finally settle any and all disputes, which will include; (a) termination of efforts by the Developers to complete the Landfill, (b) the imposition of certain restrictive covenants on the properties owned by the Developers, (c) joint efforts between the City and the Developers to amend Section 260.205.9 RSMo, and (d) the sale of certain property by the Developers to the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RAYMORE, MISSOURI, AS FOLLOWS:

<u>Section 1 Settlement.</u> The Mayor and City Manager are authorized to execute the Agreement with the Developers (as attached) for settlement of the disputes, and to take all reasonable and required steps included therein for implementation of the Agreement.

<u>Section 2 Restrictions.</u> The Mayor and City Manager are further authorized to execute the Restrictive Covenants on the Developers' properties as proposed within the Agreement, and to take all reasonable and required steps included therein for recordation of the same.

<u>Section 3 Acquisition.</u> The Mayor and City Manager are further authorized to execute the Real Estate Contract as proposed within the Agreement, and to take all reasonable and required steps included therein for implementation of the Contract.

<u>Section 4 Payments.</u> The Mayor and City Manager are further authorized to arrange for payment of all amounts contemplated by the Agreement (totaling \$3,290,000.00) and by the Contract (totaling \$440,000.00).

<u>Section 5.</u> Effective Date. The effective date of approval of this Ordinance shall be coincidental with the Mayor's signature and attestation by the City Clerk.

<u>Section 6.</u> Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

<u>Section 7.</u> Emergency Reading. In order to assure timely completion of this project, the Mayor hereby authorizes the passage of this Ordinance as an emergency.

DULY READ THE FIRST TIME THIS 15TH DAY OF APRIL, 2024.

BE IT REMEMBERED THAT THE ABOVE ORDINANCE WAS APPROVED AND ADOPTED THIS 15TH DAY OF APRIL, 2024, BY THE FOLLOWING VOTE:

Councilmember Abdelgawad Councilmember Baker Councilmember Barber Councilmember Burke III Councilmember Circo Councilmember Engert Councilmember Holman Councilmember Mills

ATTEST:

APPROVE:

Erica Hill, City Clerk

Kristofer P. Turnbow, Mayor

Date of Signature

AGREEMENT

This Agreement is entered into by and between South KC Acquisitions, LLC, a Missouri limited liability company, and Kansas City Recycle & Waste Solutions, LLC, a Missouri limited liability company (hereinafter "Developers") and the City of Raymore, Missouri (hereinafter "City"), collectively known as "the Parties," or individually as a "Party", for the express purposes set forth herein.

WHEREAS, Developers own certain parcels of real property (the "Properties") situated in Jackson County, Missouri;

WHEREAS, Developers have incurred costs and expenses in connection with the potential development of a solid waste landfill (the "Landfill") on such properties;

WHEREAS, the City has concerns regarding the potential public health, economic, and other effects of an operational solid waste landfill in close proximity to the City; and

WHEREAS, the Parties now wish to fully and finally settle and compromise any and all disputes and avoid further controversy, cost, expense, and potential litigation.

WHEREAS, the City on April 15, 2024, adopted Ordinance No. 2024-022 approving this Agreement, the Contract (as defined herein), and other documents related or pertaining to the nature of this Agreement, and authorized the execution thereof.

NOW THEREFORE, in consideration of the mutual promises set forth herein, the Parties mutually agree as follows:

I - General Provisions

1. <u>Parties Bound</u>. The provisions of this Agreement jointly and severally bind all the Parties to the Agreement as well as their respective agents, servants, employees, heirs, successors, assigns, and successors in elected or appointed office. Additionally, these provisions bind all persons, firms, corporations, and other entities who are, or who will be, acting in concert or privity with, or on behalf of, the Parties to this action or their agents, servants, employees,

1

heirs, successors, assigns, and successors in elected or appointed office. The Parties consent to this Agreement through their duly authorized representatives.

2. <u>Effective Date</u>. This Agreement shall have an effective date (the "Effective Date") commencing on the earlier to occur of: (i) the date the Governor signs legislation containing the Proposed Amendment (as described in Section III.1 of this Agreement); (ii) the date that the Governor's power to veto the legislation containing the Proposed Amendment expires, which date may be 15 days after being presented with a bill during the regular legislative session or 45 days if the legislature has adjourned; (iii) the date the legislature overrides the Governor's veto of legislation containing the Proposed Amendment; or (iv) the actual effective date of the legislation containing the Proposed Amendment.

3. <u>Non-admission of Liability</u>. This Agreement does not constitute any admission or acknowledgment of any fact, conclusion of law, or liability or wrongdoing by any Party to this Agreement.

4. <u>Attorneys' Fees</u>. Each Party shall bear its own attorney's fees, costs, and expenses incurred as a result of the negotiation of this Agreement.

5. <u>Amendment and Assignment</u>. This Agreement shall not be orally assigned or modified in any respect and may only be assigned, amended, or modified by the written agreement of all the Parties hereto. No waiver of any provision in this Agreement shall be effective unless the waiver is in writing and signed by the waiving Party. The waiver by any Party of a breach of any term or provision of this Agreement shall not operate or be construed as a waiver of a subsequent breach of the same provision by any Party or of the breach of any other term or provision of this Agreement.

6. <u>Governing Law, Jurisdiction and Attorneys' Fees</u>. All disputes concerning the validity, interpretation and application of this Agreement, and all actual, threatened or alleged breaches of this Agreement, shall be determined in accordance with the laws of the State of Missouri, without regard to conflict of law principles. The Parties agree and consent to

{34240 / 71650; 1018308. }

2

jurisdiction and venue for any dispute related to this Agreement or its breach, waiving any objection to venue laid herein, being proper only in the Circuit Court for Jackson County, Missouri. The Parties further agree that in the event of such a dispute and/or breach, the substantially prevailing Party shall be entitled to its reasonable attorneys' fees and costs, including costs of appeal, and any other relief that a court of competent jurisdiction deems appropriate.

7. <u>Headings</u>. The headings contained in this Agreement are for reference only and are not intended to and shall not affect, alter or vary the construction and meaning of any portion of this Agreement.

II - Settlement and Acquisition

1. <u>Settlement Payment</u>. Subject to compliance with all of the terms, conditions, obligations, requirements and promises contained herein, the City has agreed to pay to the Developers' the amount of Three Million Two Hundred Ninety Thousand and 00/100 Dollars (\$3,290,000.00) ("Settlement Funds"). The Settlement Funds represent an agreed upon amount reflective of, (i) the approximate costs expended by Developers' in the acquisition of the Properties contemplated for the Landfill as of January 3, 2024, and (ii) (without admission of any liability by the City) a settlement of any and all threatened, contemplated, or potential claims, litigation, or causes of action, which may have been asserted by the Developers' in pursuit of developing the Landfill. By receipt of the Settlement Funds, the Developers are and shall hereby waive any rights to pursue the development of the threatened Landfill on the Properties.

 <u>Due Date & Manner of Payment</u>. The Settlement Payment shall be due and owing in wire transferred funds from the City to the Developers within ten (10) business days of the Effective Date of this Agreement.

3. <u>Acquisition</u>. In addition to the Settlement Funds provided for hereinabove, the Parties have agreed that the Developers shall sell, and the City shall purchase a portion of the Properties ("Madison Property") as identified pictorially and by metes and bounds description on Exhibit "A" attached hereto and incorporated by reference herein. City contemplates the acquisition of the {34240 / 71650; 1018308. } 3

Madison Property for construction, maintenance, operation and development of Madison Avenue from its current northern terminus in the City jurisdictional boundaries to M-150 Highway.

4. <u>Acquisition Costs</u>. The Parties have agreed that the Madison Property shall be sold and conveyed from the Developers in fee simple to the City pursuant to a Real Estate Purchase Contract ("Contract"). Attached hereto and incorporated by reference herein as Exhibit "B" is a copy of the Contract.

5. <u>Closing on Acquisition</u>. Closing on the Contract shall occur within four (4) weeks of the Effective Date, unless an alternative date is mutually agreed to between the Parties.

6. <u>Acquisition Purchase Price</u>. The purchase price for the acquisition of the Madison Property shall be Four Hundred Forty Thousand and 00/100 Dollars (\$440,000.00) the full amount of which shall be deposited by City in escrow with Coffelt Land Title in Harrisonville, Missouri within ten (10) business days of the effective date of the Contract.

7. <u>Use of Madison Property</u>. Prior to developing the Madison Property, and simultaneous with the City's acquisition of the Madison Property, the City shall agree to lease the Madison Property to Developers or Developers' designee solely for the agricultural use of grazing. The Parties may enter into an agricultural lease for such purpose, and the rent charged under such lease shall not exceed forty dollars (\$40.00) per acre per year, with at least twelve (12) months written notice of termination by the City.

III - Requirement for Passage of Amendments to Section 260.205(9) RSMo

<u>Section 260.205, RSMo</u>. The Parties shall seek to amend Section 260.205(9), RSMo.
 during the current 2024 Legislative Session, to state as follows (the "Proposed Amendment"):

260.205.9. The department shall not issue a permit for the operation of a solid waste disposal area, solid waste processing facility, demolition landfill, or sanitary landfill designed to serve a city with a population of greater than four hundred thousand located in more than one county, if the site is located within [one half] one mile of an adjoining municipality, without the approval of the governing body

{34240 / 71650; 1018308. }

of [such] the adjoining municipality. The governing body shall conduct a public hearing within fifteen days of notice, shall publicize the hearing in at least one newspaper having general circulation in the municipality, and shall vote to approve or disapprove the land disposal facility within thirty days after the close of the hearing.

2. The Parties shall not propose any other amendments to Section 260.205, RSMo. or to propose any other amendments related to the issues and subject matter of this Agreement without the prior written consent of the other Party.

IV - Restrictions on Developers' Use of Properties

 <u>Retained Properties</u>. The Developers intend to retain portions of the Properties ("Retained Properties") following the sale of the Madison Property to the City. The Retained Properties are identified pictorially and by metes and bounds description on Exhibit "C" attached hereto and incorporated by reference herein.

2. <u>Restricted Uses</u>. The Parties have agreed that the Retained Properties shall be subjected to restrictive covenants ("Restrictive Covenants") limiting the Retained Properties to the following zoned uses, (i) agricultural (including the zoning classification corresponding to District AG-R identified in the current Kansas City Code of Ordinances with the exception of mining and quarrying uses), (ii) residential (including the zoning classifications corresponding to Districts R-2.5, R-6, R-7.5, R-10, and R-80 as identified in the current Kansas City Code of Ordinances), (iii) commercial (including the zoning classifications corresponding to Districts B-3, B-2, B-1, and O as identified in the current Kansas City Code of Ordinance, with the exception of adult business, pawn shops, and/or short-term loan establishments). Attached hereto and incorporated by reference herein as Exhibit "D" is a copy of the Restrictive Covenants.

3. <u>Recordation of Restrictions</u>. The Restrictive Covenants shall be recorded with the Office of the Director of Records for Jackson County, Missouri so that the Retained Properties shall encumber the same in perpetuity.

{34240 / 71650; 1018308. }

5

4. <u>Amendment of Restrictive Covenants</u>. The Parties agree that the Restrictive Covenants placed upon the Retained Properties may be amended, released, modified, or terminated, only upon the written agreement of the Parties.

V - Requirement for Approval of Proposed Amendment

1. If the Proposed Amendment as outlined in Section III of this Agreement is not adopted pursuant to Article I, Section 2, then all the terms, obligations, provisions, and requirements set forth in this Agreement shall be void and unenforceable.

VI - Mutuality of Releases

1. In consideration of the promises, releases and provisions set forth herein, the sufficiency and receipt of which are hereby expressly acknowledged, each Party (and all its officers, members, owners, directors, employees, attorneys, agents, predecessors, assigns, affiliates, parent companies, subsidiaries, officials, managers, councils, and successors) hereby fully and unconditionally forever waives, releases and discharges the other Party from and against any and all causes of action, claims, costs, demands, and liabilities of any kind or nature whatsoever, at law or in equity, whether accrued, known or unknown, suspected or unsuspected, or otherwise, which a Party has, had, or may have against the other Party, including, but not limited to, those arising out of or in any way relating to the subject matter of this Agreement.

VII - Severability

1. The Parties expressly acknowledge and agree that if any provision of this Agreement or the application thereof to any Party, other person, or to any circumstance is held unconstitutional or invalid by any court of competent jurisdiction, unless performance or condition is waived by the Party entitled thereto, this entire Agreement shall terminate except for the Parties obligations in Section VII.2, which obligations shall survive termination together with each Parties' rights and remedies to enforce such obligations.

The Parties agree that in the event this Agreement is terminated as described in Section VII.1, each Party shall take any and all necessary steps to restore the other Party's {34240 / 71650; 1018308. }

position prior to the execution of this Agreement, including the return and/or release of any and all payments, proceeds, conveyances, easements, licenses, restrictive covenants, and any other consideration.

VIII - Signatures

By their signatures below, the Parties hereby acknowledge their consent, personally or through their duly authorized representatives as indicated below, to enter into this Agreement.

[REMAINDER LEFT BLANK – SIGNATURE PAGES TO FOLLOW]

DEVELOPERS

SOUTH KC ACQUISITIONS, LLC

By: JENNIFER MONHEISER, MANAGER

Date:

KANSAS CITY RECYCLE & WASTE SOLUTIONS, LLC

By: JENNIFER MONHEISER, MANAGER

Date:

CITY OF RAYMORE, MISSOURI

KRISTOPHER TURNBOW, MAYOR

Date:

JAMES FEUERBORN, CITY MANAGER

Date:

APPROVAL AS TO FORM:

JONATHAN ZERR, CITY ATTORNEY

Date:

ATTEST:

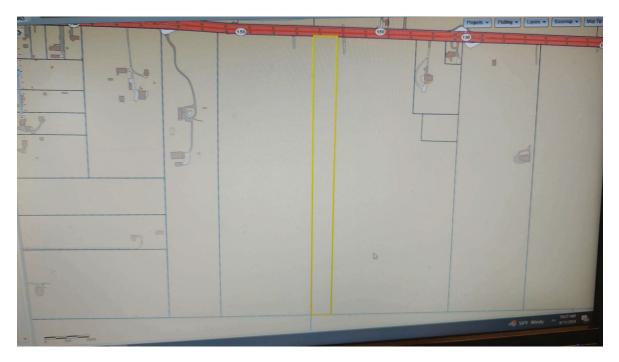
CITY CLERK

Date:

Exhibit A

Madison Property

The Madison Property is approximately twelve (12) acres of land identified as Jackson County APN JA69900020503000000, Parcel 69-900-02-05-03-0-00-000 with an address of 11701 East 147th Street, Kansas City in Jackson County, Missouri, which is described pictorially and by partial metes and bounds legal description below:



PRT W 1/2 NW 1/4 SEC 34 47 32DAF BEG NW COR SD 1/2 1/4 TH ELY 173.91 FT TH SLY 2654.03 FT TH WLY 173.90 FT PT W LI SDSEC TH NLY TO BEG EXC PRT IN STS & HWYS

The full true and correct legal description of the Madison Property will be provided in the Title Commitment referenced in the Contract, at which time the legal description for the Madison Property under this Agreement shall be supplemented with the legal description for the Madison Property under the Contract.

Exhibit B

Real Estate Purchase Contract

[SEE ATTACHED]

REAL ESTATE PURCHASE AND SALE AGREEMENT

THIS REAL ESTATE PURCHASE AND SALE AGREEMENT (this "Agreement") is entered into as of the Effective Date by and between the Parties hereto: The City of Raymore, Missouri, a Missouri municipal corporation ("Buyer" or the "City"), whose address is: 100 Municipal Circle, Raymore, Missouri; and South KC Acquisitions, LLC, a Missouri limited liability company ("Seller" or the "Monheisers"), whose address is: 2580 SE Ransom Road, Lee's Summit, Missouri 64082.

WHEREAS, Buyer desires to purchase, and Seller desires to sell, the Property, upon the terms and conditions set forth in this Agreement.

Effective Date	The first date on which both parties have fully executed and delivered this Agreement, which is:, 2024.
<u>Property</u> :	The property located at approximately twelve (12) acres of land identified as Jackson County APN JA69900020503000000, Parcel 69-900-02-05-03-0-00-000 with an address of 11701 East 147 th Street, Kansas City in Jackson County, Missouri, which is described pictorially and by metes and bounds legally description on <u>Exhibit A</u> hereto (if no legal description on Exhibit A, to be provided in Title Commitment), including as well as the other items described in Section 2.
Purchase Price:	\$440,000.00, subject to adjustments described in Section 3.
Earnest Money:	The Earnest Money in the amount of \$440,000.00, including interest thereon, if any, to be deposited and held as described in Section 4.
Title Company:	Coffelt Land Title, whose address is 401 S. Lexington Street,

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which the parties acknowledge by their execution and delivery hereof, the parties agree as follows:
 <u>ADDITIONAL DEFINITIONS</u>. Except as otherwise specified herein, shall have the meanings specified above and below:

Harrisonville, Missouri 64701.

"<u>Agreement</u>" means this Agreement, including all exhibits, attachments, supplements, and amendments hereto.

"<u>Business Day</u>" means any day that is not a Saturday, Sunday, or federal or state holiday.

"<u>Closing</u>" means the actual closing and consummation of the transactions contemplated hereby.

"<u>Closing Date</u>" means the date scheduled for the Closing, which shall be designated by the Buyer but which shall occur not later than twenty-eight (28) days after the Effectve Date as said term is defined in that certain Agreement between Seller, Buyer and other parties dated ______, 2024 (the "Settlement Agreement"). Seller and Buyer agree Buyer shall have no obligation to close if there is no Effective Date under the Settlement Agreement.

"<u>Contracts</u>" means any leases or occupancy agreements, management, service, operating, listing, brokerage, supply or maintenance, or construction agreements, equipment leases, or other contracts, agreements, or transactions with any third party with respect to or affecting the Property, which may remain in effect and to which Buyer or the Property may be subject after the Closing.

"<u>Due Diligence Documents</u>" means the documents and information listed on <u>Exhibit B</u> hereto.

"<u>Permitted Exceptions</u>" means (a) real estate taxes for the year of Closing and thereafter; (b) all applicable zoning and other ordinances, regulations, and laws; and (c) all covenants, easements, conditions, restrictions, and other exceptions disclosed on the Title Commitment and/or Survey, which are not objected to by Buyer, subject to Section 5.3; provided, however, that the obligation for Seller to pay off any indebtedness or other obligations secured by any Seller's Liens and discharge, terminate, and release all such Liens by Closing shall in no event constitute Permitted Exceptions.

"<u>Seller's Liens</u>" means any deeds of trust, mortgages, or mechanics', judgment, tax, or other monetary liens encumbering the Property, any title exceptions arising after the Effective Date as a result of a violation by Seller of this Agreement, and any obligations of Seller under any Contracts (other than Assigned Contracts, if any).

"<u>Title Policy</u>" means an ALTA Owner's Policy of Title Insurance, in an amount equal to the Purchase Price, insuring title to the Land and Improvements in Buyer in fee simple absolute, free and clear of all liens and encumbrances other than Permitted Exceptions, together with such endorsements as may be requested by Buyer.

This Agreement shall be construed, in all cases, according to its fair meaning. The parties acknowledge that they and their respective counsel have had the opportunity to review and give input with respect to this Agreement and that any rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement. The headings contained herein are for convenience only and shall not affect in any way the meaning or interpretation of this Agreement, the term "including" and terms of similar import shall be deemed to mean "including without limitation," and, as the context so requires, terms defined or used in the singular shall have a comparable meaning when used in the plural, and vice versa, and the use of the neuter shall also refer to the masculine or feminine, and vice versa.

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2. PURCHASE AND SALE OF THE PROPERTY. Subject to the terms and conditions herein, Buyer agrees to purchase and acquire from Seller, and Seller agrees to sell and convey to Buyer, the Property at Closing, free and clear of all liens and encumbrances other than Permitted Exceptions. The Property shall be deemed to include: (a) the land described on Exhibit A hereto and all rights, title, interest, benefits, and income appurtenant or attributable thereto, including all Seller's rights and interest, if any, to roads, rights of way, and easements adjacent or belonging thereto ("Land"), the exact size and legal description of which shall be determined by reference to the Survey, if any, pursuant to Section 5; (b) all buildings, fixtures, and other improvements of every kind and description on or at the Land ("Improvements"), in their present condition; and (c) Seller's rights and interest in any site surveys, studies, or reports, plans and specifications, warranties and contract rights, and permits and licenses with respect to the Land or Improvements ("Plans"). If applicable, the Property also shall be deemed to include: (i) the personal property located and used at the Property to be conveyed to Buyer, which is listed on Exhibit C hereto ("Personal Property"); and (ii) the existing Contracts relating to the lease, occupancy, management, operation, maintenance, or repair of the Property to be assigned to and assumed by Buyer, which are listed on Exhibit D hereto ("Assigned Contracts"), including any security deposits held pursuant to the Assigned Contracts. Notwithstanding the foregoing, Seller and Purchaser agree there are no Improvements, Plans, Personal Property, Contracts or Assigned Contracts other than the Settlement Agreement and the Seller's right to lease the Property on terms set out in the Settlement Agreement. Buyer acknowledges and agrees that upon Closing, Seller shall sell and convey to Buyer and Buyer shall accept the Property "AS IS, WHERE IS, WITH ALL FAULTS," except to the extent expressly provided otherwise in this Agreement and any document executed by Seller and delivered to Purchaser at Closing. Except as expressly set forth in this Agreement, Buyer has not relied and will not rely on, and neither Seller has made and is not liable for or bound by, any express or implied warranties, guarantees, statements, representations or information pertaining to the Property or relating thereto made or furnished by Seller to whomever made or given, directly or indirectly, orally or in writing. EXCEPT FOR CLAIMS OF FRAUD OR INTENTIONAL MISCONDUCT BY SELLER AND EXCEPT FOR CLAIMS OF BREACH BY SELLER OF A REPRESENTATION, WARRANTY OR COVENANT CONTAINED IN THIS AGREEMENT OR IN THE DEED, Buyer hereby FOREVER RELEASES AND DISCHARGES Seller from all responsibility, obligations, claims, demands and liability, whatsoever regarding the condition, valuation, salability or utility of the Property, or its suitability for any purpose whatsoever (including, but not limited to, with respect to the presence in the soil, air, structures and surface and subsurface waters, of Hazardous Materials or other materials or substances that have been or may in the future be determined to be toxic, hazardous, undesirable or subject to regulation and that may need to be specially treated, handled and/or removed from the Property under current or future federal, state and local laws, regulations or guidelines, and any structural and geologic conditions, subsurface soil and water conditions and solid and hazardous waste and Hazardous Materials on, under, adjacent to or otherwise affecting the Property, and further including, but not limited to liabilities under any applicable laws concerning hazardous substances.

3. <u>PURCHASE PRICE AND PAYMENT</u>. Subject to the terms and conditions herein, Buyer agrees to pay to Seller the Purchase Price at Closing, by certified or wire-transferred funds, as payment in full for the Property. The Purchase Price shall be adjusted at Closing for the credits, prorations, and adjustments provided herein, including a credit for any Earnest Money as described in Section 4 and the adjustments described in Section 11.

4. <u>EARNEST MONEY</u>. The following provisions shall apply to the deposit and disbursement of the Earnest Money:

4.1 <u>Deposit</u>. Within two (2) business days after the Effective Date, Buyer shall deposit the Earnest Money with the Title Company; if Buyer fails to do so, then Seller shall have the right to immediately terminate this Agreement. If the Closing occurs, the Earnest Money shall be paid to Seller and credited against the Purchase Price. If the Closing does not occur and the Earnest Money is to be paid to Seller in accordance with the express terms of this Agreement, then the Earnest Money shall be paid to Seller; in all other events, the Earnest Money shall be paid to Buyer.

4.2 Instructions. Within two (2) business days after the Effective Date, the parties shall deposit a fully-executed copy of this Agreement with the Title Company, which shall serve as escrow instructions. The parties agree to execute such additional escrow instructions that the Title Company may reasonably require and are consistent with this Agreement; if any such instructions and this Agreement conflict then this Agreement shall control. The Earnest Money shall be held in a separate, interest bearing account and as otherwise directed by Buyer, in writing. The Earnest Money shall be held by the Title Company, in escrow, until the earliest of (a) the Closing, whereupon the Earnest Money shall be released to Seller and credited against the Purchase Price; (b) its receipt of a joint notice executed by Seller and Buyer, whereupon the Earnest Money shall be released in accordance with the instructions therein; or (c) its receipt of a notice of termination of this Agreement and request to release the Earnest Money executed by one party, provided, that it delivers a copy of such notice and request to the other party and receives no contrary instruction from such other party within ten (10) business days after delivery of such copy to such other party, whereupon the Earnest Money shall be released in accordance with the instructions in such notice and request. In the event of any conflicting notices or contrary instructions, the Title Company may refuse to release the Earnest Money except pursuant to court order, deposit the Earnest Money with a court pursuant to an action in interpleader, and/or take such other actions with respect to the Earnest Money consistent with applicable law and this Agreement, in which case the Title Company shall be released from all liability hereunder except for its willful misconduct, gross negligence, or violation of this Agreement.

5. <u>TITLE AND SURVEY</u>. Within five (5) business days after the Effective Date, Seller shall deliver to Buyer copies of all title policies, title commitments, and existing surveys relating to the Property in Seller's possession or control. Within fifteen (15) days after the Effective Date, Seller shall cause the Title Company to provide a commitment to issue the Title Policy at Closing ("<u>Title Commitment</u>"), together with copies of all exception documents referenced therein. By the later of forty-five (45) days after the Effective Date or thirty (30) days after its receipt of the Title Commitment, Buyer may procure a survey of the Land and Improvements ("<u>Survey</u>"); if Buyer fails to do so, then it shall be deemed to

have waived its right to require a Survey for purposes of this Agreement. Each party shall provide copies of the Title Commitment or Survey to the other party promptly upon request.

5.1 <u>Review</u>. Buyer shall have fifteen (15) days after its receipt of the Title Commitment and the Survey, if any, whichever is received later ("<u>Title Review Period</u>"), to give Seller notice of such objections as Buyer may have to anything contained therein ("<u>Objections</u>"). If Buyer fails to deliver Objections within the Title Review Period, then all title exceptions disclosed on the Title Commitment and Survey shall constitute Permitted Exceptions, subject to Section 5.3.

5.2 <u>Objections and Cure</u>. If Buyer delivers Objections within the Title Review Period, then Seller shall expeditiously and diligently proceed in good faith and a commercially reasonable manner to satisfy such Objections; provided, that this shall not require Seller to cure any objection or to pay any money or incur any fees, costs, or liability whatsoever, other than to pay off any indebtedness or other obligations secured by any Seller's Liens and discharge, terminate, and release all such Liens by Closing. Seller may, but is not required to, cure other Objections requiring it to pay money or incur fees, costs, or liability, in which case it shall use commercially reasonable efforts to cure such other Objections no later than the Closing Date. If Seller fails to cure such other Objections, then Buyer shall have the option to either: (a) terminate this Agreement, in which event Buyer shall receive a full refund of any Earnest Money and the parties shall be relieved of any further obligations hereunder, or (b) elect to close notwithstanding such uncured other Objections, in which event there shall be no adjustment to the Purchase Price and such Objections shall constitute Permitted Exceptions.

5.3 <u>Insured Closing</u>. The Closing shall be an "insured closing" with "gap coverage" as such terms are commonly understood in the title insurance industry, i.e., at Closing, upon request Buyer will be entitled to receive an updated and marked-up Title Commitment or a pro forma Title Policy to insure that Buyer will receive the Title Policy and that no circumstances have arisen since the date of the Title Commitment that would adversely affect title to the Property other than Permitted Exceptions. The Title Policy will provide "extended form coverage," i.e., without standard or general preprinted exceptions (other than the survey exception unless Buyer procures an appropriate Survey), which shall not constitute Permitted Exceptions.

6. <u>OTHER DUE DILIGENCE AND INSPECTIONS</u>. In addition to its rights to review title to the Property as described in Section 5, Buyer shall have the right to conduct other reviews, inspections, and due diligence with respect to the Property as described herein.

6.1 <u>Seller's Deliveries and Notices</u>. Within five (5) business days after the Effective Date, Seller shall deliver to Buyer true, correct, and complete copies of all Due Diligence Documents described on Exhibit B in Seller's possession or control.

6.2 <u>Inspections</u>. Prior to Closing, Buyer shall have the license and right to enter onto the Property from time to time during normal business hours for the purpose of conducting such surveys, studies, tests, audits, examinations, investigations, and other

inspections of the Property as it deems necessary or desirable; provided, that Buyer shall give Seller reasonable advance notice of and opportunity to be present at such inspections, and Buyer shall not perform any scraping, drilling, boring, or other forms of invasive testing at the Property without Seller's consent. Buyer shall defend, indemnify and hold harmless Seller from and against (but if the City is Buyer, then to the extent permitted by Missouri law and not inconsistent with the doctrine of sovereign immunity it shall be responsible for) any claims, causes of action, damages, liability, or costs or expenses arising or resulting from such inspections. Buyer also agrees to repair and restore any damage to the Property caused by such inspections.

7. <u>REPRESENTATIONS AND WARRANTIES</u>.

7.1 <u>Seller's Representations and Warranties</u>. In order to induce Buyer to enter into this Agreement and to consummate the purchase of the Property, Seller hereby represents and warrants to Buyer as of the Effective Date and as of the Closing as follows:

(a) (i) Seller is the entity specified in the introductory paragraph to this Agreement and is qualified to do business and in good standing under the laws of the State of Missouri; and (ii) Seller has been duly authorized to enter into and perform its obligations under this Agreement, which is valid, binding, and enforceable against Seller in accordance with its terms (subject to general creditor's rights and equitable principles) and does not violate any agreement or judicial order to which Seller is a party or to which it or the Property is subject.

(b) There is not now pending nor, to the best of Seller's knowledge and belief has there been threatened, any investigation, demand, action, suit, or proceeding relating to the Property before or by any agency, court, or other governmental authority. Seller has not received any notice from any federal, state, county or municipal governmental authority alleging any fire, health, safety, building, pollution, environmental, zoning or other legal violation with respect to the Property, which has not been entirely corrected in accordance with applicable law. To the best of Seller's knowledge and belief, the Property is not in violation of any applicable law.

(c) To the best of Seller's knowledge and belief, Seller has received no written notice that hazardous materials have been released at the Property or are being stored and maintained at the Property.

(d) There are no special assessments, takings, or other governmental actions filed, pending or, to the best of Seller's knowledge and belief, proposed, against the Property except as may be included in the annual real estate tax bill issued by Jackson County, Missouri..

(e) There are no option or right-of-first-refusal agreements affecting the Property. There are no Contracts. Seller is not in default of, and to the best of its knowledge and belief no other party is in default of, and no event or circumstance

has occurred which, after notice or opportunity to cure would constitute such a default of, any Assigned Contract.

7.2 <u>Buyer's Representations and Warranties</u>. In order to induce Seller to enter into this Agreement and to consummate the sale of the Property, Buyer hereby represents and warrants to Seller as of the Effective Date and as of the Closing as follows: (i) Buyer is the entity specified in the introductory paragraph to this Agreement; and (ii) Buyer has been duly authorized by applicable City ordinance to enter into and perform its obligations under this Agreement, which is valid, binding, and enforceable against Buyer in accordance with its terms (subject to general creditor's rights and equitable principles) and does not violate any agreement or judicial order to which Buyer is a party or to which it is subject.

8. <u>COVENANTS</u>. From and after the Effective Date and until the Closing or earlier termination of this Agreement:

8.1 <u>Title</u>. Seller shall not convey any right, title, or interest in or to the Property, or create or permit any new title exceptions with respect to the Property without Buyer's consent, other than exceptions to be cured by Closing. If there are any Seller's Liens, Seller shall cause the same to be discharged, terminated, and released as required in order to convey title to the Property in accordance with this Agreement.

8.2 <u>Physical Condition and Operation</u>. Seller will manage, operate, insure, and maintain the Property in the same manner and condition as before the Effective Date, reasonable wear and tear excepted; without limiting the generality of the foregoing, Seller will not alter the Property or commit or permit waste to the Property without Buyer's consent.

8.3 <u>Contracts</u>. There are no Contracts.

8.4 <u>Updates</u>. Seller shall notify Buyer if any of the Due Diligence Documents previously provided to Buyer are amended, supplemented, or updated; or if Seller becomes aware that any information in any Due Diligence Document previously provided to Buyer, or any representation or warranty of Seller herein, is or becomes untrue or incorrect in any material respect.

8.5 <u>Exclusivity</u>. Seller agrees not to market or show the Property to any other prospective purchasers or to solicit, entertain, or accept any offers for the Property (whether or not subordinate to this Agreement) from any other prospective purchasers.

9. <u>CONTINGENCIES</u>. The obligations of Buyer under this Agreement are conditioned upon the satisfaction or waiver of all requirements and contingencies set forth in this Section ("<u>Contingencies</u>"). The Contingencies are: (a) Buyer must receive title to the Property, in accordance with Section 5, at Closing; (b) none of the representations and warranties of Seller herein must cease to be true and correct, in all material respects, prior to Closing; and (c) the Effective Date of the Settlement Agreement has occurred. If any Contingency is not

satisfied or waived by Closing, , then Buyer may terminate this Agreement by written notice to Seller at any time prior to such deadline and receive a full refund of any Earnest Money.

In addition, the obligations of the City under this Agreement are conditioned upon the approval of the transactions contemplated hereby by the City of Raymore, Missouri, which approval may be given or withheld in its sole and absolute discretion, no later than the date of execution of the Settlement Agreement by Seller and Buyer ("<u>Approval</u> <u>Contingency</u>"). If the Approval Contingency is not satisfied by such date, then it shall result in an automatic termination of this Agreement as of such date without further action, and Buyer shall receive a full refund of any Earnest Money. The Approval Contingency shall be deemed satisfied if the Seller and Purchaser enter into the Settlement Agreement.

10. <u>CLOSING AND POSSESSION</u>. The Closing shall occur at the offices of the Title Company at 12:00 noon on the Closing Date or such other time as mutually agreed by the parties. A party need not be present at Closing if such party has delivered all of the items it is required to deliver at Closing to the Title Company by the Closing Date with escrow instructions consistent with this Agreement.

10.1 <u>Seller's Deliveries</u>. At Closing, Seller shall deliver possession of the Property. Seller shall deliver the Property "as is" and without any representations or warranties, Seller and Buyer hereby disclaiming any such representations or warranties, in each case except as expressly provided herein. Seller also shall execute and deliver to Buyer the following:

(a) A special warranty deed conveying all right, title, and interest in and to the Land and Improvements, free and clear of all liens and encumbrances, other than Permitted Exceptions.

(b) All affidavits, certificates, closing statements, and other documents reasonably required by the Title Company to insure title to the Property in accordance with this Agreement, or reasonably required by Buyer to the extent not contrary to the terms of this Agreement and otherwise reasonably acceptable to Seller.

10.2 <u>Buyer's Deliveries</u>. At Closing, Buyer shall deliver the Purchase Price, subject to prorations, credits, and adjustments as provided herein. Buyer also shall execute and deliver to Buyer the following:

(a) All affidavits, certificates, closing statements, and other documents reasonably required by the Title Company to insure title to the Property in accordance with this Agreement, or reasonably required by Seller to the extent not contrary to the terms of this Agreement and otherwise reasonably acceptable to Buyer.

11. <u>PURCHASE PRICE ADJUSTMENTS AND EXPENSES</u>.

11.1 <u>Prorations</u>. The following amounts shall be prorated between the

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{34240 / 71650; 1018308. }
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parties:

(a) Taxes and Special Assessments. If the City is Buyer, all ad valorem real estate taxes imposed on the Property for the year in which Closing occurs shall be prorated as of the Closing Date; if the City is Seller, it is tax exempt and such taxes shall not be prorated. Special assessments imposed on the Property, if any, shall be the sole responsibility of the owner of the Property as of the date the applicable special assessment becomes due and payable.

(b) Utilities and Assigned Contracts. If applicable: fees and charges for utilities, income and prepaid expenses under Assigned Contracts, and other like items customarily prorated upon the sale of property similar to the Property, in each case for the period in which Closing occurs, shall be prorated as of the Closing Date.

(c) Re-protation. The exact amount of protated items may not be known and may be based on the latest information available on the Closing Date; if so, the parties agree to re-protate such items once such amounts are ultimately determined based upon final bills or statements.

11.2 <u>Expenses</u>. The following costs and expenses shall be paid by the parties as described below, including as an appropriate adjustment to the Purchase Price set forth on the closing statement.

(a) Seller shall pay for (i) all costs to discharge, terminate, and release the Seller's Liens; (ii) all costs of examinations, fees, and premiums for the Title Commitment and Title Policy, other than the cost of any requested endorsements to the Title Policy; (iii) one-half of the customary closing or escrow fees of the Title Company; and (iv) the costs to record any documents necessary to remove the Seller's Liens and all other liens or encumbrances other than the Permitted Exceptions.

(b) Buyer shall pay for (i) all costs to conduct its due diligence and inspections of the Property, including the Survey, if any; (ii) the cost of any requested endorsements to the Title Policy; (iii) one-half of the customary closing or escrow fees of the Title Company; and (iv) all costs to record the deed and all other recordable documents at Closing, other than such recording costs to be paid by Seller as specified herein.

11.3 <u>Broker Commissions and Other Expenses</u>. All other costs and expenses paid or incurred in connection with or incident to this Agreement and the performance and consummation of the transactions contemplated hereby shall be borne by the party paying or incurring same. Without limiting the generality of the foregoing, the parties represent and warrant to one another that they have not dealt with any broker with respect to the transactions contemplated hereby . Each party shall defend, indemnify, hold harmless the other party from and against (but for the City, then to the extent permitted by Missouri law and not inconsistent with the doctrine of sovereign immunity it shall be responsible for) any claims, causes of action, damages, liability, or costs or expenses that the other may sustain or incur by reason of its breach of this paragraph.

12. RISK OF LOSS AND CONDEMNATION. Seller has the risk of loss, destruction, or damage to the Property until Closing. If any such event occurs prior to Closing, Seller will promptly notify Buyer. If the cost to repair such damage and restore the Property to its previous condition is estimated by Buyer to be not more than \$10,000 in the aggregate, Seller may complete such repair and restoration by Closing; if Seller does not do so, then Buyer will be entitled to a reduction in the Purchase Price to the extent necessary to cover the remaining cost to complete such repair and restoration estimated by Buyer up to \$10,000 in the aggregate, and Buyer will be responsible for any such repair and restoration. If the cost of such repair and restoration is estimated by Buyer to be more than \$10,000 in the aggregate, Buyer may, at its option, either (a) terminate this Agreement and receive a refund of any Earnest Money, or (b) proceed to Closing without any adjustment to the Purchase Price except Seller will assign and pay to Buyer all associated insurance claims and proceeds plus the amount of any deductible. If all or any part of the Property is condemned or becomes subject to any condemnation action or proceeding prior to Closing, Seller will promptly notify Buyer, and Buyer may, at its option, either (a) terminate this Agreement and receive a refund of any Earnest Money, or (b) proceed to Closing without any adjustment to the Purchase Price except Seller will assign and pay to Buyer all associated claims, awards, and proceeds.

13. <u>DEFAULTS AND REMEDIES</u>.

13.1 <u>Seller Default</u>. If Seller defaults in the performance of any of its covenants under this Agreement and fails to cure such default within ten (10) days after notice thereof from Buyer to Seller, then Buyer may elect to: (a) terminate this Agreement, in which case any Earnest Money shall be paid to Buyer, or (b) obtain specific performance of Seller's obligations under this Agreement plus recovery of all Buyer's costs and expenses in connection with such default.

13.2 <u>Buyer Default</u>. If Buyer defaults in the performance of any of its covenants under this Agreement and fails to cure such default within ten (10) days after notice thereof from Seller to Buyer, then Seller may either (a) terminate this Agreement and recover the Earnest Money as liquidated damages and not as penalty, in full satisfaction of claims against Buyer hereunder or (b) elect to bring an action for specific performance of Buyer's obligations under this Agreement, plus recovery of all Seller's costs and expenses in connection with such default.

14. RESERVED.

15. <u>GENERAL</u>.

15.1 <u>Notices</u>. Any notice or other communication required or permitted hereunder must be in writing and either: hand delivered; or sent overnight via reputable national courier or mailed by U.S. certified mail, fees and postage prepaid, in each case to the relevant party at its address as set forth herein (as the same may be changed by notice given in accordance herewith) and, in the case of the City, with a copy to the General Counsel, 100 Municipal Circle, Raymore, Missouri 64083. Any such communication shall be deemed given, delivered, and effective: when hand delivered; one (1) business day after deposit with the courier; or three (3) business days after deposit with the U.S. Postal Service.

15.2 <u>Time</u>. Time is of the essence in the performance of and compliance with this Agreement; provided, that if any date or period specified herein falls or expires on a day which is not a business day, then such date or period shall be automatically deemed moved or extended to the next business day.

15.3 <u>Survival</u>. If this Agreement terminates in accordance with its terms, it shall cease to be of any further force or effect and the parties shall be relieved from all obligations hereunder, except for such obligations which are expressed or by their terms are intended to survive.

Miscellaneous. This Agreement shall be governed by the laws of the State of 15.4 Missouri, without regard to conflicts of law principles. This Agreement constitutes the complete and integrated agreement of the parties and supersedes all prior and contemporaneous discussions, negotiations, understandings, and agreements relating to the subject matter hereof. This Agreement is binding upon and shall inure to the benefit of Seller and Buyer, their respective heirs, successors, and permitted assigns. This Agreement is intended to be enforceable in all respects, but if any provision hereof is invalid or unenforceable under applicable law, such provision shall be enforced to the fullest extent permitted by law and the validity and enforceability of the other provisions shall be unaffected. This Agreement may not be amended or modified except in a writing signed by all parties, and no term or condition hereof shall be deemed waived by a party except in a writing signed by such party. No failure or delay in exercising any right or remedy hereunder shall operate as a waiver thereof, nor shall any single or partial exercise thereof preclude any other or further exercise thereof or of any other right or privilege. This Agreement may be executed and delivered via facsimile or other electronic transmission, which shall be deemed to be originals.

IN WITNESS WHEREOF, the parties have executed this Agreement on the respective dates set forth below, to be effective as of the Effective Date.

CITY OF RAYMORE, MISSOURI

By: _____ Name: Title:

Attest:

SOUTH KC ACQUISITIONS, LLC

By: _____

Name: Jennifer Monheiser, Manager

EXHIBIT A Legal Description



EXHIBIT B Due Diligence Documents

1. Survey dated _____, which includes the Property.

2. Title Commitment or title policy that includes the Property (but not cover only the Property).

EXHIBIT C

Personal Property (if applicable)

NONE

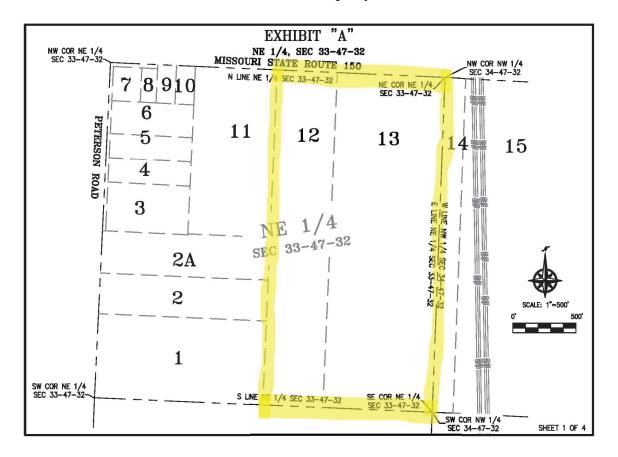
EXHIBIT D

Assigned Contracts (if applicable)

NONE



Retained Property



Parcel #12: Jackson County APN JA6870001020000000, Parcel 68-700-01-02-00-0-00-000. Shorthand Legal Description: W 29 AC OF E 1/2 NE 1/4 SEC 3347 32 EXC PRT IN HWY 150.

Parcel #13: Jackson County APN JA68700010100000000, Parcel 68-700-01-01-00-0-00-000. Shorthand Legal Description: PRT E 1/2 NE 1/4 SEC 33 47 32 ALL SD 1/2 1/4 EXC W 29 AC ALSO EXC PRT IN STS

Exhibit D

Restrictive Covenants

[SEE ATTACHED]

Document Title:	Declaration of Restrictive Covenants
Document Date:	, 2024
Grantors' Names:	
Grantee's Name:	
Legal Description:	See attached Exhibit "1"
Document Reference:	

DECLARATION OF RESTRICTIVE COVENANTS

THIS DECLARATION OF RESTRICTIVE COVENANTS ("Restrictive Covenant") is made and entered into as of the ______ day of ______, 2024 (the "Effective Date") by and between South KC Acquisitions, LLC, a Missouri limited liability company _ ("Grantor"), and the City of Raymore, Missouri, a Missouri municipal corporation ("Grantee"). Grantor and Grantee are referred to hereinafter as the "Parties" or as a "Party", when identifying a general singular entity of the Parties.

RECITALS

These recitals are an integral and material part of this Restrictive Covenant and provide the basis, background, explanation, and intent of the Parties in entering this Restrictive Covenant:

A. Grantors cumulatively currently own certain undeveloped real property (the "Property") located in Kansas City, Jackson County, Missouri legally described on **Exhibit** "1" attached hereto and incorporated by reference herein.

B. Grantee is a Missouri municipal corporation in Cass County, Missouri.

C. Grantors and Grantee have entered into an Agreement dated the 15th day of <u>April</u>, 2024 (the "Agreement") for the resolution of certain disputes surrounding the development of the Property as a solid waste management area and a solid waste management facility ("Landfill") by Grantors. Pursuant to the terms of the Agreement, the Property is to be subjected to perpetual restrictive covenants limiting the use of the Property to residential, agricultural, light commercial and/or mixed use. This Restrictive Covenant is being drafted, executed for purposes of memorializing the ongoing obligations and restrictions of the Grantors as to the Property.

D. The Parties agree and acknowledge that this Restrictive Covenant shall be recorded with the Office of the Director of Records for Jackson County, Missouri.

E. The intent of the Parties under this Restrictive Covenant is to limit the use of the Property by the Grantors their successors, heirs, and assigns as further defined below, subject only to amendment, alteration, or termination by mutual agreement of the Parties, or by a court of competent jurisdiction (if such purposes are found to be unreasonable, unconscionable, or otherwise impracticable).

RESTRICTIONS

It is hereby agreed between the Grantors and the Grantee that the Property shall be subject to limitations on its use in perpetuity (or until this Restrictive Covenant is terminated, amended, or modified by the mutual agreement of the Parties, or by order of a court of competent jurisdiction), with the following conditions, restrictions and covenants.

The Grantee, their successors, heirs, and assigns shall be prohibited from utilizing the Property, or any parts, portions, or parcels of the Property for anything other than those uses identified by the City of Kansas City Zoning Code for the following zoning classifications: (i) agricultural (including the zoning classification corresponding to District AG-R identified in the current Kansas City Code of Ordinances with the exception of mining and quarrying uses), (ii) residential (including the zoning classifications corresponding to Districts R-2.5, R-5, R-6, R-7.5, R-10, and R-80 as identified in the current Kansas City Code of Ordinances), (iii) commercial (including the zoning classifications corresponding to Districts B-3, B-2, B-1, and O as identified in the current Kansas City Code of Ordinance, with the exception of adult business, pawn shops, and/or short-term loan establishments)..

The foregoing and above, covenants, obligations and agreements shall run with the Property and shall be construed as real covenants running with the land and shall bind the successors, heirs, and assigns of the Grantors in perpetuity from the date of execution by both Parties.

Any breach or threatened breach of the covenants herein contained may be enjoined upon petition to the Circuit Court of Jackson County, Missouri. In the event of a dispute concerning the validity, interpretation and application of this Restrictive, the substantially prevailing Party shall be entitled to its reasonable attorneys' fees and costs, including costs of appeal, and any other relief that a court of competent jurisdiction deems appropriate.

This Restrictive Covenant may be amended, modified, altered, or terminated as follows:

a. By mutual agreement in writing executed by the authorized representatives of the Parties, or their successors, heirs, and assigns, which said mutual agreement shall be recorded in the Office of the Director of Records for Jackson County, Missouri, or

b. By a court of competent jurisdiction, if the purposes, affects or identified restrictions are found to be unreasonable, unconscionable, or otherwise

impracticable to continued enforcement.

Should a court of competent jurisdiction find that any provision, term, restriction, or requirement imposed by this Restrictive Covenant is invalid, null, illegal, void, or otherwise unenforceable, it shall not void, nullify, or terminate the entirety of this Restrictive Covenant, but only such term or provision shall be stricken and the remaining provisions not specifically so adjudicated shall remain in full force and effect.

The validity and construction of this Restrictive Covenant shall be determined by the laws of Missouri.

Unless the context requires otherwise, words denoting the singular may be construed as denoting the plural. Words of the plural may be construed as denoting the singular. Words of one gender may be construed as denoting another gender, if applicable.

The headings and paragraph titles in this Restrictive Covenant are for reference only.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and seal the day and year first above written intending to be fully bound and obligated by its terms and conditions with full right, title, and authority of the trusts and corporation.

South KC Acquisitions, LLC

By: _____

Name: Jennifer Monheiser Title: <u>Manager</u>

"Grantors"

STATE OF)	
) ss.	
COUNTY OF)	
On this	day of	, 2024, before me personally appeared, to me known to be the person
described in and wh	o executed the fo	pregoing Restrictive Covenant, and acknowledged that
they executed the sa	ame as their free	e act and deed as the authorized representative of the
Grantors, and in their capacity as the of the		

In Testimony Whereof, I have hereunto set my hand and affixed my official seal at my office in _____, County, State of _____, the day and year first above written.

Notary Public

My Commission Expires:

Printed Name

CITY OF RAYMORE, MISSOURI

a Missouri municipal corporation,

By:_____ Name: _____ Title:

"Grantee"

Approved as to form:

By: _

Jonathan S. Zerr City Attorney

ATTEST:

By: _____ Erica Hill City Clerk

STATE OF _____)) ss. COUNTY OF _____)

On this _____ day of _____, 2024, before me, the undersigned, a notary public in and for said State and County, appeared

{34240 / 71650; 1018308. }

_____, the ______, of the City of Raymore, Missouri, to me personally known, who being by me first duly sworn, did affirm that he is the ______ of the City of Raymore, Missouri, a Missouri municipal corporation, and that the foregoing Restrictive Covenant was signed and sealed on behalf of said City by authority of its City Council and that said instrument was executed by the free act and deed of said City.

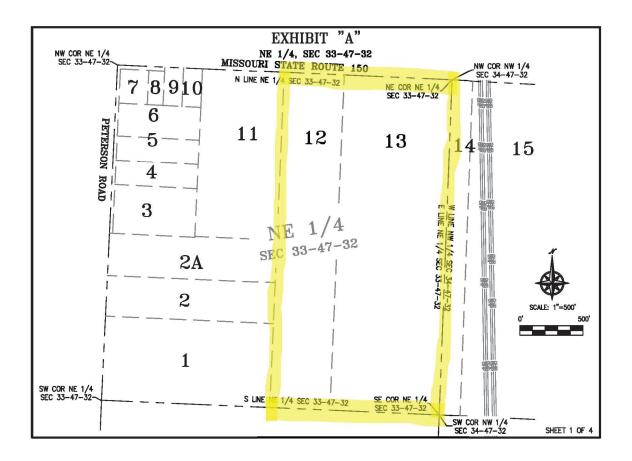
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

Notary Public

Printed Name

My Commission Expires:

EXHIBIT "1" LEGAL DESCRIPTION



Parcel #12: Jackson County APN JA6870001020000000, Parcel 68-700-01-02-00-0-00-000. Shorthand Legal Description: W 29 AC OF E 1/2 NE 1/4 SEC 3347 32 EXC PRT IN HWY 150.

Parcel #13: Jackson County APN JA68700010100000000, Parcel 68-700-01-01-00-0-00-000. Shorthand Legal Description: PRT E 1/2 NE 1/4 SEC 33 47 32 ALL SD 1/2 1/4 EXC W 29 AC ALSO EXC PRT IN STS

Raymore City Council takes local step to end landfill threat

Post Date: 04/15/2024 7:33 PM

RAYMORE, MO (April 15, 2024) - The Raymore City Council unanimously approved a settlement agreement with landfill developer Jenny Monheiser in a special meeting tonight.

The agreement, contingent upon the passage of landfill legislation in Jefferson City, will eliminate the threat of a landfill in far southeastern Kansas City near Raymore.

Council approval of the agreement is the local step necessary to advance legislation at the state level.

Raymore City Manager Jim Feuerborn outlined the \$3.73 million settlement in detail at the meeting, which includes:

- the purchase of real property;
- settlement payments to establish restrictions on what the developer can and cannot do with the land she will
 retain;
- mutual support for legislative amendments to Missouri State Statute RSMo 260.205 (9), which would allow a
 municipality bordering Kansas City to approve or reject a landfill within one mile of its border. The current statute
 only allows a municipality to approve or reject a landfill within a half mile and the proposed landfill location is
 entirely within one mile of Raymore's city limits.

"I have seen firsthand the anguish our residents have gone through for more than a year and a half of fighting this battle," Mayor Kris Turnbow said. "There is no price on the long-term health, safety and well-being of our community."

Turnbow and Feuerborn will deliver tonight's council-approved agreement to legislators in Jefferson City on Tuesday, April 16, where two identical landfill bills are on the calendar for debate in the Missouri Senate: Senate Bill 739 sponsored by Sen. Mike Cierpiot and House Bill 1751 sponsored by Rep. Mike Haffner.

<u>Click here to view the April 15 Raymore City Council Special Meeting</u>. Learn more about Raymore's opposition to a landfill at <u>www.raymore.com/nolandfill</u>

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Follow us on <u>Twitter/X</u>, <u>Facebook</u>, <u>Instagram</u> and <u>Threads</u>: @CityofRaymoreMO. Learn more about the City of Raymore at <u>www.raymore.com</u>

IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

A RESOLUTION expressing the intent of the Legislature for the County Counselor not to appeal the Missouri State Tax Commission ruling without the authority of the Jackson County Legislature and reserving the Legislature's authority to have final approval of litigation goals in suits filed against the county valued at more than \$5,000.00.

RESOLUTION NO. 21694, August 12, 2024

INTRODUCED BY Sean E. Smith, County Legislator

WHEREAS, the Jackson County Legislature reserves the legal authority to bring suits

filed on behalf of the County or to settle claims made against Jackson County; and,

WHEREAS, the Legislature reserves the right to say nothing of the litigation decisions involving the Legislature itself; and,

WHEREAS, the Jackson County Counselors Office cannot initiate any lawsuit on behalf of the County Legislature without the consent of the Legislature; and,

WHEREAS, the Jackson County Counselors Office cannot enter into legal contracts without consent of the Jackson County Legislature; and,

WHEREAS, the Jackson County Legislature reserves the right to settle suits valued at more than \$5,000 against Jackson County; and,

WHEREAS, the Jackson County Counselor does not have the sole authority to make decisions about the goals of litigation and those final decisions must be made by the County Legislature, with recommendation from the Counselor; now therefore,

BE IT RESOLVED the County Counselors office shall not determine any litigation goals in suits valued at more than \$5,000 without the collaboration of the Jackson County Legislature; and,

BE IT FURTHER RESOLVED the County Counselors office will work collaboratively with The Legislature As A Whole in regard to lawsuits filed against the county and lawsuits filed on behalf of the county; and,

BE IT FURTHER RESOLVED the Counselors Office shall share any legal documents, motions filed and related claims with The County Legislature in a timely manner; and,

BE IT FURTHER RESOVLED that the County Counselors Office will provide any documents pertaining to lawsuits filed against Jackson County to the Jackson County Legislature in accordance with the County Executive; and,

BE IT FURTHER RESOLVED the County Counselor shall not give the County Executive special privilege in information sharing.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 11:31 CDT)

County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21694 of August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

Date

Mary Jo Spino, Clerk of Legislature



Request for Legislative Action

File #: 21694, Version: 0

REQUESTED MEETING DATE: 8/12/2024

SPONSORS:

Sean E. Smith

Resolution No. 21694 Sponsor: Sean E. Smith Date: August 12, 2024

To be confirmed by County Counselor's Office:

STAFF CONTACT: Ashley Al-Shawish PHONE: 816-881-3274

EMAIL: aal-shawish@jacksongov.org

DEPARTMENT: Legislature

TITLE: Directing the County Counselor not to appeal the Missouri State Tax Commission's ruling, Order of the State Tax Commission of Missouri regarding 2023 and 2024 Assessments, issued on August 7th 2024 and reserving the Jackson County Legislature's authority to have final approval of litigation goals in suits filed against the county valued at more than \$5,000.00.

SUMMARY: The Missouri STC issued statement confirming that the Jackson County 2023 Assessment Cycle was not in compliance with Missouri state law. The Missouri STC concluded that the Jackson County Assessment Department did not adequately conduct physical property inspections necessary for property value increases exceeding 15%. The Jackson County Assessment Department and Jackson County Board of Equalization shall comply with the Order of the STC of Missouri regarding 2023 and 2024 Assessments, issued on August 7th 2024 and roll back any property value that increased more than 15% from the previous year's assessment. the Jackson County Legislature reserves the legal authority to bring suits filed on behalf of the county or to settle claims made against Jackson County. The Legislature reserves the right to say nothing of the litigation decisions involving the Legislature itself. The Jackson County Counselors Office cannot initiate any lawsuit on behalf of the County Legislature without the consent of the Legislature. The

File #: 21694, Version: 0

Jackson County Counselors Office cannot enter into legal contracts without consent of the Jackson County Legislature. The Jackson County Legislature reserves the right to settle suits valued at more than \$5,000 against Jackson County. The Jackson County Counselor does not have the sole authority to make decisions about the goals of litigation and those final decisions must be made by the County Legislature, with recommendation from the Counselor. The County Counselors office shall not appeal the Order of the STC of Missouri regarding 2023 and 2024 Property Assessments and The Assessment Department and Board of Equalization shall roll back any property value increased by more than 15% from the previous year. That the Jackson County Counselors office shall not determine any litigation goals in suits valued at more than \$5,000 without the collaboration of the Jackson County Legislature. The County Counselors office will work collaboratively with The Legislature As A Whole in regards to lawsuits filed against the county and lawsuits filed on behalf of the county. The Counselors office shall share any legal documents, motions filed and related claims with The County Legislature in a timely manner. that the County Counselors Office will provide any documents pertaining to lawsuits filed against Jackson County to the Jackson County Legislature in concurrence with the County Executive. The County Counselor shall not give the County Executive special privilege in information sharing.

FINANCIAL IMPACT:

$NO \square$

Amount	Fund	Department	Line-Item Detail
YES 🗌			

ACTION NEEDED: Choose an item.

ATTACHMENTS:

STC Letter and Order; Attorney General Motion

COMMISSIONERS

GARY ROMINE, CHAIRMAN DEBBI MCGINNIS, MEMBER GREG RAZER, MEMBER



STACEY JACOBS ADMINISTRATIVE SECRETARY

GREGORY K. ALLSBERRY CHIEF COUNSEL

STATE TAX COMMISSION

OF MISSOURI 421 EAST DUNKLIN STREET POST OFFICE BOX 146 JEFFERSON CITY, MISSOURI 65102-0146 TELEPHONE: 573-751-2414 FAX: 573-751-1341 https://stc.mo.gov

August 7, 2024

Frank White, Jackson County Executive 415 E. 12th Street, #200 Kansas City, MO 64106 By email: <u>countyexecutive@jacksongov.org</u> and <u>sjoslin@jacksongov.org</u>

Board of Equalization Forestine A. Beasley, Chair Lauren Allen, Vice-Chair Nathaniel W. Petty, Member 415 E. 12th Street, Room 102, Kansas City, MO 64106 By Email: <u>boardofequalization@jacksongov.org</u>

Gain McCann Beatty, Jackson County Director of Assessment 415 E. 12th Street Kansas City, MO 64106 By email: <u>Gmbeatty@jacksongov.org</u>

Re: Order of the State Tax Commission of Missouri Regarding 2023 and 2024 Assessments

Dear Jackson County Assessor Officials,

Please find enclosed an Order of the State Tax Commission regarding the 2023 and 2024 assessments. This Order is the same Order as the one we sent earlier today, minus the signature of Commissioner Razer, who recused himself from the vote to issue the Order.

Please disregard the Order which we sent earlier today which bore Commission Razer's signature.

Sincerely,

Nomine

Gary Romine Chairman

Debbi McGinnis Commissioner

Greg Razer Commissioner

cc:

Jackson County Legislatures, individually and c/o Mary Jo Spino, <u>MSpino@jacksongov.org</u> Bryan Covinsky, Jackson County Counselor, <u>bcovinsky@jacksongov.org</u>

STATE TAX COMMISSION OF MISSOURI

<u>ORDER</u>

COMES NOW the State Tax Commission of Missouri, pursuant to the powers vested in it by the constitution and statutes of this state, and hereby directs and orders the Jackson County Executive, the Jackson County Board of Equalization, and the Jackson County Assessor (hereafter "Jackson County assessing officials"), as follows:

1. Section 138.410 RSMo. bestows upon this Commission general supervision over all the assessing officers of this state and over county boards of equalization and appeal in the performance of their duties concerning the general property tax. It is the responsibility of the Commission to inquire into the methods of assessment and determine whether the assessing officers and boards of equalization are discharging their duties as required by law. To this end, the Commission has powers commensurate with its responsibility and may issue orders designed to enforce the law and assure uniformity. *Cassily v. Riney*, 576 S.W.2d 325 (Mo. banc 1979); *Cuivre River Electric, Inc. v. State Tax Commission of Missouri*, 769 S.W.2d 432, 435 (Mo. banc 1989).

2. The Jackson County Executive is responsible for the administration of the affairs of Jackson County, has the power to correct mistaken or erroneous assessments and taxes mistakenly or erroneously levied or paid, and shall assign all duties and functions prescribed by law or this charter for the county assessor.

3. The Jackson County Assessor, who is head of the Jackson County Assessment Department, is responsible for assessment of property in Jackson County in a manner that complies with Missouri law.

4. The Jackson County Board of Equalization is responsible for hearing all appeals from the Jackson County Assessment Department and correcting and adjusting property assessments accordingly.

5. Pursuant to Section 137.115.10 RSMo., before an assessor may increase the assessed valuation of any parcel of subclass (1) real property by more than fifteen percent since the last assessment, excluding increases due to new construction or improvements, the assessor shall conduct a physical inspection of such property.

6. Section 137.115.11 RSMo. provides that if a physical inspection is required, the assessor shall notify the property owner of that fact in writing and shall provide the owner clear written notice of the owner's rights relating to the physical inspection. If a physical inspection is required, the property owner may request that an interior inspection

be performed during the physical inspection. The owner shall have no less than thirty days to notify the assessor of a request for an interior physical inspection.

7. Section 137.115.12 RSMo. provides that in cases of valuation increase by more than fifteen percent, a physical inspection shall include, but not be limited to, an on-site personal observation and review of all exterior portions of the land and any buildings and improvements to which the inspector has or may reasonably and lawfully gain external access, and shall include an observation and review of the interior of any buildings or improvements on the property upon the timely request of the owner. Mere observation of the property via a drive-by inspection or the like shall not be considered sufficient to constitute a physical inspection in these cases.

8. The Commission finds and determines that Sections 137.115.10, 137.115.11 and 137.115.12 RSMo. are mandatory and not merely directory in nature. In the event a property owner appeals an assessment, if the assessor fails to establish that proper notice was given and that a physical inspection was performed in accordance with Section 137.115 RSMo., the property owner shall prevail as a matter of law. Section 138.060.1 RSMo. The Commission has consistently ruled that property assessment increases must not exceed fifteen percent from the last assessment when the assessor fails to comply with the notice and inspection provisions of these statutes. See *Christopher and Sarah Slusser v. Jake Zimmerman, Assessor, St. Louis County, Missouri*, Appeal No. 17-10066; *Cameron Walker v. Gail McCann Beatty, Assessor, St. Francois County, Missouri*, Appeal No. 21-30073; *Rusty Parker v. Eric Dugal, Assessor, St. Francois County, Missouri*, Appeal No. 21-84001.

9. The Commission finds and determines that in conducting its biennial reassessment for 2023, Jackson County assessing officials failed to give proper notice to property owners and failed to perform physical inspections as required by Section 137.115 RSMo. where the assessed valuation of residential real property increased by more than fifteen percent since the last assessment, resulting in mistaken or erroneous assessments and taxes that were mistakenly or erroneously levied or paid in 2023, in that:

a. Jackson County assessing officials did not notify, in writing, most property owners whose assessed valuations increased more than fifteen percent from the last assessment that a physical inspection was required.

b. Jackson County assessing officials did not notify most property owners that a physical inspection was required and did not provide the owner clear written notice of the owner's rights relating to the physical inspection, including the property owner's right to an interior inspection *during* the physical inspection.

c. Many notices sent to property owners were undated and, on the face of the notices, did not include the percentage change in assessed valuation, nor did they provide

property owners with no less than thirty days to notify the Assessor of a request for an interior physical inspection.

d. Jackson County assessing officials did not physically inspect many properties in the manner required by Section 137.115 RSMo., but instead, incorrectly determined that its parcel-by-parcel reviews conducted during 2021, 2022, and early 2023 fulfilled the physical inspection requirement.

e. Jackson County assessing officials conducted Board of Equalization appeals in such a manner as to provide taxpayers with insufficient or misleading information as to the Board of Equalization appeal process, insufficient physical accommodations making it extremely difficult, if not impossible, for some taxpayers to pursue their appeal rights, expressly or impliedly telling taxpayers contrary to law that the burden of proof at Board of Equalization hearings is on the taxpayer, refusing to recognize evidence as to valid comparable sales provided by some taxpayers, undue interference by the Jackson County assessor's office in the affairs of the Board of Equalization, and other unfair and improper conduct resulting in an overall denial of due process to Jackson County taxpayers.

10. The failures described herein were widespread and systemic, affecting at least seventy five percent of the parcels to which these requirements applied.

WHEREFORE, as a result of mistaken or erroneous assessments and taxes that were mistakenly or erroneously levied or paid, and in order to ensure compliance with Missouri law, the Commission orders as follows:

1. Jackson County assessing officials shall correct the 2023 Assessment Roll to reflect assessed valuations of all parcels of subclass (1) real property, excluding increases due to new construction or improvements, that equal the valuations determined by Jackson County assessing officials, or valuations that do not exceed fifteen percent since the last assessment, whichever is less.

2. With respect to 2023 appeals that are still pending before the Board of Equalization, the Board of Equalization shall assess all parcels of subclass (1) real property, excluding increases due to new construction or improvements, at their true value in money or at valuations that do not exceed fifteen percent since the last assessment, whichever is less.

3. Within 30 days from the date of this Order, Jackson County assessing officials shall review all 2023 subclass (1) real property stipulations that have been submitted to the State Tax Commission for approval and shall notify the State Tax Commission of all stipulated amounts that exceed the valuation limit described in paragraphs 1 and 2, above.

4. The assessed valuations for 2024 subclass (1) real property shall remain the same as the assessed valuations in the 2023 assessment roll, as corrected by this Order, excluding increases due to new construction or improvements.

5. Jackson County assessing officials shall take all necessary actions to ensure future compliance with Section 137.115 RSMo.

STATE TAX COMMISSION OF MISSOURI

Jary Romine

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Gary Romine Chairman

Debbi McGinnis Commissioner

Greg Razer Commissioner

Dated at Jefferson City, Missouri On this 6th day of August, 2024

IN THE CIRCUIT COURT OF JACKSON COUNTY STATE OF MISSOURI

STATE OF MISSOURI, ex rel.) Attorney General Andrew Bailey,) et al., Definition of the second of t

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v. Official Court Document Notan Official Court) Case No. 2316-CV33643

JACKSON COUNTY, MISSOURI,) et al.,)

Respondents/Defendants.

THE STATE OF MISSOURI'S REPLY TO THE JACKSON COUNTY COUNSELOR'S OFFICE'S SUGGESTIONS IN <u>OPPOSITION TO THE</u> <u>STATE'S PENDING MOTIONS</u>

In its Suggestions in Opposition to the Relators/Plaintiffs' pending motions, the Jackson County Counselor's Office has explicitly declared authority it has seized in practice since the beginning of this litigation if not sooner: the legal authority to bring suit, settle cases, and otherwise set litigation goals on behalf of the County and its officials. Such authority is specifically denied to the County Counselor in the Jackson County Charter and Jackson County Code. The Counselor's Office, relying on Comment 18 to Rule 4, compares the

County Counselor to the Attorney General, whose broad authority includes

some authority that would belong to the client in a private attorney-client relationship, specifically the authority to dictate the goals of the litigation.

The Counselor's Office refers to the County Charter for its alleged authority.

But the limited authority given the County Counselor in the County Charter,

compared to the statutory and common law authority given to the attorney general, shows that the comparison is not apt.

The Attorney General, per statute, is given authority to,

institute, in the name and on the behalf of the state, all civil suits

- and other proceedings at law or in equity requisite or necessary to protect the rights and interests of the state, and enforce any
- and all rights, interests or claims against any and all persons, firms or corporations in whatever court or jurisdiction such action may be necessary; and he may also appear and interplead,

answer or defend, in any proceeding or tribunal in which the state's interests are involved.

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§ 27.060, RSMo. Further, "[i]t is for the attorney general to decide where and how to litigate issues involving public rights and duties and to prevent injury to the public welfare. . . ." *State ex. rel. Igoe v. Bradford*, 611 S.W.2d 343, 347 (Mo. App. W.D. 1980) (citations omitted) The Attorney General, not other state officials, has the authority to direct the goals of litigation. *See id.* (The commissioner of the office of administration was a nominal party only, and that the attorney general had the authority to appeal an adverse decision

against the commissioner notwithstanding the commissioner's objection.)

In contrast, the Jackson County Counselor's authority is limited per

that County Charter and County Code in ways that make it clear that the

County Legislature has the legal authority to decide whether to bring suits

on behalf of the County or to settle claims against the County, to say nothing of the litigation decisions involving of the County Legislature itself. Per the County Charter the County Counselor cannot institute any lawsuit on behalf of the County Legislature without its consent. Exhibit A, Jackson County Charter p. 17, Section 7. The County Counselor also cannot enter into contracts for legal or other services without the County Legislature's consent, a limitation not placed on the Attorney General. Moreover, per county ordinance, the County Counselor has very limited authority to settle suits, requiring the vote of the County Legislature to settle for more than \$5,000. Ex B. Jackson County Code, Chapter 16, Section 1606.1.

The County Counselor's position that he, and not other county officials, is broadly authorized to make decisions about the goals and ends of litigation is not supported by the County Charter or the County Code. His argument that he is allowed to ignore the litigation goals of a client are without merit and his Office should be prohibited from representing the County Legislature, the litigation goals of which the County Counselor has fought

against at every turn.

Respectfully submitted,

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ANDREW BAILEY Attorney General

/s/ John W. Grantham

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ATTORNEYS FOR RELATORS/PLAINTIFFS			
CERTIFICATE OF SERVICE			
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The undersigned hereby certifies that on the 25th day of July, 2024, a true and correct copy of the foregoing was electronically filed using the Court's electronic filing system to be served on all parties of record.

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<u>Isl John W. Grantham</u>

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IN THE COUNTY LEGISLATURE OF JACKSON COUNTY, MISSOURI

A RESOLUTION authorizing the Jackson County Legislature to hold a closed meeting on Monday, August 12, 2024, for the purpose of conducting privileged and confidential communications between itself and the Jackson County Counselor under section 610.021(1) of the Revised Statutes of Missouri, and closing all records prepared for discussion at said meeting.

RESOLUTION NO. 21695, August 12, 2024

INTRODUCED BY Jeanie Lauer, County Legislator

WHEREAS, the Jackson County Legislature desires to hold a closed meeting on Monday,

August 12, 2024, during the regularly scheduled meeting of the Legislature; and,

WHEREAS, public notice of such closed meeting has been given by inclusion of this Resolution on the published agenda for said meeting; and,

WHEREAS, the purpose of such closed meeting is to conduct privileged and confidential communications between the Legislature and the Jackson County Counselor concerning the status of legal actions, causes of action, and/or litigation; and,

WHEREAS, such closed meeting is allowable under section 610.021(1) of the Revised Statutes of Missouri; now therefore,

BE IT RESOLVED by the County Legislature of Jackson County, Missouri, that the Legislature be authorized to hold a closed meeting during the regularly scheduled meeting of the Legislature on Monday, August 12, 2024, pursuant to section 610.021(1), RSMo, and closing all records prepared in connection therewith.

Effective Date: This Resolution shall be effective immediately upon its passage by a majority of the Legislature.

APPROVED AS TO FORM:

Bryan Covinsky Bryan Covinsky (Aug 8, 2024 12:51 CDT)

County Counselor

Certificate of Passage

I hereby certify that the attached resolution, Resolution No. 21695 of August 12, 2024, was duly passed on ______, 2024 by the Jackson County Legislature. The votes thereon were as follows:

Yeas _____

Nays _____

Abstaining _____

Absent _____

Date

Mary Jo Spino, Clerk of Legislature